



AUBURN PLANNING BOARD MEETING

July 8, 2014

Agenda

6:00 P.M. - City Council Chambers (Auburn Hall)

ROLL CALL

MINUTES:

Approval request of the June 10, 2014 Meeting Minutes.

PUBLIC HEARINGS:

1. Public hearing on a proposal by Snowden Consulting Engineers, Inc., an agent for Pine Tree Holdings, aka. Hammond Tractor for a special exception and site plan review for property located at 1525 Minot Avenue, in order to construct a new 21,600 sf. retail building and 24,000 sf. of self storage units, pursuant to Chapter 60, Sections 60-525 (b) (14); 60-1301 and 60-1336 of the City of Auburn Ordinances.

2. Public hearing on a proposal to amend the City Of Auburn Zoning Map in the area Pond View Road and Taylor Pond from Low Density Country Residential District (LDCR) to Urban Residential District (UR). The proposed change includes the following properties: 493, 545, & 585 Garfield Rd., 0 Garfield Rd (PID- 225-009), 0 Garfield Rd. (PID-226-004), 95, 115, 116, 120, 128, 134, 138, 139, 144, 150, & 156 Ledgeview Cv., 8, 14, 15, & 17 Pond Crest Ln., 15, 21, & 21 Pond View Ct., 130, 134, 135, 147, 150, 151, 157, 160, 161, & 167 Pond View Dr., 124, 126, and 130 Valview Dr. pursuant to Chapter 60, Article XVII, Division 2 of the Ordinances of the City of Auburn.

OLD BUSINESS:

1. Continued discussion of revised Planning Board By-Laws and Procedures.

MISCELLANEOUS:

None

ADJOURNMENT

City of Auburn, Maine

"Maine's City of Opportunity"

Office of Planning & Development

PLANNING BOARD STAFF REPORT

To: Auburn Planning Board

From: Douglas M. Greene; AICP, RLA
City Planner

Re: Special Exception and Site Plan Review for Hammond Tractor

Date: July 8, 2014

I. PROPOSAL- A proposal has been submitted by Snowden Consulting Engineers, Inc., an agent for Pine Tree Holdings, aka. Hammond Tractor for a special exception and site plan review for property located at 1525 Minot Avenue, in order to construct a new 21,600 sf. Retail building and 24,000 sf. of self storage units, pursuant to Chapter 60, Sections 60-525 (b) (14); 60-1301 and 60-1336 of the City of Auburn Ordinances. The property is zoned Minot Avenue Business (GB II). The proposed development is over 5,000 sf. which is a special exception and site plan review and requires Planning Board review and approval.

The property at 1525 Minot Ave. has been used a tractor sales (with a existing 8,400 sf. storage building) and pool supply in recent years with a large amount of the 29 acres to the rear being a vacant combination of woods and pasture. The proposed development features a 40 foot wide street ending in a cul-de-sac that will serve this development and potentially an additional vacant parcel in the northeast portion of the overall property. A driveway leads to a 21,600 sf. retail and service building for Hammond Tractor. 43 parking spaces are provided for this building. The vehicular access way leads to an inventory storage area (crushed gravel surface) that includes an additional 11 parking spaces. Further back to the northwest of the development site are six, 4,000 sf. self storage buildings totaling 24,000 sf.

II. DEPARTMENT REVIEW-

- a. Police- No Comments
- b. Auburn Water and Sewer- This owner of the property has been working with the Auburn Water and Sewer District to construct and extend a new sanitary sewer line along Minot Avenue that will serve this project. A letter from the Water and Sewer District **is attached** with this staff report.
- c. Fire Department- The Auburn Fire Department has worked with the owner and is satisfied with the fire protection plan for the project.

- d. Engineering- Gary Johnson, Assistant City Engineer, sent a list of questions to the Project Engineer, Boyd Snowden on June 2, 2014. Mr. Snowden's response is **attached** with this staff report. In summary, Mr. Johnson's questions pertained to the proposed crushed stone inventory parking area, the status of a possible vernal pool on the property, the proposed sanitary sewer, a new access point to the property from Minot Avenue and whether the proposed road would be public or private.
- e. Planning and Development- The Planning Staff worked with the project engineer on revisions to the application narrative and site plan. The most significant issue that was addressed was the possible vernal pool. The owner had a wetland scientist inspect the area in question and reported in **an attached letter** findings that area is not a vernal pool. A non-conforming "lot", shown on the site plan as a narrow strip of land at the northernmost portion of the development was discussed by staff as needed to be extinguished by incorporating it into an adjacent property.

III. PLANNING BOARD ACTION- The Planning Board is asked to review the application by Hammond Tractor as a Site Plan Review (Section 60-1301) and Special Exception (Section 60-1336).

SITE PLAN- A Site Plan is required as part of a Special Exception review. The applicant met the requirements of the Site Plan Law in their application. The Planning Board needs to make its decision based on the Site Plan Law, *Sec. 60-1277. Objective-* "In considering a site plan, the planning board shall make findings that the development has made provisions for:"

- (1) *Protection of adjacent areas against detrimental or offensive uses on the site by provision of adequate surface water drainage, buffers against artificial and reflected light, sight, sound, dust and vibration; and preservation of light and air; (ACCEPTED BY STAFF)*
- (2) *Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas; (ACCEPTED BY STAFF)*
- (3) *Adequacy of the methods of disposal for wastes; (ACCEPTED BY STAFF) and*
- (4) *Protection of environment features on the site and in adjacent areas. (ACCEPTED BY STAFF)*

SPECIAL EXCEPTION- A Special Exception is defined in the Zoning Ordinance (Page 14) as follows: "***Special exception*** means a use that would not be appropriate generally or without restriction throughout the district, but which, if controlled as to number, area, location or relation to the neighborhood, would promote the public health, safety, welfare, order, comfort, convenience, appearance, prosperity, or general welfare. Such a use may be permitted in such district as a special exception, if specific provision for such special exception is made in this zoning chapter and reasonable restrictions imposed by the planning board are complied with." For this development application, the proposed new building is over 5,000 square feet in size and therefore is a Special Exception in the GBII zone.

The zoning ordinance describes the conditions needed for approval in:
Sec. 60-1336. Conditions-

(a) *As conditions prerequisite to the granting of any special exceptions, the board shall require evidence of the following:*

- (1) *That the special exception sought fulfills the specific requirements, if any, set forth in the zoning ordinance relative to such exception. (ACCEPTED BY STAFF)*
- (2) *That the special exception sought will neither create nor aggravate a traffic hazard, a fire hazard or any other safety hazard. (ACCEPTED BY STAFF)*
- (3) *That the special exception sought will not block or hamper the master development plan pattern of highway circulation or of planned major public or semipublic land acquisition. (ACCEPTED BY STAFF)*
- (4) *That the exception sought will not alter the essential characteristics of the neighborhood and will not tend to depreciate the value of property adjoining and neighboring the property under application. (ACCEPTED BY STAFF)*
- (5) *That reasonable provisions have been made for adequate land space, lot width, lot area, stormwater management in accordance with [section 60-1301](#)(14), green space, driveway layout, road access, off-street parking, landscaping, building separation, sewage disposal, water supply, fire safety, and where applicable, a plan or contract for perpetual maintenance of all the common green space and clustered off-street parking areas to ensure all such areas will be maintained in a satisfactory manner. (ACCEPTED BY STAFF)*
- (6) *That the standards imposed are, in all cases, at least as stringent as those elsewhere imposed by the city building code and by the provisions of this chapter. (ACCEPTED BY STAFF)*
- (7) *That essential city services which will be required for the project are presently available or can be made available without disrupting the city's master development plan. (ACCEPTED BY STAFF)*

IV. STAFF RECOMMENDATION-

Site Plan Review- The Staff recommends the Planning Board **APPROVE** the Site Plan Review for the proposed development of Hammond Tractor at 1525 Minot Avenue as the Site Plan meets the requirements of the Site Plan Law **Sec. 60-1277** based on the findings that:

- The development has made provisions to protect adjacent areas against detrimental or offensive uses and will provide adequate surface water drainage and buffers against unwanted light, sound, dust and vibration and the preservation of light and air.
- The development has made provisions for safe vehicular and pedestrian movement within the site and adjacent areas.
- The development has made provisions for adequate disposal of wastes and the protection of environmental features of the site and adjacent areas.

Special Exception- The Staff recommends the Planning Board **APPROVE** the Special Exception for Hammond Tractor at 1525 Minot Avenue as the application meets the requirements of **Special Exception Law, Section 60-1336** based on the findings that:

- The proposal fulfills the requirements of the Minot Avenue II (GB II) zone.
- The proposed development will not create a traffic, fire or other safety hazard.

- Granting the Special Exception will not be an impediment to the implementation of the 2010 Comprehensive Plan.
- The proposed development will not have a negative effect on the characteristics or values of the neighborhood or surrounding area.
- The proposed development provides adequate area, open and green space, storm water management, parking, landscaping, building separation, water supply and building separation and the provision of maintenance of all of the above.
- The standards imposed are at least as stringent as those elsewhere imposed by the city.
- Essential services are available.

The approval of the Site Plan Review and Special Exception is made subject to the following conditions:

1. Approval by Auburn Water and Sewer District of the new sanitary sewer system to the property.
2. Approval by the Maine DOT of the new access to Minot Avenue.
3. Resolve the non-conforming status of the lot to the north of the project.
4. Prior to the commencement of site work, the developer must contact the Engineering Department regarding the requirement to provide bonding and pay inspection fees to cover those site improvements which have public impacts.



Douglas M. Greene, A.I.C.P., R.L.A.
City Planner



Development Review Application

City of Auburn Planning and Permitting Department
City of Lewiston Department of Planning and Code Enforcement



PROJECT NAME: Hammond Tractor Facility

PROPOSED DEVELOPMENT ADDRESS: 1525 Minot Avenue, Auburn, Maine

PARCEL ID#: 205-001

REVIEW TYPE: Site Plan Site Plan Amendment
 Subdivision Subdivision Amendment

PROJECT DESCRIPTION: Development of new access road, 21,600 square foot retail/service building, development of six 4,000 square foot self-storage buildings and utilities required to serve these new facilities. The project also includes crushed stone inventory areas for the new retail building.

CONTACT INFORMATION:

Applicant Pine Tree Holding, LLC
 Name: Gary Hammond
 Address: P.O. Box 99, Fairfield, ME
 Zip Code 04937
 Work #: 207-453-0300
 Cell #: 207-314-0001
 Fax #: 207-453-7825
 Home #: N/A
 Email: garyh@hammondtractor.com

Property Owner
 Name: Same as applicant
 Address:
 Zip Code
 Work #:
 Cell #:
 Fax #:
 Home #:
 Email:

Project Representative
 Name: Boyd Snowden
 Address: 34 Libby Hill, Oakland, ME
 Zip Code 04963
 Work #: 207-465-4400
 Cell #: 207-649-8568
 Fax #: 2077-465-4441
 Home #: N/A
 Email: boydsnowden@gmail.com

Other professional representatives for the project (surveyors, engineers, etc.),
 Name: Stephen Howell, S.W. Cole Eng.
 Address: 37 Liberty Dr., Bangor, ME
 Zip Code 04401
 Work #: 207-848-5714
 Cell #: 207-735-6547
 Fax #: 207-848-2403
 Home #: N/A
 Email: showell@swcole.com

PROJECT DATA

The following information is required where applicable, in order complete the application

IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area	36,783	sq. ft.
Proposed Total Paved Area	161,962	sq. ft.
Proposed Total Impervious Area	295,844	sq. ft.
Proposed Impervious Net Change	259,061	sq. ft.
Impervious surface ratio existing	2.88 %	% of lot area
Impervious surface ratio proposed	23.17%	% of lot area

BUILDING AREA/LOT COVERAGE

Existing Building Footprint	11,847	sq. ft.
Proposed Building Footprint	57,447	sq. ft.
Proposed Building Footprint Net change	45,600	sq. ft.
Existing Total Building Floor Area	11,847	sq. ft.
Proposed Total Building Floor Area	57,447	sq. ft.
Proposed Building Floor Area Net Change	45,600	sq. ft.
New Building	Yes	(yes or no)
Building Area/Lot coverage existing	0.928%	% of lot area
Building Area/Lot coverage proposed	4.45%	% of lot area

ZONING

Existing Commercial

Proposed, if applicable N/A

LAND USE

Existing General Business II

Proposed General Business II

RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units N/A

Proposed Number of Residential Units _____

Subdivision, Proposed Number of Lots N/A

PARKING SPACES

Existing Number of Parking Spaces 10 spaces

Proposed Number of Parking Spaces 55 spaces

Number of Handicapped Parking Spaces 2

Proposed Total Parking Spaces 62 spaces

ESTIMATED COST OF PROJECT

\$ 2,585,000

DELEGATED REVIEW AUTHORITY CHECKLIST

SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	36,783	sq. ft.
Proposed Disturbed Area	365,904	sq. ft.
Proposed Impervious Area	259,061	sq. ft.

1. *If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.*
2. *If the proposed impervious area is greater than one acre including any impervious area crated since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.*
3. *If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.*
4. *If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.*

TRAFFIC ESTIMATE

Total traffic estimated in the peak hour-existing (Since July 1, 1997) 9 PCE passenger car equivalents (PCE)

Total traffic estimated in the peak hour-proposed (Since July 1, 1997) 87 PCE passenger car equivalents (PCE)

If the proposed increase in traffic exceeds 100 one-way trips in the peak hour then a traffic movement permit will be required.

Zoning Summary

1. Property is located in the General Business II zoning district.
 2. Parcel Area: 29.31 acres / 1,276,744 square feet(sf).

Regulations	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	<u>10,000</u>	<u>/ 1,276,744</u>
Street Frontage	<u>100'</u>	<u>/ 306'</u>
Min Front Yard	<u>25'</u>	<u>/ 357'</u>
Min Rear Yard	<u>35'</u>	<u>/ 177'</u>
Min Side Yard	<u>25'</u>	<u>/ 362'</u>
Max. Building Height	<u>45'</u>	<u>/ 20' +/-</u>
Use Designation	<u>Commercial</u>	<u>/ Commercial</u>
Parking Requirement	<u>1 space/ per varies square feet of floor area</u>	
Total Parking:	<u>54 spaces</u>	<u>/ 67 spaces</u>
Overlay zoning districts (if any):	<u>/ /</u>	
Urban impaired stream watershed?	<u>YES/NO If yes, watershed name <u>NO</u></u>	

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submissions shall include fifteen (15) complete packets containing the following materials:

1. Full size plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

Refer to the application checklist for a detailed list of submittal requirements.

L/A's development review process and requirements have been made similar for convenience and to encourage development. Each City's ordinances are available online at their prospective websites:

Auburn: www.auburnmaine.org under City Departments/ Planning and Permitting/Land Use Division/Zoning Ordinance

Lewiston: <http://www.ci.lewiston.me.us/clerk/ordinances.htm> Refer to Appendix A of the Code of Ordinances

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.

Signature of Applicant: 	Date: June 6, 2014
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SNOWDEN CONSULTING ENGINEERS, INC.

34 Libby Hill Professional Building Suite 2 Oakland, Maine 04963
Phone: (207) 465-4400 Fax: (207) 465-4441 email:bsnowden@snowdenengineers.com

June 30, 2014
SITE-07-045

City of Auburn Planning Department
Attn: Douglas Greene
60 Court Street
Auburn, ME 04210

RE: Narrative for Site Plan Review and Special Exception Compliance

Dear Mr. Greene,

I am pleased to submit this letter as part of the required application materials for the Pine Tree Holdings, LLC submission for the Hammond Tractor Facility proposed for development on a parcel which abuts Minot Avenue. The following paragraphs outline the means by which the submission materials meet the standards for both the Site plan Review criteria and the Special Exception criteria.

Site Plan Review Compliance

The following items list the determination we have made for compliance with the Site Plan Review standards. The order of these items corresponds to the order by which each falls within the review standards document supplied to me by your office.

1. *"Protection of adjacent areas against detrimental or offensive uses on the site by provision of adequate surface water drainage, buffers against artificial and reflected light, sight, sound, dust and vibration; and preservation of light and air;...."*

In order to meet this requirement, the proposed design has incorporated a number of aspects that ensure compliance with this standard. First, in order to ensure that the project does not negatively impact adjacent areas due to storm water runoff, the design incorporates a number of storm water treatment facilities that not only reduce the projected peak runoff to less than pre-development runoff rates, but also treat the runoff to meet the quality standards required by the Site Location of Development permit standards. The design incorporates three underdrain grass filters and a wet pond to manage the storm water from the developed site.

The design also has retained a wooded buffer area along the western edge of the parcel to achieve two purposes. The first purpose is to maintain an adequate buffer for the existing unnamed stream that traverses the property along the western boundary. Secondly, this wooded buffer area provides a visual and sound screening for abutting properties to the west of the site.

The design also requires dust control to reduce the detrimental effects of dust on abutters both during construction and post-construction. All disturbed areas are either impervious areas (most of which are asphalt or building surface), or vegetated areas that will be seeded and mulched after the grading of the site is completed. These efforts are intended to reduce the amount of soil particles that are allowed to leave the site whether it be in storm water

runoff or by wind. The stabilization of the site proposed in the design will aid in ensuring that the dust is kept to a minimum throughout these time periods.

2. *Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas:*

The site has been designed in a manner to separate the customer access and parking areas from the delivery and equipment storage areas on the site. Most of the delivery access and equipment storage is located in areas that are separated from the main customer entrance. This will protect the customers during their visits to the retail and service areas, as well as protect the employees and delivery vehicle operators by separating them from the general public. The main entrance to the facility and to the self-storage areas will be along the proposed roadway planned to be constructed along the existing car sales lot to the east of the site, off Minot Avenue. Deliveries will also enter the site along this proposed route; however, delivery vehicles are planned to exit along an expanded existing site entrance on the western edge of the parcel, near the existing commercial rental building. The intent of the secondary delivery access exit is to provide a means that delivery trucks can exit the site without having to be incorporated into the customer exit route.

3. *Adequacy of methods for disposal of wastes;*

The project plans to connect into the municipal sanitary sewer system for all waste streams generated from bathroom facilities, kitchenette areas, or wash down areas in the service department. The intent is to construct a new gravity sanitary sewer main on the property that will transmit sewerage waste from the new building to a new pump station that will be located adjacent to Minot Avenue on the parcel. Sewerage will then be pumped from this pump station approximately 1,700 feet through a sanitary sewer forcemain to an existing gravity sewer manhole located in an easterly direction from the parcel, on the north side of Minot Avenue. This existing manhole is part of the Auburn Water and Sewer District collection system.

The applicant plans to utilize commercial haulers to haul solid waste collected from the site and dispose of in accordance with City of Auburn standards. There will two dumpsters located on the site. One of the dumpsters will contain MSW, the other will contain cardboard. The location of these dumpsters has been identified on the site plan.

Construction debris from any of the building construction work shall be hauled to the appropriate transfer station facility for processing.

4. *Protection of environmental features on the site and in adjacent areas;*

As indicated under Item 1 above, the site has been designed to fit harmoniously into the surrounding areas to minimize impacts to the environment and the abutting properties. Although significant soils will be disrupted as part of the scope of work, the applicant intends to limit the disturbed areas to smaller segments during the construction of this project so as to ensure the areas are more manageable, and therefore, easier to maintain during construction periods.

The design also maintains a wooded buffer area surrounding the existing stream channel along the western boundary of the parcel. This wooded buffer area not only provides protection for the stream, but also acts as a visual and sound barrier between the development and existing landowners to the west of the parcel.

A potential significant vernal pool was identified in 2007 during Phase 1 of the site development for this parcel. The potential significant vernal pool was identified on the 80 foot strip that was owned at that time by Russell Hammond. The strip of land was transferred to Gary Hammond in 2009 to clear up a non-conforming lot issue the City had with this 80 foot strip. We limited the work in regards to this vernal pool in 2007 since it was not on the development parcel, and therefore, we were not obligated to meet the regulatory standards since vernal pool regulations cannot cross property boundary lines in the State of Maine. The vernal pool issue was raised during a review by Gary Johnson, Assistant City Engineer for the City of Auburn. Once the 80 foot strip became property owned by Gary Hammond, the project also became subject to the regulatory standards for vernal pools.

Since our office had directed S.W. Cole to limit their work on the potential significant vernal pool in 2007, we asked Aleita Burman from S.W. Cole to visit the site on June 27th to provide an inspection of the vernal pool and to determine whether she thought that this vernal pool could be significant. This inspection was to provide the applicant with an understanding of the resource, and the potential impacts to the development. Since Ms. Burman was not the original person who delineated the site from S.W. Cole, being the senior wetland scientist at S.W. Cole, we felt her professional opinion would provide us with the guidance the applicant needed to determine the future path for the project.

The results of Ms. Burman's inspection have been included on the letter from S.W. Cole dated June 28, 2014. To summarize this letter, Ms. Burman found that the pool was actually linked to two stream channels in close proximity to it. Her finding was that the pool did in fact have an outlet which connected to one of these existing stream channels. She also determined that even though the date of the inspection was outside of the window for counting egg masses for vernal pool activity, she indicated there still would have been salamander or other species present in the pool had it been acting as a significant vernal pool. This new data led her to conclude that the pool was in fact part of the stream channel and did not meet the definition of a vernal pool. I would recommend a review of June 28th letter for additional information on this matter outlined by Ms. Burman.

5. Section 60-1301 Scale, required information

- a. The scale of the plans vary. The site plan and grading plans are provided at scales of 1" = 60' or less.
- b. The name and address of the owner and developer have been provided on the plans.
- c. The name of the development, scale, north arrow, date of plan and legend have been provided on the plans.
- d. The names and addresses of the abutters has been provided under separate cover from the plan, as part of the application for the Site Location of Development Permit. The abutter names and addresses were determined from the City of Auburn Tax Map database. The abutters are referenced by Map and Lot number.
- e. Current zoning boundaries and flood plain boundaries have not been added to the Site Plan but can be if required.

- f. Existing boundary information was derived from the boundary survey plan completed by Cullenberg Land Surveyors for the parcel dated September 10, 2007.
- g. Topographical data for the site, including existing contours and site features within the parcel and for portions of surrounding abutting properties and roadways was provided by an aerial survey data plan completed by Aerial Survey & Photo using photo imagery taken on November 28, 2007.
- h. Locations of wetland, marsh and water course areas were delineated by S.W. Cole Engineers in 2007. A potential significant vernal pool was located in the northwest corner of the parcel at that time within the 80 foot strip owned by Russell Hammond. The 80 foot strip was transferred to Pine Tree Holdings, LLC in 2009. The potential significant vernal pool was inspected on June 28, 2014 where it was determined that the pool was not a vernal pool but in fact was part of an existing stream channel system.
- i. All buildings on the parcel as well as on abutting properties delineated from aerial survey data and reflected on the plan.
- j. Locations of water mains, sewer and storm drain systems indicated on the plans provided by the local utilities or located in the field with supplemental survey data provided by Broken Stone Land Surveyors.
- k. Soil data for the parcel developed in High Intensity soil survey of the parcel provided by S.W. Cole Engineers, Inc.
- l. Design of site plan incorporates plans for vehicular and pedestrian movement within the development as well as provisions for access onto Minot Avenue. The total existing vehicle trip ends for the parcel is 9 PCE's. The total projected peak vehicle trip ends for the parcel upon full build-out is 87 PCE's, as derived from data provided within the 6th edition of the Trip Generation Manual developed by the Institute of Transportation Engineers.
- m. Locations of proposed underground water and sewer mains have been delineated on the site plans. Location of the electrical service feed and communication feed will be field determined by the respective local utilities. Adequate separation will be provided between these utilities and other site features or utilities.
- n. Section 12 of the previously submitted application for Site Location of Development permit includes a full description of the storm water management plan for the proposed project. The storm water management plan meets State and Federal requirements for the storage and treatment of runoff from the proposed development.
- o. Off-street parking areas have been defined on the site plan and comply with the Auburn standards for size and quantity of off-street parking for this zone.
- p. Exterior lighting for the self-storage units shall be with the use of wall packs mounted on each of the self-storage buildings. Exterior lighting for the Hammond Tractor facility will also include the use of wall packs mounted around the building as required.
- q. Landscaping details have been indicated in the design plans.
- r. The applicant plans to install a sign adjacent to Minot Avenue on the parcel for the new facility. This sign will likely not be constructed until at least 2015. The location of the proposed sign has been identified on the Site Plan. Prior to installation, the applicant will submit the design information of the sign to the City for approval.
- s. Descriptions of the intent for disposal for solid waste, sewerage have been included within the application for the Site Location of Development Permit.
- t. Boundary description data is provided on the Boundary Survey plan completed by Cullenberg Land Surveyors dated September 10, 2007 and provided under separate cover.
- u. The applicant has coordinated the project design with John Storer of the Auburn Water & Sewerage District. Letters of approval from the District are likely to be sent directly to the City of Auburn during the planning board review process.

v. Being a commercial development, the development areas and percent coverage of buildings and impervious areas for the proposed development are as follows:

1. Proposed Total Impervious Area (included existing develop.)	295,844 s.f.
2. Percent impervious area coverage of parcel	23.17%
3. Proposed Total Building Area (including development)	57,447 s.f.
4. Percent building area coverage of parcel	4.45%
5. Area proposed for driveway, parking and inventory	238,397 s.f.
6. Total number of parking spaces required	54
7. Total number of employees projected per shift	10
8. Total proposed retail building area	10,447 s.f.
9. Total proposed parts, service & equipment storage (buildings)	47,000 s.f.

w. It is Pine Tree Holding's intent to initially construct the wet pond, access road, utilities and the platform area for the proposed self-storage buildings on the site in 2014. Pine Tree Holding will construct several (planning on 2 or 3) of the self storage buildings in 2015, then progress with construction of the remainder of the buildings as demand requires. Pine Tree Holding shall also construct the sanitary sewer force main in 2014. In 2015, Pine Tree Holding shall complete the site work on the parcel in preparation for the new Hammond Tractor Facility. The current plan of the applicant is to construct the new facility in 2016 along with providing final grading and paving of site, assuming the economic outcast is still favorable at that time. Should a downturn in the economy occur, the new facility construction may be pushed off another year or more until the economy stabilizes.

x. Financial capability data has been provided within the application for the Site Location of Development permit.

Division 3 - Special Exception

In reference to the special Exception criteria required due to the amount of square footage being proposed for the parcel, I have responded to the descriptions from the Ordinance in sequential format. The responses below are listed in the order they are defined within the City Ordinance.

1. It is our contention that we have provided within the application all of the criteria necessary for the Planning Board to determine that this project has met the requirements of the City of Auburn Ordinance for the Minot Business GB II zoning standards of this parcel. Any issues identified during the review by City Staff and outside agencies shall be addressed immediately and prior to the Planning Board final meeting.
2. Due to the low number of peak hour vehicle trip ends for the proposed development, we do not anticipate traffic hazard conditions to be aggravated by the project. The project will be coordinated with the City Planning Office and the Maine Department of Transportation for the entrances onto Minot Avenue. The applicant has submitted an entrance permit

application to the Maine Department of Transportation. A copy of this application has been included with this narrative.

3. To our knowledge, there is no current master plan for constructing a future highway through or near this parcel, therefore, we do not anticipate that the project will hamper or disrupt any master development plan.
4. The project has been developed in a manner that will screen the proposed development from existing residential parcels to the west of the parcel by maintaining the wooded buffer area along the western boundary. The design is also proposed to mask the self-storage facilities behind the proposed large retail/service building of Hammond Tractor, rather create a greater visual impact by not aligning those two building development envelopes from the Minot Avenue corridor. The development fits into the current business/commercial uses for parcels surrounding the site.
5. Reasonable provisions have been made to develop the parcel in a manner that ensures compliance with local and State standards for lot configuration and development.
6. To our knowledge, the proposed development is proposed so as to comply with the stringent requirements of the City Ordinance which is consistent with other developments throughout the City.
7. Our office will continue to work with essential services such as the Fire Department and Police Department to ensure that each has adequate access to the site, and that the proposed development does not negatively impact their ability to serve both this development and surrounding abutting properties.

I hope the information provided within this letter has addressed the submission criteria for the planning board meeting criteria. Please contact me if you have any questions or require additional information.

Sincerely,



Boyd A. Snowden, PE
President

cc: Pine Tree Holdings, LLC

AUBURN WATER DISTRICT

MEMBER MAINE WATER UTILITIES ASSOCIATION

268 COURT ST. - P.O. BOX 414

AUBURN, MAINE 04212-0414

June 26, 2014

Douglas M. Greene
Auburn City Planner
60 Court St.
Auburn, ME 04210

RE: Proposed Hammond Tractor Facility, Minot Avenue, Auburn

Dear Doug:

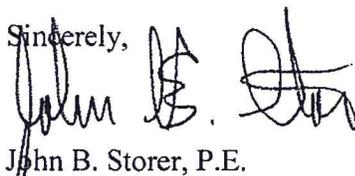
We reviewed a Site Location Permit Application for a proposed Hammond Tractor Facility to be located on a 29 acre parcel out past the intersection of Hatch Road on Minot Avenue. Public water is currently available at the site and we are cooperating with the applicant's engineer, Boyd Snowden, to get a private sewer service connection to our public collection system.

We have no concerns regarding the proposed project. Public water can be provided from our water main located in Minot Avenue. We have two comments for the applicant to consider. A 6-inch water main is shown entering onto the parcel. It is listed as being Class 52 cement lined, ductile iron. We would likely allow use of lower cost C909 PVC pipe, provided the selected earthwork contractor was comfortable using the PVC pipe. The other comment is in regard to whether the new facility will have any type of sprinkler system. If a sprinkler line is required the applicant would be required to run separate water service lines: one for metered domestic use; and a separate service for non-metered sprinkler use. The plans currently show a single 2-inch HDPE service line, presumably for domestic use only.

The applicant is planning to put in a sewerage pump station that will have a private force main extend back to our public sanitary sewer collection system. We are comfortable with this approach and have been working with Mr. Snowden to obtain the necessary MDOT permits.

Please feel free to contact us if you have any questions or concerns. We are available to meet to discuss the proposed project or to review any related plans.

Sincerely,



John B. Storer, P.E.
Superintendent, Auburn Water & Sewerage Districts



SNOWDEN CONSULTING ENGINEERS, INC.

34 Libby Hill Professional Building Suite 2 Oakland, Maine, 04963.
Phone: (207) 465-4400 Fax: (207) 465-4441 email:bsnowden@snowdenengineers.com

June 30, 2014
SITE-07-045

City of Auburn
Attn: Douglas Greene
60 Court Street
Auburn, ME 04210

***RE: Response to cursory Review Comments from Gary Johnson dated June 2, 2014,
Hammond Tractor Facility***

Dear Mr. Greene:

Please accept this letter as our response to comments made in a memo provided by Gary Johnson regarding the proposed Hammond Tractor Facility. The responses to these comments are in the same sequence as the memo.

1. *Will the proposed crushed stone surface for the Inventory Storage Area meet the City's requirement for a "dust free" surface?*

Although this question appears to be addressed to the planning department, I would like to note that the crushed stone will have some initial dust on it due to the material manufacturing process. There will also be times in the future where sediment may fall off the tractors that are brought in for servicing. However, rainfall should wash these particles to below the surface which should reduce any potential dust clouds. Also, the traffic traveling over these crushed stone areas will be travelling at very slow speeds due to equipment storage in these areas, therefore it is unlikely that even in the presence of colloidal particles that any significant dust cloud would be created. These crushed stone areas will not be occupied or driven on by customers, but by staff at the facility. This will reduce the traffic volume for these areas.

2. *What is the status of the identified potential Significant Vernal Pool located in the northwest corner of the site, within Wetland A?*

The potential significant vernal pool was identified in 2007 as part of a separate lot and re-inspected in 2014 after the land was transferred to the applicant as part of a lot conformance issue. The inspection in 2014 documented that the potential significant vernal pool was in fact part of an existing stream channel, and therefore did not meet the definition of a vernal pool. See letter from Aleita Burman, Senior Wetland Scientist, dated June 28, 2014, regarding this issue.

3. The proposed private sewer force main will require permitting through Maine DOT.

The applicant is in the process of acquiring the permitting for this sewer force main through Maine DOT. The Opening Permit will be submitted to the City Planning Office once it is received.

4. All changes to access points along Minot Av will require Maine DOT permits.

The applicant is in the process of applying for an Entrance permit application for the development in accordance with the design plans. The Entrance permit will be submitted to the City Planning Office once it is received.

5. Will the access road being constructed to City standards be offered by acceptance as a city street? If so, then the following items need to be considered:

- A street name that does not duplicate or phonetically sound like another in the City.*
- Additional bonding and inspection requirements.*
- Potential issues with change of street address, i.e., deliveries, advertising, legal documents. These would only be temporary, but sometimes do create unexpected costs and problems.*

It is the intent of the applicant to construct the road to meet City standards for acceptance; however, the applicant has no intent on making this a public road at this time. The applicant wants to construct the road to City standards now, but reserve the right to request it to be a public road in the future.

I hope this letter adequately responds to the questions/comments from Mr. Johnson regarding the project. If you have any additional comments or questions, please do not hesitate to call.

Sincerely,

Boyd A. Snowden, PE
President

cc: Pine Tree Holdings, LLC

07-1013.4 W
June 28, 2014

Hammond Tractor Company
Attention: Gary Hammond
216 Center Road
P.O. Box 30
Fairfield, ME 04937

Subject: Site Visit to Potential Vernal Pool
Proposed Development Property
Minot Avenue
Auburn, Maine

Dear Gary,

This letter is to present the results of our site visit to a previously identified potential vernal pool on the proposed development property on Minot Avenue in Auburn, Maine. The purpose of our services was to visit a previously identified potential vernal pool on the site and determine if it potentially meets either the U.S. Army Corps of Engineers (Corps) or Maine Department of Environmental Protection (MDEP) definitions of a vernal pool.

S.W. Cole Engineering, Inc. (S.W.COLE) conducted Protected Natural Resources identification and delineation services on the property in 2007 and 2008, reported to you in our July 10, 2008 Wetland Delineation Report. In that report and on its accompanying plan, we identified a potential vernal pool in the northwestern portion of the property, in the vicinity of the junction of two streams.

After our identification and delineation services, we were informed that a strip of land along the northern property boundary was not originally deeded to you, but retained by the original landowner at his request during the property sale, and that it was not part of our services as we originally thought. This strip included portions of two streams and the potential vernal pool. We understand that since that time, due to City of Auburn rules regarding subdivision, that the strip of land has recently reverted to your ownership. Since this change in property line now includes the potential vernal pool on your potential development site, we were asked to visit the feature to assess if it is a vernal pool.

We visited the previously identified potential vernal pool on June 27, 2014. The feature was located in a wetland at the bottom of a gully within the junction of two streams, the westernmost appearing perennial, the easternmost appearing intermittent. The wetland was forested with well-developed understory and herbaceous layers, and very poorly drained soils. The feature was linear, originating at the base of a nearby field, then flowing through the wetland and outletting to the perennial stream. We observed approximately 4 inches of water within the portion of the linear feature that was closest to the stream. We did not observe any of the four Maine vernal pool indicator species in the ponded water; either adults, eggs or larvae/tadpoles. The feature appears to be a small, intermittent tributary to the stream.

As an intermittent tributary to a stream, with no Maine vernal pool indicator species observed, the previously identified potential vernal pool does not meet either the Corps¹ or MDEP² definitions of a vernal pool.

It has been a pleasure to be of assistance to you with this phase of your project. If you have any questions, or if we may be of further assistance, please do not hesitate to contact us.

Sincerely,

S. W. Cole Engineering, Inc.



Aleita M. Burman, C.W.S., C.S.S.
Senior Wetland Scientist

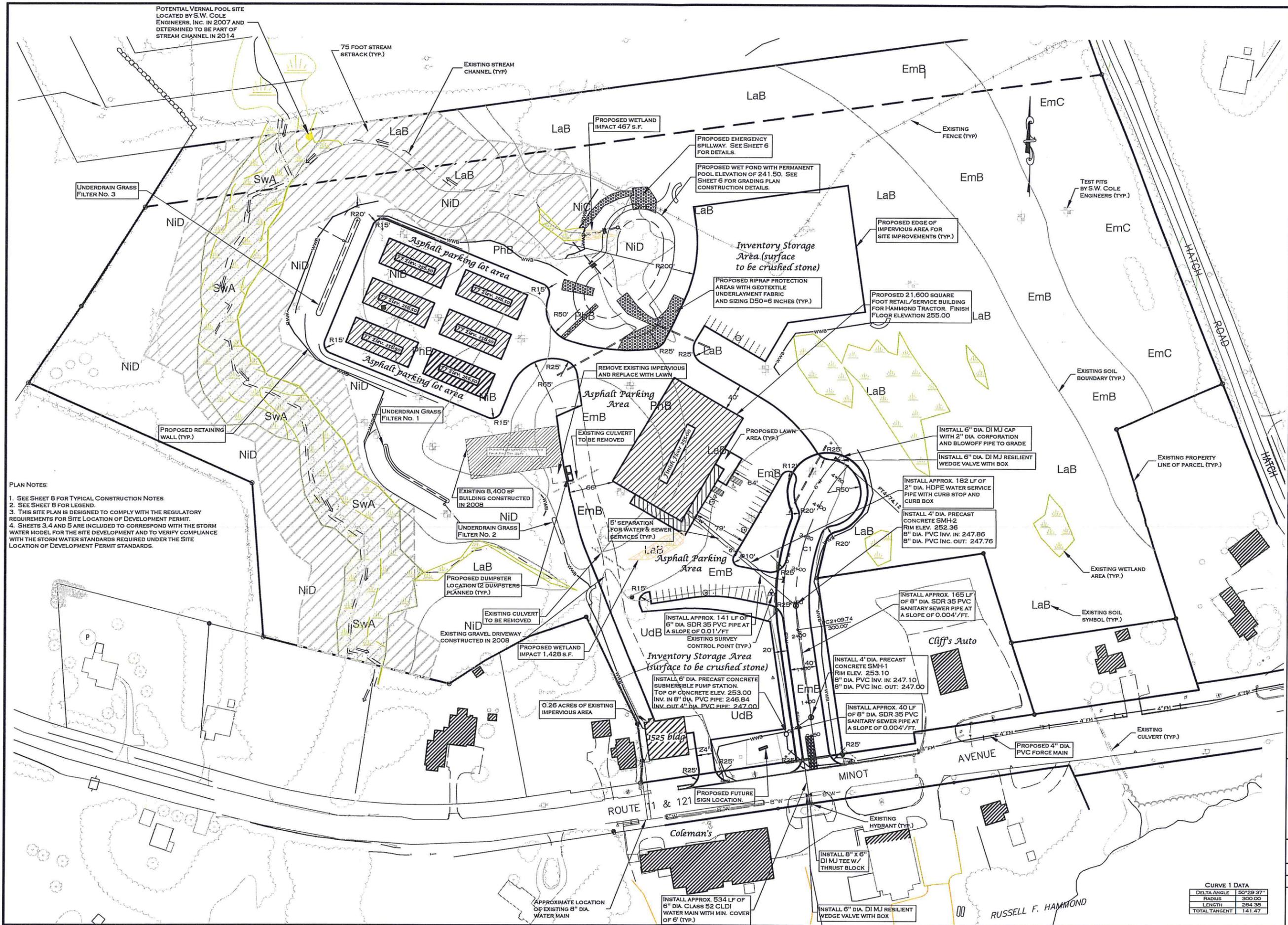
cc: Boyd Snowden, Snowden Consulting Engineers

AMB:amb

P:\2007\07-1013.4 W - Hammond Tractor - Auburn, ME - Commercial Development - AMB\Reports and Letters\Vernal Pool Documentation Letter.doc

¹ U.S. Army Corps of Engineers, New England District. Department of the Army, General Permit, State of Maine. October 12, 2010 – October 12, 2015.

² State of Maine, Department of Environmental Protection. 06-096, Chapter 335 Significant Wildlife Habitat. Amended January 07, 2014.



DATE	8/20/14
REVISION	ADDED WETLAND TO PLAN
NO.	1
NO.	2
SHEET TITLE	
PHASE II SITE PLAN	
PROJECT	
HAMMOND TRACTOR FACILITY	
PROJECT OWNER:	PINE TREE HOLDING, LLC
OWNER ADDRESS:	P.O. BOX 88 FAIRFIELD, MAINE 04937
PROJECT ADDRESS:	MINOT AVE. AUBURN, MAINE
PROJECT SCALE:	HORIZONTAL: 1"=60'
PLAN DATE:	MAY 26, 2014
SNOWDEN CONSULTING ENGINEERS, INC.	
34 LIBBY HILL PROFESSIONAL BUILDING, SUITE 2 OAKLAND, MAINE 04963	
PHONE: 207-465-4100 FAX: 207-465-4441 EMAIL: BSNOWDEN@SNOWDENENGINEERS.COM	
STATE OF MAINE	
BOYD	
REGISTERED PROFESSIONAL ENGINEER	
FINAL PLAN	
FILE NAME: PHASE II FINAL PLAN_05.26.14	
PROJECT NO.: SITE07045	
SHEET NO.	
1	
8	

TBM NO.	DESCRIPTION	ELEV.

INSTALL PRECAST CONCRETE F-STRUCTURE FOR OUTLET BASIN OF GRASS FILTER. TOP OF STRUCTURE 250.50 INV. IN 8" HDPE PIPE 246.08 INV. OUT 12" DIA. HDPE PIPE 245.70

INSTALL APPROX. 42 LF. OF 12" DIA. HDPE SMOOTH BORE DRAIN PIPE AT SLOPE OF 0.0881/FT.

12" DIA. HDPE OUTLET OUTLET TO BE CONSTRUCTED WITH RIPRAP PLUNGE POOL IN ACCORDANCE WITH THE DETAIL ON SHEET 7

UNDERDRAIN GRASS FILTER No. 3

PROPOSED SELF STORAGE BUILDINGS EACH WITH IDENTICAL SIZE OF 4,000 SF AND TO BE INSTALLED AT A FINISH FLOOR ELEVATION OF 256.50

EXISTING CONTOURS TAKEN FROM CITY OF AUBURN AERIAL CONTOUR CAD PLANS.

75 FOOT STREAM SETBACK (TYP.)

EXISTING STREAM CHANNEL (TYP.)

INSTALL APPROX. 117 LF OF 15" DIA. HDPE SMOOTH BORE CULVERT INV. IN: 251.00 INV. OUT: 247.00

INSTALL RIPRAP OUTLET PROTECTION FOR DISCHARGE CULVERT PIPE IN ACCORDANCE WITH THE DETAIL ON SHEET 7.

INSTALL 6" DIA. PRECAST CONCRETE OUTFLOW STRUCTURE IN ACCORDANCE WITH THE DETAIL ON SHEET 6.

EXISTING CONTOURS DEVELOPED BY AERIAL SURVEY & PHOTO IN 2007 FROM AERIAL IMAGERY (TYP.)

EXISTING FENCE (TYP.)

INSTALL RIPRAP EMERGENCY SPILLWAY IN ACCORDANCE WITH THE DETAIL ON SHEET 6.

EDGE OF IMPERVIOUS-AREA DEFINED FOR SITE DEVELOPMENT. SEE SHEET 1 TO DETERMINE TYPE OF SURFACE TREATMENT.

INSTALL APPROX. 94 LF OF 18" DIA. HDPE SMOOTH BORE CULVERT INV. IN: 246.03 INV. OUT: 245.50

INSTALL 2' HIGH STONE BERM IN ACCORDANCE WITH THE DETAIL ON SHEET 8

INSTALL APPROX. 115 LF OF 18" DIA. HDPE SMOOTH BORE CULVERT INV. IN: 248.25 INV. OUT: 248.00

INSTALL APPROX. 96 LF OF 18" DIA. HDPE SMOOTH BORE CULVERT INV. IN: 249.00 INV. OUT: 248.50

INSTALL WOOD WASTE BERM AT THE LOCATIONS INDICATED ON THIS PLAN IN ACCORDANCE WITH THE DETAIL ON SHEET 8.

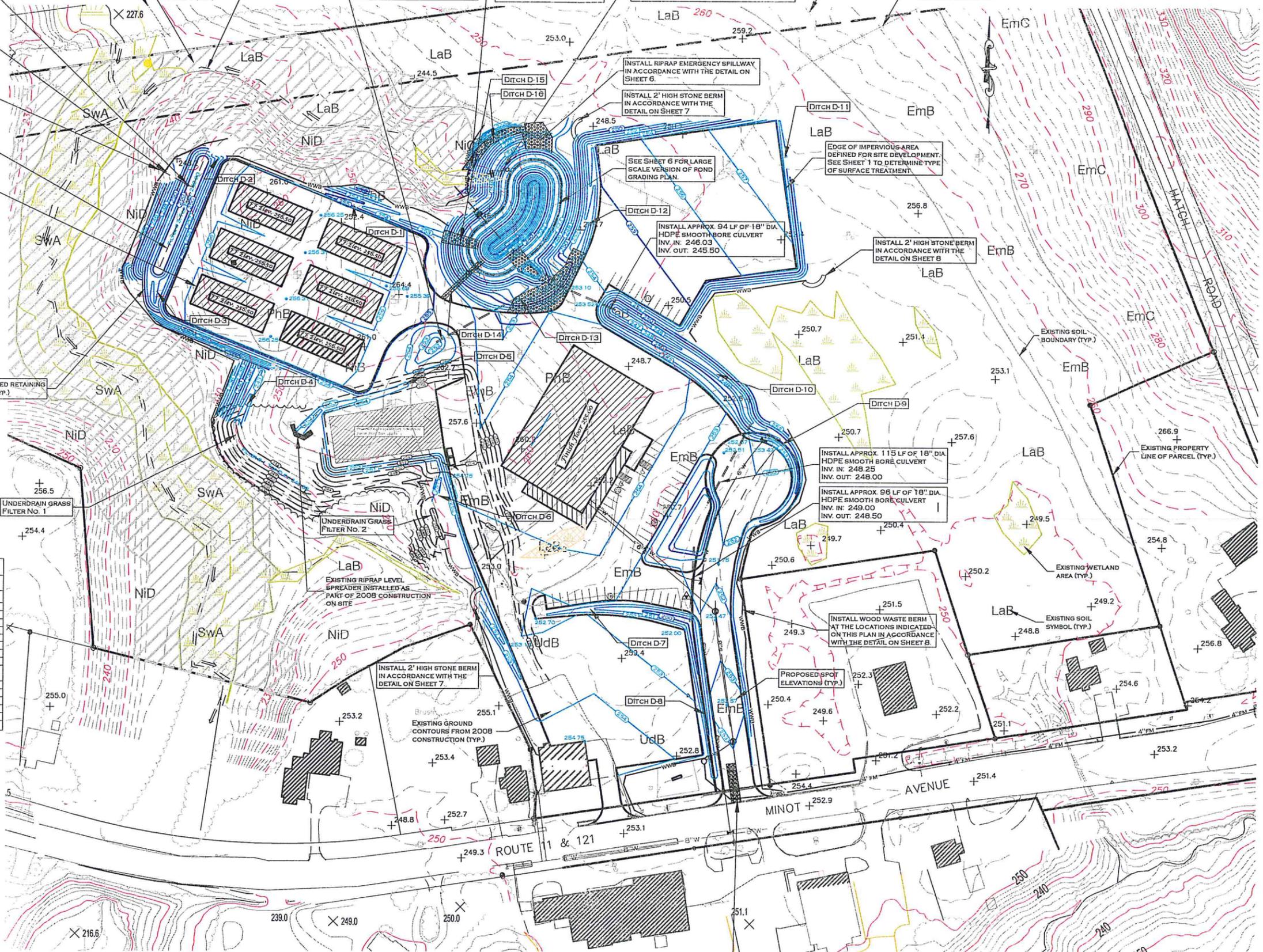
INSTALL 2' HIGH STONE BERM IN ACCORDANCE WITH THE DETAIL ON SHEET 7.

PROPOSED SPOT ELEVATIONS (TYP.)

PROPOSED CONSTRUCTION ENTRANCE SEE DETAIL ON SHEET 8

Ditch #	Ditch Size/Type	Surface Cover
1	2' WIDE TRAPEZOIDAL	VEGETATIVE
2	2' WIDE TRAPEZOIDAL	VEGETATIVE
3	1' WIDE TRAPEZOIDAL	VEGETATIVE
4	1' WIDE TRAPEZOIDAL	VEGETATIVE
5	2' WIDE TRAPEZOIDAL	VEGETATIVE
6	1' WIDE TRAPEZOIDAL	VEGETATIVE
7	2' WIDE TRAPEZOIDAL	VEGETATIVE
8	1' WIDE TRAPEZOIDAL	VEGETATIVE
9	1' WIDE TRAPEZOIDAL	VEGETATIVE
10	2' WIDE TRAPEZOIDAL	VEGETATIVE W/ TRM
11	1' WIDE TRAPEZOIDAL	VEGETATIVE
12	2' WIDE TRAPEZOIDAL	VEGETATIVE
13	2' WIDE TRAPEZOIDAL	RIPRAP D50 = 6"
14	1' WIDE TRAPEZOIDAL	RIPRAP D50 = 6"
15	2' WIDE TRAPEZOIDAL	RIPRAP D50 = 6"
16	3' WIDE TRAPEZOIDAL	RIPRAP D50 = 8"

- PLAN NOTES:
- SEE SHEET 8 FOR TYPICAL CONSTRUCTION NOTES
 - SEE SHEET 8 FOR LEGEND
 - THIS GRADING PLAN IS DESIGNED TO COMPLY WITH THE REGULATORY REQUIREMENTS FOR SITE LOCATION OF DEVELOPMENT PERMIT.
 - SHEETS 3, 4 AND 5 ARE INCLUDED TO CORRESPOND WITH THE STORM WATER MODEL FOR THE SITE DEVELOPMENT AND TO VERIFY COMPLIANCE WITH THE STORM WATER STANDARDS REQUIRED UNDER THE SITE LOCATION OF DEVELOPMENT PERMIT STANDARDS.
 - AERIAL CONTOURS FROM CITY OF AUBURN CAD FILES ARE USED FOR STORM WATER MODELING DETERMINATION ONLY
 - SEE SHEET 4 AND 5 FOR SOIL SYMBOL CHART INCLUDING MAXIMUM VELOCITIES FOR EACH SOIL GROUP IDENTIFIED ON THE SITE.



PHASE II GRADING PLAN

HAMMOND TRACTOR FACILITY

PROJECT OWNER: FINE TREE HOLDING LLC, P.O. BOX 88, FAIRFIELD, MAINE 04937
 OWNER ADDRESS: FAIRFIELD, MAINE 04937
 PROJECT ADDRESS: MINOT AVE, AUBURN, MAINE



FINAL PLAN
 FILE NAME: PHASE2FINAL.PLAN_25.14
 PROJECT NO.: SITE07-048
 SHEET NO.: 2

NO.	REVISION	DATE
1	ADDED TENTATIVE POOL	06/20/15

HORIZONTAL: 1"=60'

PROJECT SCALE

MINOT AVE, AUBURN, MAINE

PROJECT ADDRESS

34 LIBBY HILL PROFESSIONAL BUILDING, SUITE 2, OAKLAND, MAINE 04563
 PHONE: 207-465-4100 FAX: 207-465-4441
 EMAIL: BSNOWDEN@SNOWDENENGINEERS.COM

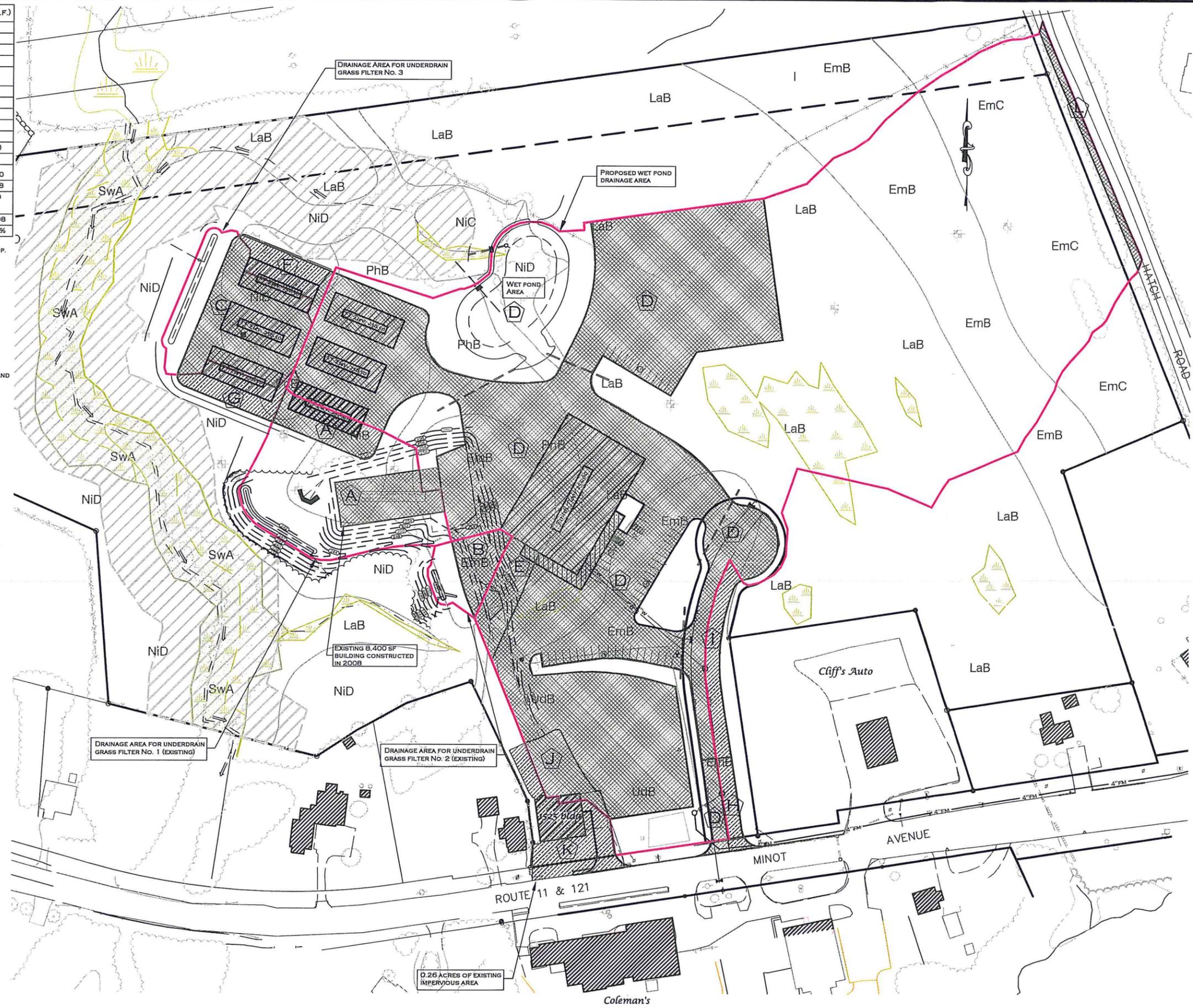


FINAL PLAN
 FILE NAME: PHASE2FINAL.PLAN_25.14
 PROJECT NO.: SITE07-048
 SHEET NO.: 2

SYMBOL	IMPERVIOUS TREATED AREA	AREA SIZE (S.F.)
A	UNDERDRAIN GRASS FILTER 1	14,139
B	UNDERDRAIN GRASS FILTER 2	4,798
C	UNDERDRAIN GRASS FILTER 3	20,001
D	WET POND	234,796
E	IMPERVIOUS AREA TREATED BY WET POND (CURBING TO BE INSTALLED)	6,104
F	IMPERVIOUS AREA NOT TREATED	5,004
G	IMPERVIOUS AREA NOT TREATED	5,590
H	IMPERVIOUS AREA NOT TREATED	2,609
I	IMPERVIOUS AREA NOT TREATED	4,749
J	EXISTING IMP. AREA TREATED (WET POND)	(5,602)
K	EXISTING IMPERVIOUS AREA NOT-TREATED	(11,558)
L	EXISTING OFFSITE IMPERVIOUS AREA TREATED	(3,115)
TOTAL NEW IMPERVIOUS AREA		297,780
TOTAL NEW TREATED IMPERVIOUS AREA		279,838
EXISTING IMPERVIOUS AREA NEWLY TREATED (INCLUDES 1/2 TREATMENT FOR OFFSITE)		7,160
TOTAL TREATED IMPERVIOUS AREA		286,998
IMPERVIOUS AREA TREATMENT PERCENTAGE		96.38%

SUBCATCH. AREA	TREAT TYPE	LAWN AREA	NEW IMP. AREA	TOTAL DEVELOP. AREA
1	POND	7,162	12,161	19,323
2	POND	6,081	15,545	21,626
3	POND	5,912	36,099	42,011
4	POND	204	10,071	10,275
5	NT	OFFSITE	OFFSITE	OFFSITE
6	POND	16,048	29,543	45,591
7	POND	3,231	3,171	6,402
(7 ALSO INCLUDES CREDIT FOR HATCH ROAD TREATMENT)				
8	POND	9,381	43,844	53,225
9	POND	2,889	21,659	24,548
10	GF2	NONE	4,798	4,798
11	POND	3,850	41,466	45,316
12	POND	9,965	16,311	26,276
(ALSO INCLUDES TREATMENT OF 1/2 MINOT AVE IMPERVIOUS AREA AND LAWN, WHICH WAS NOT TAKEN CREDIT FOR)				
13	GF1	4,737	14,139	18,876
14	GF3	NONE	20,001	20,001
15	NT	NONE	8,427	8,427
16	NT	5,423	7,358	12,781
17	NT	NONE	NONE	NONE
18	POND	NONE	11,030	11,030
(IS MADE UP OF WATER SURFACE OF WET POND)				
19	POND	10,436	NONE	10,436
20	NT	NONE	NONE	NONE
21	NT	NONE	2,157	2,157
22	NT	NONE	NONE	NONE
SUBTOTALS		85,319	297,780	383,099
TOTAL NEW DEVELOPED AREA				383,099
TOTAL TREATED NEW DEVELOPED AREA				359,734
PRE-DEVELOPMENT DEVELOPED AREA TREATED				7,160
TOTAL DEVELOPED AREA TREATMENT %				95.77%

- PLAN NOTES:
- SEE SHEET 8 FOR TYPICAL CONSTRUCTION NOTES.
 - SEE SHEET 8 FOR LEGEND.
 - THIS IMPERVIOUS AREA TREATMENT PLAN IS DESIGNED TO COMPLY WITH THE REGULATORY REQUIREMENTS FOR SITE LOCATION OF DEVELOPMENT PERMIT.
 - SHEETS 3, 4 AND 5 ARE INCLUDED TO CORRESPOND WITH THE STORM WATER MODEL FOR THE SITE DEVELOPMENT AND TO VERIFY COMPLIANCE WITH THE STORM WATER STANDARDS REQUIRED UNDER THE SITE LOCATION OF DEVELOPMENT PERMIT STANDARDS.
 - AERIAL CONTOURS FROM CITY OF AUBURN CAD FILES ARE USED FOR STORM WATER MODELING DETERMINATION ONLY.
 - SEE SHEET 4 AND 5 FOR SOIL SYMBOL CHART INCLUDING MAXIMUM VELOCITIES FOR EACH SOIL GROUP IDENTIFIED ON THE SITE.



NO.	REVISION	DATE

SHEET TITLE: **PHASE II IMPERVIOUS AREA TREATMENT PLAN**

PROJECT: **HAMMOND TRACTOR FACILITY**

PROJECT OWNER: FINE TREE HOLDING, LLC
P.O. BOX 88
FAIRFIELD, MAINE 04937

OWNER ADDRESS: FAIRFIELD, MAINE 04937

PROJECT ADDRESS: MINOT AVE. AUBURN, MAINE

PROJECT SCALE: HORIZONTAL: 1"=60'

PLAN DATE: MAY 26, 2014

34 LIBBY HILL PROFESSIONAL BUILDING, SUITE 2
OAKLAND, MAINE 04963
PHONE: 207-465-4400 FAX: 207-465-4441
EMAIL: BSNOWDEN@SNOWDENENGINEERS.COM

SNOWDEN CONSULTING ENGINEERS, INC.

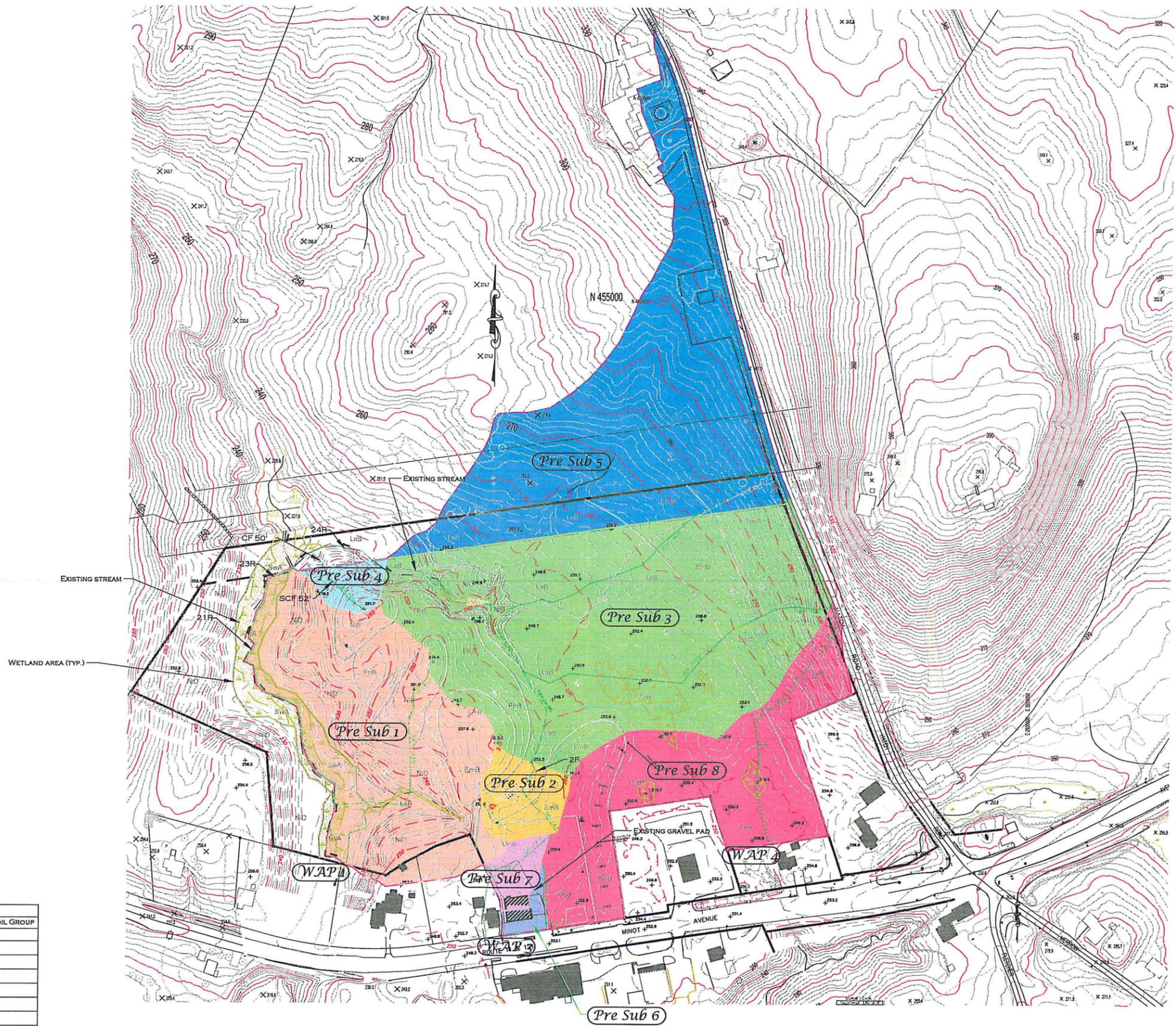
STATE OF MAINE
BOYD A. SNOWDEN
REGISTERED PROFESSIONAL ENGINEER
NO. 10083

FINAL PLAN

FILE NAME: PHASE II FINAL PLAN_05_26_14

PROJECT NO.: SITE07048

SHEET NO. **3**



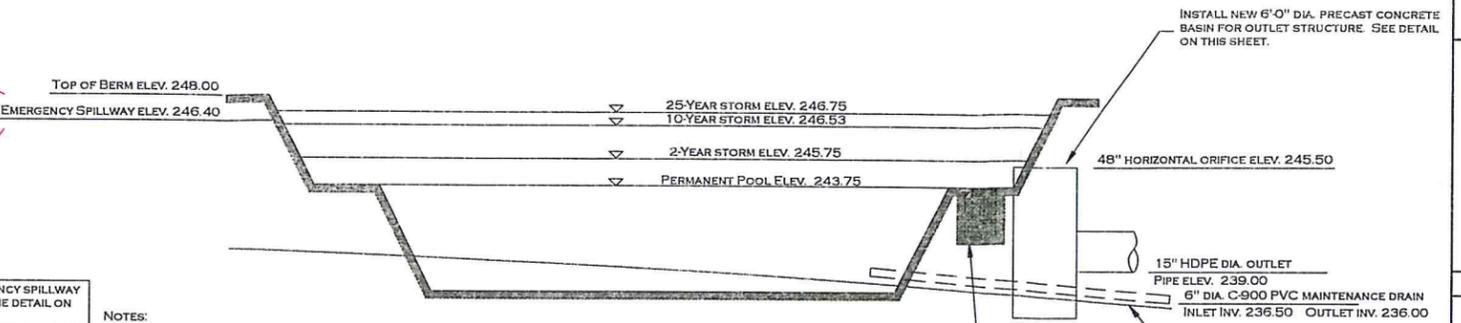
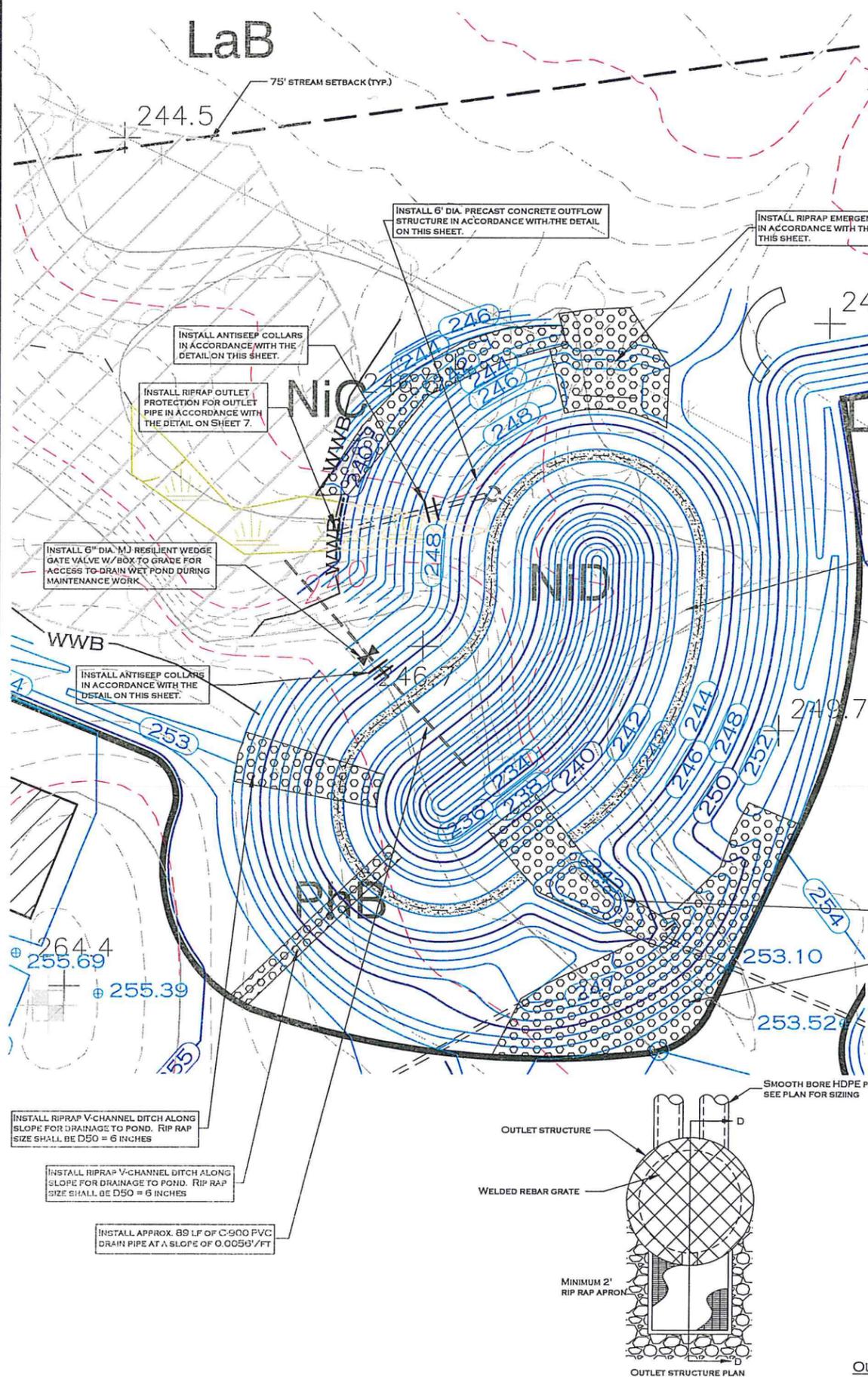
PLAN NOTES:

1. SEE SHEET 8 FOR TYPICAL CONSTRUCTION NOTES.
2. SEE SHEET 8 FOR LEGEND
3. THIS PREDEVELOPMENT PLAN IS DESIGNED TO COMPLY WITH THE REGULATORY REQUIREMENTS FOR SITE LOCATION OF DEVELOPMENT PERMIT.
4. SHEETS 3, 4 AND 5 ARE INCLUDED TO CORRESPOND WITH THE STORM WATER MODEL FOR THE SITE DEVELOPMENT AND TO VERIFY COMPLIANCE WITH THE STORM WATER STANDARDS REQUIRED UNDER THE SITE LOCATION OF DEVELOPMENT PERMIT STANDARDS.
5. AERIAL CONTOURS FROM CITY OF AUBURN CAD FILES ARE USED FOR STORM WATER MODELING DETERMINATION ONLY.
6. SEE SHEET 4 AND 5 FOR SOIL SYMBOL CHART INCLUDING MAXIMUM VELOCITIES FOR EACH SOIL GROUP IDENTIFIED ON THE SITE.

SOILS MAPPING INDEX			
MAP UNIT	SOIL SERIES	ALLOWABLE VEL	HYDROLOGIC SOIL GROUP
EMB	ELMWOOD FINE SANDY LOAM	3.0 FT/SEC	C
EMC	ELMWOOD FINE SANDY LOAM	3.0 FT/SEC	C
LAB	LAMOINE SILT LOAM	3.0 FT/SEC	D
NiB	NICHOLVILLE FINE SANDY LOAM	2.5 FT/SEC	C
NiC	NICHOLVILLE FINE SANDY LOAM	2.5 FT/SEC	C
NiD	NICHOLVILLE FINE SANDY LOAM	2.5 FT/SEC	C
PhB	PUSHAW SILT LOAM	3.0 FT/SEC	D
SWA	SWANVILLE SILT LOAM	3.0 FT/SEC	D
UdB	UDORTHENTS	3.0 FT/SEC	D

	NO.	REVISION	DATE
PREDEVELOPMENT PLAN			
PROJECT		PROJECT TITLE	
HAMMOND TRACTOR FACILITY		PREDEVELOPMENT PLAN	
PROJECT OWNER:	FINE TREE HOLDING, LLC P.O. BOX 88 FAIRFIELD, MAINE 04937	PROJECT SCALE:	HORIZONTAL: 1"=120'
OWNER ADDRESS:	1525 MINOT AVE. AUBURN, MAINE	PLAN DATE:	MAY 26, 2014
SNOWDEN CONSULTING ENGINEERS, INC. 34 LIBBY HILL PROFESSIONAL BUILDING, SUITE 2 OAKLAND, MAINE 04963 PHONE: 207-465-4400 FAX: 207-465-4441 EMAIL: BSNOWDEN@SNOWDENENGINEERS.COM			
			
FINAL PLAN			
FILE NAME: Final_Plan_Plan_05_26_14			
PROJECT NO.: SITE07045			
SHEET NO.			
4			
8			

LaB



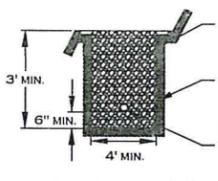
NOTES:

1. DURING EXCAVATION FOR THE POND, THE CONTRACTOR SHALL BE CAREFUL NOT TO OVEREXCAVATE THE AREA UNDER THE POND.
2. THE CONTRACTOR SHALL INSTALL RIP RAP AT THE INLETS TO THE POND TO PREVENT SCOURING AND EROSION DURING HIGH FLOWS.
3. THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE POND SIDESLOPES AS NECESSARY WITH GEOTEXTILE OR OTHER APPROVED MEANS TO PREVENT EROSION UNTIL VEGETATION HAS BEEN ESTABLISHED.
4. THE CONTRACTOR SHALL INSTALL A RIP RAP FOREBAY PROTECTION AT THE INLET OF THE POND TO ALLOW SETTLEMENT OF FINES PRIOR TO DRAINING INTO THE POND.
5. CONTRACTOR SHALL INSTALL 6" DIA. CLDI DRAIN PIPE FOR MAINTENANCE DRAIN FOR WET POND AT THE LOCATION SHOWN ON THIS SHEET. DRAIN PIPE SHALL CONTAIN A 6" DIA. RESILIENT WEDGE VALVE THAT SHALL BE KEPT CLOSED UNTIL MAINTENANCE DREDGING IS REQUIRED.
6. CONTRACTOR SHALL BEGIN EXCAVATION OF WET POND NEAR THE OUTLET STRUCTURE AND SHALL EXCAVATE TO THE GRADES REQUIRED IN THAT AREA TO CREATE A TEMPORARY SEDIMENT POOL. FROM THIS POOL STORM WATER RUNOFF SHOULD BE PUMPED INTO DIRT BAG 53 UNITS, AS MANUFACTURED BY ACF ENVIRONMENTAL. THE DIRT BAGS SHALL BE INSTALLED AT THE LOCATION INDICATED ON THIS SHEET.
7. CONTRACTOR SHALL CONSTRUCT NEW BERM WITH A MINIMUM OF 1 FOOT THICK CLAY/SILT LINER WITHIN AREAS REQUIRING EMBANKMENT FILL FOR THE POND OR IN AREAS WHERE BEDROCK IS ENCOUNTERED.
8. CONTRACTOR SHALL BE REQUIRED TO INSTALL A 1 FOOT THICK CLAY/SILT LINER (EXISTING CLAY/SILT FROM SITE CAN BE UTILIZED WITH APPROVAL FROM S.W. COLE ENGINEERS) IN ANY CUT AREAS WHERE SUBGRADE SOILS ARE NOT SIMILAR CLAY/SILT MATERIAL.

SEED MIXTURE FOR WET POND BOTTOM AND SIDE SLOPES UP TO THE ELEVATION OF THE EMERGENCY OVERFLOW ELEVATION SHALL BE NEW ENGLAND WETLAND WETLAND SEED MIXTURE, AS PROCESSED BY NEW ENGLAND WETLAND PLANTS, INC. SEED MIX SHALL BE APPLIED AT A RATE OF 1 LB./5000 SQUARE FEET.

WET POND SECTION VIEW
NTS

EMERGENCY SPILLWAY SECTION VIEW
NTS



GRAVEL FILL IN ACCORDANCE WITH SPECIFICATIONS IN WET POND SECTION VIEW

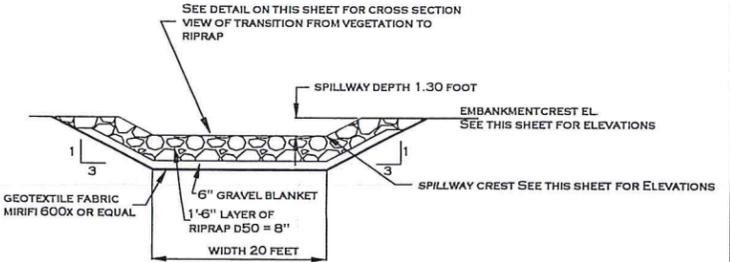
GRAVEL BENCH DRAIN BEDDING MATERIAL (TYPE B FROM MDOT SPECIFICATION)

SIEVE #	% PASSING
1"	90-100
1/2"	75-100
# 4	50-100
# 20	15-80
# 50	10-15
# 200	0-5

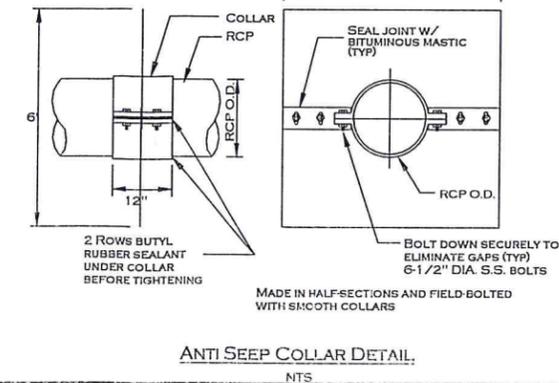
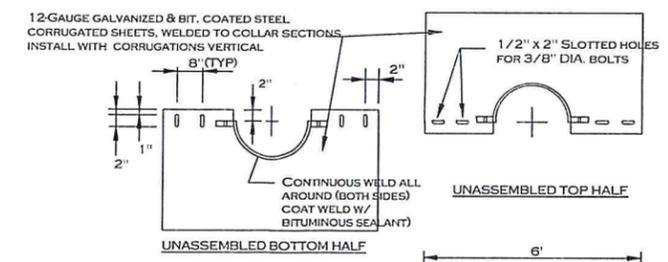
6" DIA. PERFORATED SDR 35 PVC PIPE, PITCH PIPE AT SLOPE OF 0.002'/FT TO 8" DIA. DRAIN PIPE

CONTRACTOR SHALL BE AWARE THAT UNDERDRAIN BACKFILL FOR GRAVEL TRENCH MUST BE LIGHTLY COMPACTED, SO THAT THE PERMEABILITY OF THE END PRODUCT IS GREATER THAN 1.0 X 10⁻² CM/SEC.

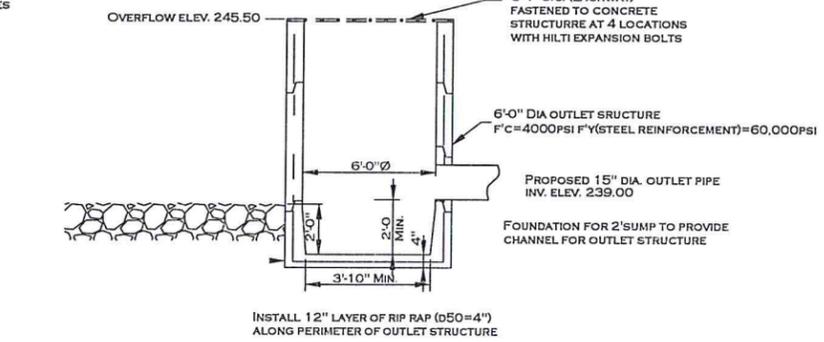
GRAVEL TRENCH DRAIN DETAIL
NTS



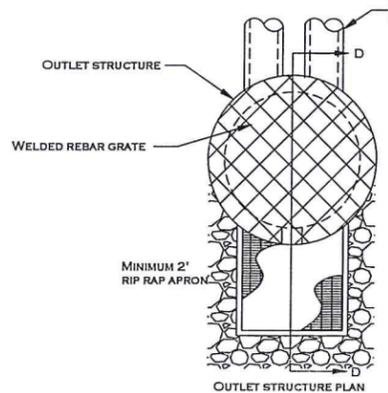
TYPICAL DETAIL
EMERGENCY SPILLWAY
NTS



ANTI SEEP COLLAR DETAIL
NTS



OUTLET STRUCTURE DETAIL
NTS

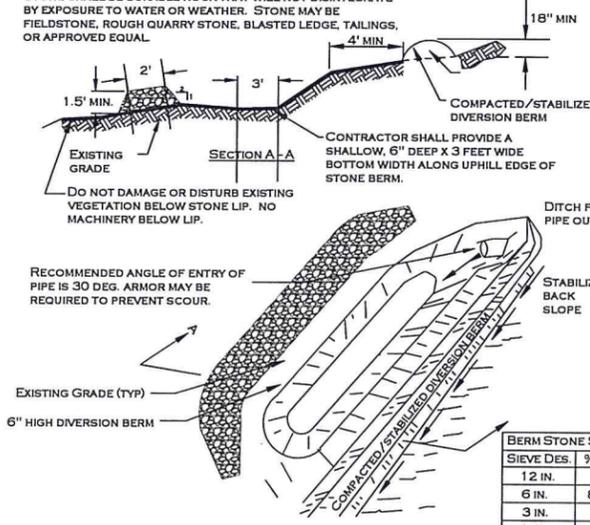


OUTLET STRUCTURE PLAN
NTS

- INSTALL RIPRAP V-CHANNEL DITCH ALONG SLOPE FOR DRAINAGE TO POND. RIP RAP SIZE SHALL BE D50 = 6 INCHES
- INSTALL RIPRAP V-CHANNEL DITCH ALONG SLOPE FOR DRAINAGE TO POND. RIP RAP SIZE SHALL BE D50 = 6 INCHES
- INSTALL APPROX. 89 LF OF C-900 PVC DRAIN PIPE AT A SLOPE OF 0.0053'/FT

DATE	
REVISION	
NO.	
SHEET TITLE WET POND PLAN	
PROJECT NAME	HAMMOND TRACTOR FACILITY
PROJECT OWNER	PINE TREE HOLDING, LLC P.O. BOX 88 FAIRFIELD, MAINE 04937
OWNER ADDRESS	MINOT AVE. AUBURN, MAINE
PROJECT ADDRESS	
PROJECT SCALE	HORIZONTAL: 1"=60'
PLAN DATE	MAY 26, 2014
<p>34 LIBBY HILL, PROFESSIONAL BUILDING, SUITE 2 OAKLAND, MAINE 04963 PHONE: 207-465-4400 FAX: 207-465-4441 EMAIL: BSNOWDEN@SNOWDENENGINEERS.COM</p> <p>SNOWDEN CONSULTING ENGINEERS, INC.</p>	
STATE OF MAINE BOYD SNOWDEN REGISTERED PROFESSIONAL ENGINEER NO. 10035	
FINAL PLAN	
PROJECT NO.: SITE07045	
SHEET NO. 6	

STONE LEVEL LIP SPREADER SHALL HAVE STONE SIZE IN ACCORDANCE WITH THE TABLE LABELED BERM STONE SIZE. STONE SHALL BE DURABLE ROCK THAT WILL NOT DISINTEGRATE BY EXPOSURE TO WATER OR WEATHER. STONE MAY BE FIELDSTONE, ROUGH QUARRY STONE, BLASTED LEDGE, TAILINGS, OR APPROVED EQUAL.



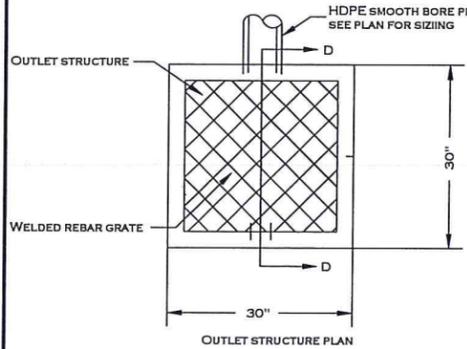
SIEVE DES.	% PASSING
12 IN.	100
6 IN.	84-100
3 IN.	68-83
1 IN.	42-55
No. 4	8-12

CONSTRUCTION SPECIFICATIONS

- SPREADERS SHALL BE INSTALLED WITH A LEVEL INSTRUMENT. CONSTRUCT LEVEL LIP TO 0% GRADE TO ENSURE UNIFORM SHEET FLOW. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOILS (NOT FILL)
- SELECT GEOTEXTILE FABRIC FOR UNDER RIP RAP OUTLET PROTECTION OF CULVERT BASED ON UNDISTURBED SOILS (SAND, SILTS, CLAYS, ETC.)
- STORM RUN-OFF CONVERTED TO SHEET FLOW ACROSS OUTLET APRON SHALL FLOW ONTO STABILIZED AREAS. RUN-OFF SHALL NOT BE RECONNECTED IMMEDIATELY BELOW THE POINT OF DISCHARGE.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PROVIDED.
- CONSTRUCTION OF LEVEL SPREADER LIP SHALL BE FROM UPHILL SIDE ONLY. LEVEL LIP AND AREA BELOW SPREADER SHALL BE AT EXISTING GRADES AND UNDISTURBED BY EARTHWORK EQUIPMENT.
- CONSTRUCT SPREADER WITH LIP AT EXISTING ELEVATION AS SPECIFIED.
- DOWNGRADIENT RECEIVING AREA MUST BE NATURALLY WELL VEGETATED.
- DISCHARGE IS NOT PERMITTED WITHIN 25' OF A STREAM OR WETLAND. CONSULT DEP IF STRUCTURE MUST BE WITHIN 75' OF STREAM OR WATER BODY.

STONE BERM LEVEL LIP SPREADER

NTS



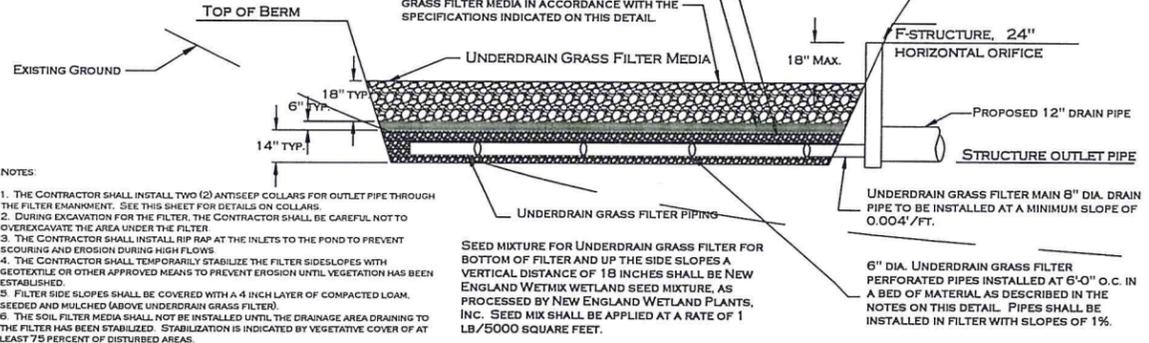
OUTLET STRUCTURE DETAIL

NTS

CONTRACTOR SHALL INSTALL UNDERDRAIN BEDDING ZONE MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS INDICATED ON THIS DETAIL.

CONTRACTOR SHALL INSTALL UNDERDRAIN TRANSITION ZONE MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS INDICATED ON THIS DETAIL.

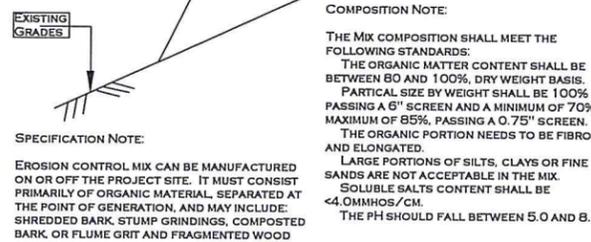
CONTRACTOR SHALL INSTALL UNDERDRAIN GRASS FILTER MEDIA IN ACCORDANCE WITH THE SPECIFICATIONS INDICATED ON THIS DETAIL.



UNDERDRAIN GRASS FILTER SECTION VIEW (TYP.)

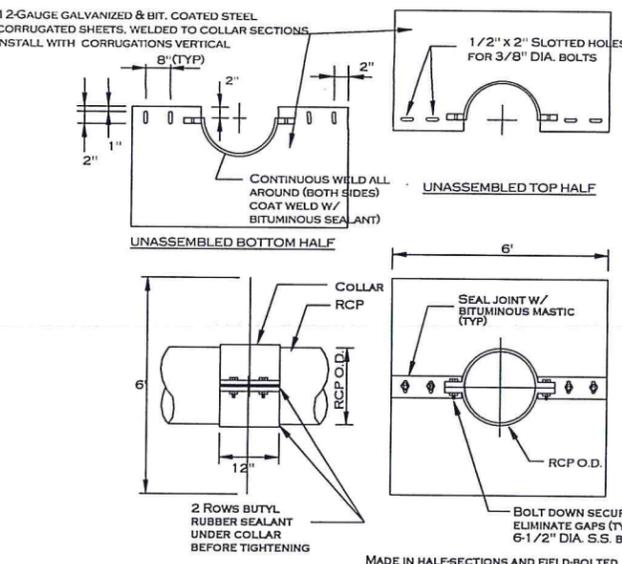
NTS

- NOTES:
- THE CONTRACTOR SHALL INSTALL TWO (2) ANTISEEP COLLARS FOR OUTLET PIPE THROUGH THE FILTER ENAMMENT. SEE THIS SHEET FOR DETAILS ON COLLARS.
 - DURING EXCAVATION FOR THE FILTER, THE CONTRACTOR SHALL BE CAREFUL NOT TO OVEREXCAVATE THE AREA UNDER THE FILTER.
 - THE CONTRACTOR SHALL INSTALL RIP RAP AT THE INLETS TO THE POND TO PREVENT SCOURING AND EROSION DURING HIGH FLOWS.
 - THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE FILTER SIDESLOPES WITH GEOTEXTILE OR OTHER APPROVED MEANS TO PREVENT EROSION UNTIL VEGETATION HAS BEEN ESTABLISHED.
 - FILTER SIDE SLOPES SHALL BE COVERED WITH A 4 INCH LAYER OF COMPACTED LOAM, SEEDED AND MULCHED (ABOVE UNDERDRAIN GRASS FILTER).
 - THE SOIL FILTER MEDIA SHALL NOT BE INSTALLED UNTIL THE DRAINAGE AREA DRAINING TO THE FILTER HAS BEEN STABILIZED. STABILIZATION IS INDICATED BY VEGETATIVE COVER OF AT LEAST 75 PERCENT OF DISTURBED AREAS.
 - FILTER MUST DRAIN WITH IN 24 AND 48 HOURS
 - STONE CHECK DAM MUST BE INSTALLED AT THE ENTRANCE TO THE GRASS FILTER TO REDUCE/ELIMINATE SEDIMENT LOADING TO GRASS FILTER.



WOOD WASTE BERM DETAIL

NTS



ANTI SEEP COLLAR DETAIL

NTS

GRASS FILTER MEDIA SHALL MEET THE FOLLOWING SPECIFICATIONS.

UNDERDRAIN BEDDING MATERIAL (TYPE C FROM MDO SPECIFICATION)

SIEVE #	% PASSING
1"	100
3/4"	90-100
3/8"	0-75
#4	0-25
#10	0-5

UNDERDRAIN TRANSITION MATERIAL (TYPE B FROM MDO SPECIFICATION)

SIEVE #	% PASSING
1"	90-100
1/2"	75-100
#4	50-100
#20	15-80
#50	0-15
#200	0-5

SOIL FILTER MEDIA
SOIL FILTER MEDIA SHALL BE COMPOSED OF A THOROUGHLY BLENDED MIXTURE OF MATERIALS MEETING THE FOLLOWING SPECIFICATIONS:
SILTY SAND SOIL OR SOIL MIXTURE WITH IN 20-25 PERCENT BY VOLUME OF SHREDDED BARK OR WOOD FIBER MULCH. SAND USED IN MIXTURE TO BE IN ACCORDANCE WITH MDO SPEC #703.01

< 5% SLOPE	X	Y
@ BOTTOM OF SLOPES < 2:1, WITH 20' LENGTH MAX.	2'	1'
@ BOTTOM OF SLOPES < 2:1, LONGER THAN 20'.	4'	1'

MAINTENANCE NOTE:

THE EROSION CONTROL MIX BARRIERS SHOULD BE INSPECTED REGULARLY AND AFTER EACH LARGE RAINFALL. ANY REQUIRED REPAIRS SHOULD BE MADE IMMEDIATELY, WITH ADDITIONAL EROSION CONTROL MIX PLACED ON THE BERM TO REACH THE DESIRED HEIGHT AND WIDTH. FAILURE IS TYPICALLY NOT CATASTROPHIC AND IS MORE EASILY REPAIRED THAN SILT FENCING.

IF THERE IS ANY SIGN OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR ANY SIGN OF IMPONDING LARGE VOLUMES OF WATER BEHIND THE BARRIER, IT MAY BE NECESSARY TO REINFORCE THE BARRIER BY ADDING ANOTHER SEDIMENT BARRIER, SUCH AS A TEMPORARY ROCK CHECK DAM.

SEDIMENT DEPOSIT SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

WHEN THE BARRIER IS DECOMPOSED, CLOGGED WITH SEDIMENT, ERODED OR INEFFECTIVE, IT MUST BE REPLACED OR REPAIRED. THE BARRIER SHOULD BE RESHAPED AS NEEDED.

EROSION CONTROL MIX BARRIERS CAN BE LEFT IN PLACE. ANY SEDIMENT DEPOSIT REMAINING IN PLACE AFTER REPAIRS IS NO LONGER REQUIRED SHOULD BE SPREAD TO CONFORM TO THE EXISTING GRADE AND BE SEEDED AND MULCHED.

IN THE LONG-TERM, VEGETATION ADDS STABILITY, AND WILL BLEND IN THE BARRIER TO THE NATURAL ENVIRONMENT. WOOD VEGETATION CAN BE PLANTED INTO THE BARRIERS, OR THEY CAN BE OVERSEEDED WITH LEGUMES.

IF THE BARRIER NEEDS TO BE REMOVED, IT CAN BE SPREAD OUT INTO THE LANDSCAPE.

CONSTRUCTION NOTES:

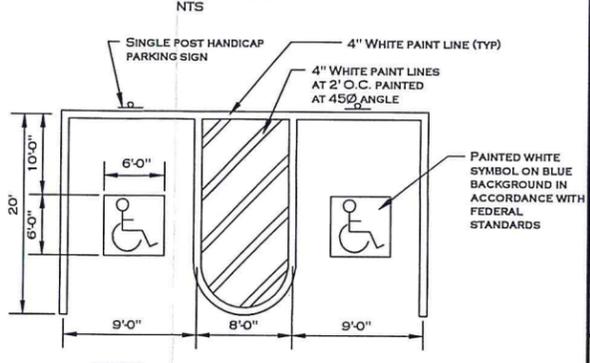
- BARRIER SHOULD BE PLACED ALONG RELATIVE CONTOUR.
- CONTRACTOR SHALL CUT TALL GRASSES OR WOODY VEGETATION AS NECESSARY AT WOOD BERM LOCATION TO AVOID CREATING VOIDS UNDER/IN BARRIER.
- DO NOT USE WOOD BERM AT CULVERTS OR OTHER CONCENTRATED FLOW AREAS.



HANDICAP VAN ACCESSIBLE RESERVED PARKING

NTS

ON-SITE PARKING AND DRIVEWAY AREAS



TYPICAL HANDICAP ACCESS PARKING SPACE

NTS

- NOTES:
- SEE SITE PLAN FOR HANDICAP ACCESS SPACE LOCATION AND DIMENSIONS.
 - SIDEWALK SLOPE FROM BUILDING WALL TO CURB TO BE 1/4" PER FOOT.
 - PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

TYPICAL CONSTRUCTION NOTES

- NOTES:
- EXISTING PROPERTY BOUNDARY WORK SHOWN ON THIS PLAN SET PROVIDED BY BROKEN STONE LAND SURVEYORS.
 - EXISTING TOPOGRAPHICAL SURVEY DATA WITHIN PROPOSED PROJECT SITES TAKEN FROM AERIAL SURVEY OF PARCEL PROVIDED BY AERIAL SURVEY & PHOTO. AERIAL IMAGERY TAKEN ON NOVEMBER 28, 2007.
 - CONTOUR DATA OUTSIDE OF THE PARCEL AREA TAKEN FROM CITY OF AUBURN AERIAL TOPOGRAPHICAL MAPS.
 - SOIL SURVEY AND WETLAND DELINEATION PROVIDED BY S.W. COLE ENGINEERS, COMPLETED WITH REPORTS ON APRIL 22, 2008 AND JULY 10, 2008, RESPECTIVELY. SEE HIGH INTENSITY SOIL SURVEY AND WETLAND DELINEATION REPORTS FILED WITH THE APPLICATION.
 - WETLAND AREA DELINEATION CONFIRMED BY SITE WALK FROM JONES ASSOCIATES IN 2013.
 - ALL CULVERT INSTALLATIONS NOT IN STREAM CHANNELS ARE TO HAVE RIPRAP INLET AND OUTLET PROTECTION IN ACCORDANCE WITH THE DETAILS PROVIDED ON SHEET 7 OF THIS PLAN SET. RIP RAP HATCHING WAS NOT SHOWN ON CULVERT INLETS IN ORDER TO MAINTAIN LEGIBILITY OF THE PLAN. GRADING ON EXTERIOR OF CULVERTS SHOULD BE ADJUSTED TO ACCOMMODATE THE PLUNGE POOL DIMENSIONS.
 - ALL VEGETATED DITCH WATERWAYS PROVIDED ON THE PLAN SHALL BE INSTALLED WITH EROSION CONTROL FABRIC AND TEMPORARY STONE CHECK DAMS AT THE INTERVALS DESCRIBED IN THE DETAIL ON SHEET 7 OF THIS PLAN SET. STONE CHECK DAMS SHALL BE USED TO LIMIT SEDIMENTATION BEING CARRIED UNTIL THE PROJECT IS ESTABLISHED. STONE CHECK DAMS SHALL BE REMOVED ONCE 75 PERCENT OF DITCH HAS ESTABLISHED ADEQUATE VEGETATION PROTECTION.
 - THIS PROJECT IS PLANNED TO DISTURB APPROXIMATELY 1,895 SQUARE FEET OF WETLAND AREA. WETLAND DISTURBANCE IS LESS THAN THE 4,300 SQUARE FEET ALLOWED BY LAW, THEREFORE, NO NHPA WETLAND PERMITTING HAS BEEN PROVIDED FOR THIS PROJECT.
 - TEST PITS LOCATIONS WITHIN PROPOSED WET POND AREA SHALL BE DIRECTED AND EVALUATED BY S.W. COLE ENGINEERS, INC. IN SUMMER OF 2014.
 - THESE PLANS INDICATE LOCATIONS WHERE WOOD WASTE BERM AND SILT FENCE ARE REQUIRED FOR EROSION CONTROL. CONTRACTORS MAY USE EITHER SILT FENCE OR WOOD WASTE BERM IN THE LOCATIONS SHOWN.
 - PERMITTING HAS BEEN PROVIDED FOR THIS PROJECT.
 - THE MOST RECENT STANDARDS AS PROVIDED UNDER THE MOST RECENT MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION EROSION CONTROL BMP MANUAL.
 - TEMPORARY BENCH MARK TO BE PROVIDED TO EACH SITE BY BROKEN STONE LAND SURVEYORS PRIOR TO INITIATING CONSTRUCTION OF PROJECT.
 - THE SCHEDULE OF WORK FOR THE SITE RENOVATIONS WITHIN THIS PROJECT WILL VARY DEPENDING ON THE ECONOMY. CURRENTLY THE PLAN IS TO CONSTRUCT THE ACCESS ROADWAY, THE WET POND AND THE GRAVEL PLATFORM FOR THE SELF STORAGE UNITS IN THE SUMMER OF 2014. SEVERAL OF THE SELF STORAGE UNITS SHALL BE CONSTRUCTED IN THE FALL OF 2014. EXTENSION OF UTILITIES, SEWER PUMP STATION, AND DEVELOPMENT OF THE REMAINDER OF THE SITE IMPROVEMENTS ARE PLANNED FOR 2015. THE NEW RETAIL/SERVICE BUILDING FOR HAMMOND TRACTOR IS CURRENTLY PLANNED FOR CONSTRUCTION IN 2016.

LEGEND

EXISTING	PROPOSED
PAVED ROAD	PAVED ROAD
CONTOURS	CONTOURS
IRON PIPE	IRON PIPE
BUILDING	BUILDING
BROOK/STREAM	BROOK/STREAM
GRAVEL ROAD	GRAVEL ROAD
TREE LINE	TREE LINE
PROPERTY LINE	PROPERTY LINE
RIGHT OF WAY	RIGHT OF WAY
TREE	TREE
SILT FENCE	SILT FENCE
CENTERLINE	CENTERLINE
SEWER MAIN	SEWER MAIN
WATER MAIN	WATER MAIN
STORM SEWER	STORM SEWER
SEWER SERVICE	SEWER SERVICE
WATER SERVICE	WATER SERVICE
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
UTILITY POLE	UTILITY POLE
BENCH MARK	BENCH MARK
GRANITE MONUMENT	GRANITE MONUMENT
TRAVELER POINT	TRAVELER POINT
WATER VALVE	WATER VALVE
SEWER MANHOLE	SEWER MANHOLE
CATCH BASIN	CATCH BASIN
CURB STOP	CURB STOP
TEST BENCH	TEST BENCH
OVERHEAD POWER	OVERHEAD POWER
OVERHEAD GUY WIRE	OVERHEAD GUY WIRE
GUY WIRE SUPPORT	GUY WIRE SUPPORT
TRANSFORMER OVERHEAD POWER	TRANSFORMER OVERHEAD POWER
SPOT ELEVATION	SPOT ELEVATION

PROJECT: HAMMOND TRACTOR FACILITY
 PROJECT OWNER: FINE TREE HOLDINGS, LLC
 PROJECT ADDRESS: FAIRFIELD, MAINE 04937
 PLANDATE: MAY 26, 2014

PROJECT NO.: 81807048
 SHEET NO.: 8

City of Auburn, Maine

"Maine's City of Opportunity"

Office of Planning & Development

To: Auburn Citizens

From: Douglas M. Greene, AICP, RLA; City Planner

Date: July 2, 2014

RE: Information on Pond View/Taylor Pond Zone Change Request (ZOMA-1194-2014)

The Department of Planning and Development would like to provide additional information to the public regarding a proposed zone change in the area of Pond View and Ledge View Drives in the southwest area of Taylor Pond. The zone change request is scheduled to be heard by the Auburn Planning Board on Tuesday, July 8th with the meeting starting at 6 pm.

One of the areas discussed for a change in future land use during the 2010 Comprehensive Plan update was the area around Pond View and Ledgeview Drives. Over many years, this area was developed in small summer camps but zoned Low Density County Residential (LDCR), which has a 3 acre minimum lot size and fairly large building setbacks. This area is also served by sanitary sewers which also can facilitate smaller lots.

The reasons the 2010 Comprehensive Plan recommends this change are:

1. The change is consistent with the Comprehensive Plan in areas that are served by public sewers.
2. The zone change will make more of the lots in the area more conforming than the existing zoning.
3. The zone change will allow for the redevelopment of seasonal homes into year round homes by providing setbacks that are smaller than currently allowed.
4. The zone change will make the homes in the area of the proposed zone change more consistent with existing development patterns in the area.

The following maps and related attachments will be posted on the city website that will illustrate:

1. The existing zoning in the area.
2. The future land use recommendations of the 2010 Comprehensive Plan in this area.
3. The proposed zoning for ZOMA-1194-2014.
4. The properties affected by the zone change (who also received notification letters)
5. The properties within 500' that received notification letters.
6. The Citizen initiated petition and associated map.
7. Zoning regulations for the existing and proposed zoning.
8. The Definition of Moderate Density Neighborhood Conservation District, which is what the 2010 Comprehensive Plan recommended for this area.

City of Auburn, Maine

"Maine's City of Opportunity"

Office of Planning & Development

PLANNING BOARD STAFF REPORT

To: Auburn Planning Board

From: Douglas M. Greene; AICP, RLA
City Planner

Re: ZOMA 1194- 2014: Taylor Pond Area Zoning Map Amendment

Date: July 8, 2014

I. PROPOSAL- A citizen based petition was submitted to the Planning Office requesting a rezoning (Zoning Map Amendment) of properties in the Southwest area of Taylor Pond as recommended in the 2010 Comprehensive Plan. The 2010 Comprehensive Plan recommends the Moderate Density Neighborhood Conservation land use designation for the area of Pond View Road and Ledgeview Road. (**Attachment 1**) The rezoning would change the current zoning of Low Density County Residential to Urban Residential. (**Attachment 2**)

This area has built up over many years in small summer camps but has been zoned Low Density County Residential (LDCR) (**Attachment 3**), which had a 3 acre minimum lot size and fairly large building setbacks. This area is also served by sanitary sewers which also can facilitate smaller lots.

The main reasons the 2010 Comprehensive Plan recommended this change is:

1. The change is consistent with the Comprehensive Plan in areas that are served by public sewers
2. The zone change will make more of the lots in the area more conforming than the existing zoning.
3. The change will allow for the redevelopment of seasonal homes into year round homes with setbacks that are smaller than currently allowed.
4. The zone change will make the homes in the area of the proposed zone change more consistent with existing development patterns in the area.

ZONE CHANGE IMPACTS: The proposed zone change affects 35 properties. (**Attachment 4**) Half of the properties are under a quarter of an acre.

COMPARISON OF ZONES: One of the reasons for the zone change is number 3 listed above: *“The change will allow for the redevelopment of seasonal homes into year round homes with setbacks that are smaller than currently allowed.”* The chart below compares some basic size and dimensional differences between the current zoning Low Density Country Residential (LDCR) and the proposed zoning of Urban Residential (UR).

Zoning District\Dimensional Req.	Min. Lot Size	Lot Width	Lot Depth	Front Yard	Rear Yard	Side Yard	Density
Low Density Country Residential	3 ac.	325 ft.	200 ft.	50 ft.	50 ft.	15 ft.	1 du/3 ac.
Urban Residential	10,000 s.f.	100 ft.	100 ft.	25 ft.	25 ft.	15 ft.	4 du/ 1 ac.

These dimensional differences show how the proposed zoning will provide additional area for property owners to make conversions of camps into year round residences.

DENSITY: Questions have been directed to the Planning Staff asking about potential new subdivisions and/or increased densities in the area proposed for rezoning. There are limited opportunities to subdivide based on the environmental conditions of the area. **Attachment 5** is a map showing a 250’ Shoreland protection buffer, Resource Protection Areas, Protected Resource Areas and **Attachment 6**, a map showing wetlands in the areas. Based on the composite overlaying of these restrictions, potential for future subdivisions are extremely limited and would have to pass thorough scrutiny by the Planning Staff or Planning Board.

ENVIRONMENTAL IMPACTS: Questions were also raised about possible environmental impact the zone change might create. Attachments 3 and 4 illustrate the extensive environmental overlays that cover close to 90% of the proposed zone change. None of these overlays are changing with the zone change request. It is the staff’s opinion that the zone change will not have negative environmental impacts, most importantly to Taylor Pond.

II. DEPARTMENT REVIEW-

- a. Police- No Comments
- b. Auburn Water and Sewer- No Comments
- c. Fire Department- No Comments
- d. Engineering- No Comments

III. PLANNING BOARD ACTION- The Planning Board is being asked to review the application and related materials and to consider making either a positive or negative recommendation, with findings, that will be sent to the Auburn City Council for a work session and public hearing, and then 2 reading (votes) on the zone change.

IV. STAFF RECOMMENDATION- The Staff reviewed the 2010 Comprehensive Plan, the Zoning Ordinance and GIS mapping data and recommends **APPROVAL** of ZOMA-1194-2014 with the following findings:

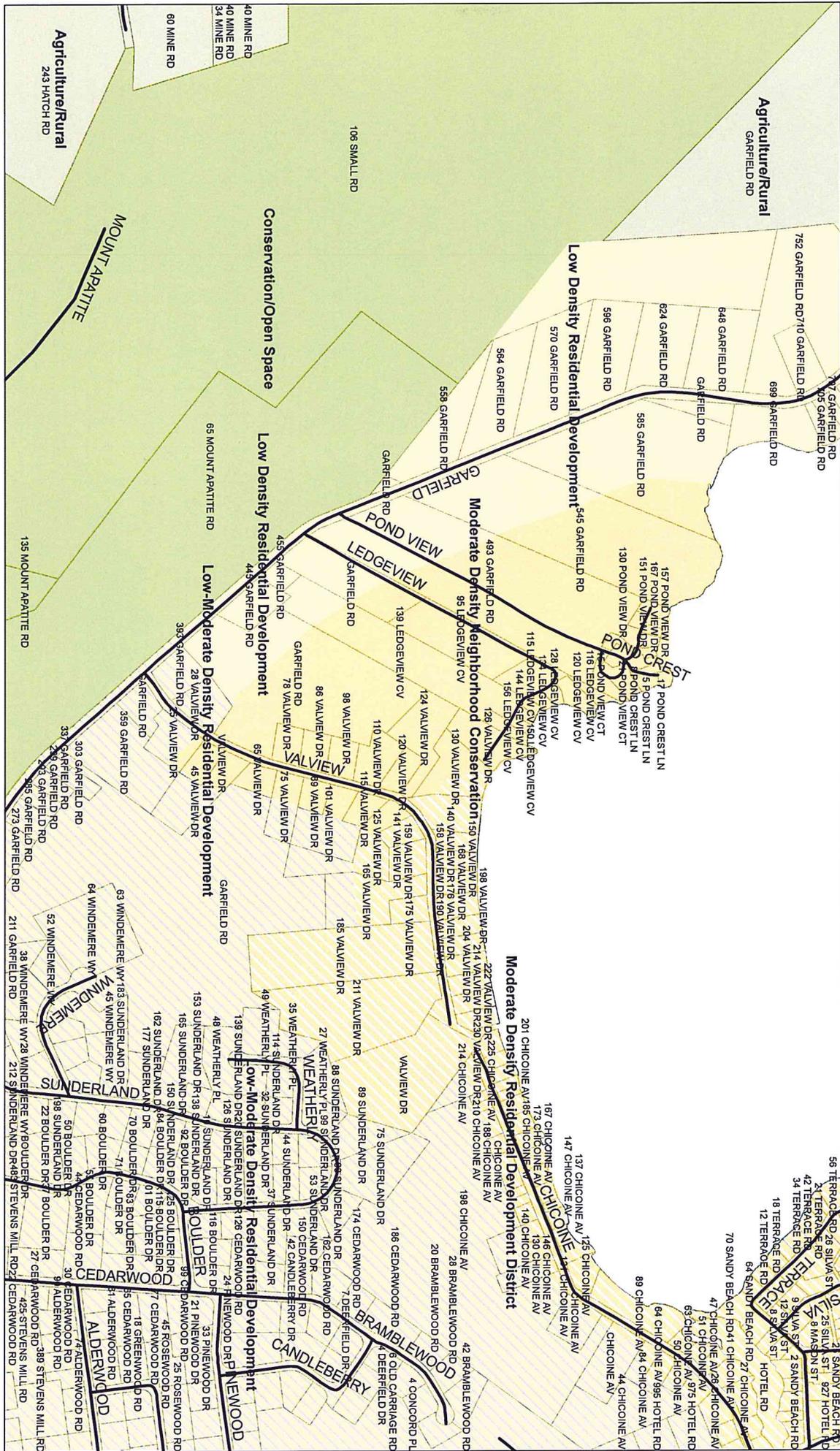
1. The zone change to Urban Residential District from Low Density Country Residential District is consistent with the Moderate Density Neighborhood Conservation District Land Use Recommendations as depicted in the 2010 Comprehensive Plan Future Land Use Map.
2. The Urban Residential District is consistent with the definition of Moderate Density Neighborhood Conservation District as defined in the 2010 Comprehensive Plan.
3. The zone change is consistent with the 2010 Comprehensive Plan's policy of encouraging smaller lot development in areas that are served by public sewers.
4. The zone change will make more of the lots in the area more conforming than the existing zoning.
5. The zone change is consistent with the 2010 Comprehensive Plan's policy to allow for the redevelopment of seasonal homes into year round homes by providing setbacks that are smaller than currently allowed in the Low Density Country Residential District.
6. The zone change will make the homes in the area of the proposed zone change more consistent with existing development patterns in the area.



Douglas M. Greene, A.I.C.P., R.L.A.
City Planner

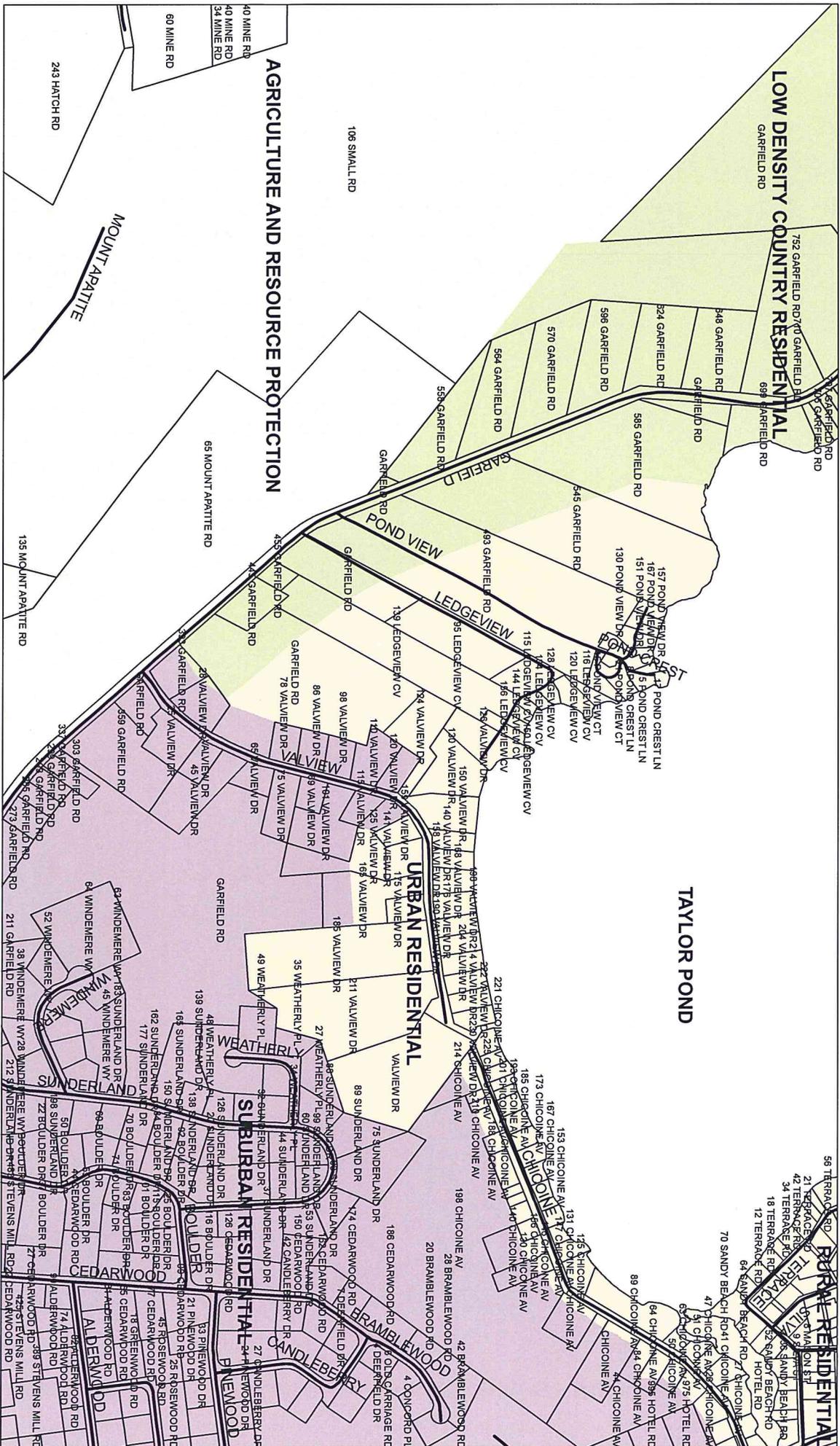
ZOMA- 1194: 2010 Comprehensive Plan Recommendation

A Hackman 1

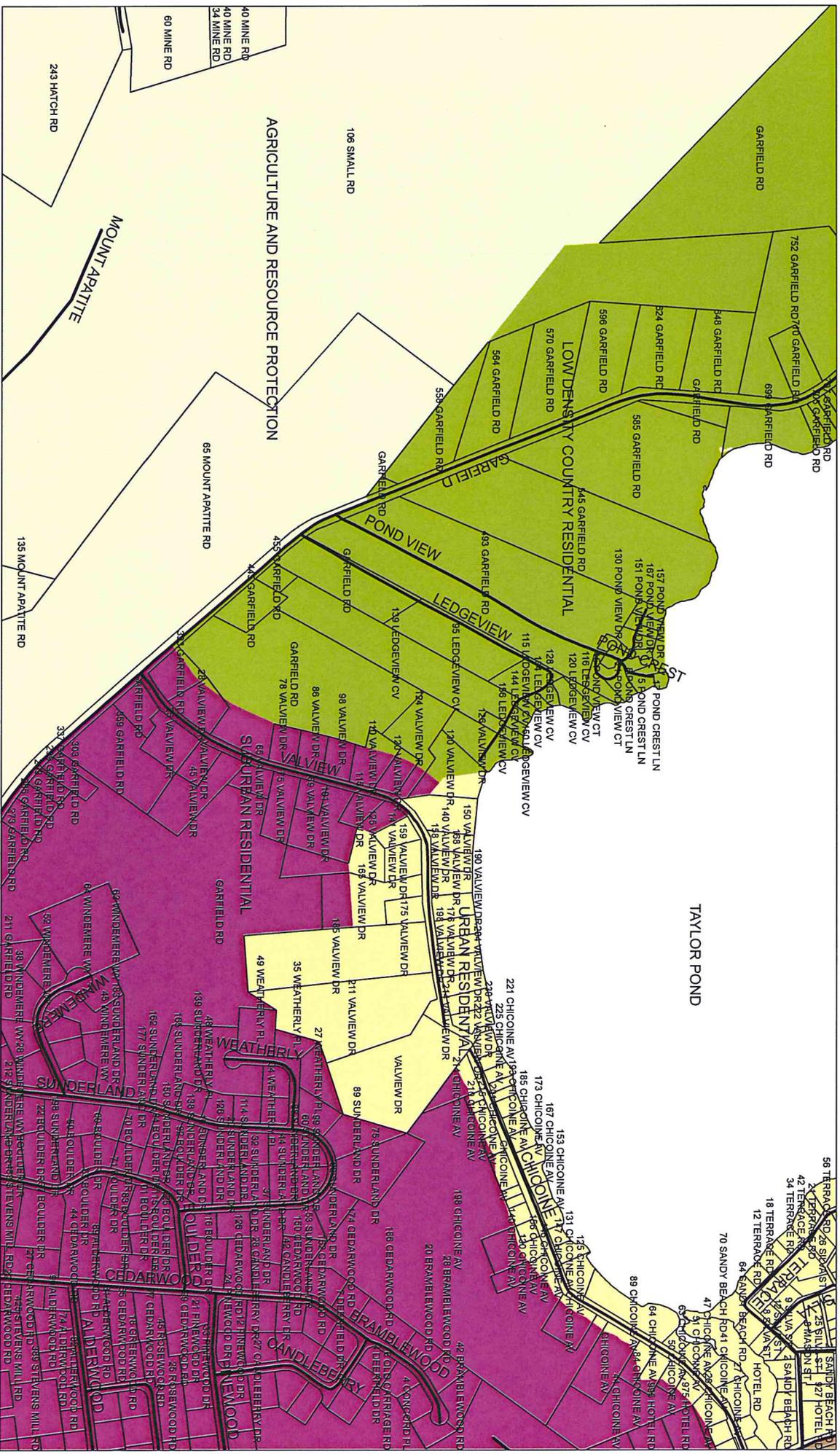


ZOMA- 1194: "Pond View Zone Change" Proposed Zoning

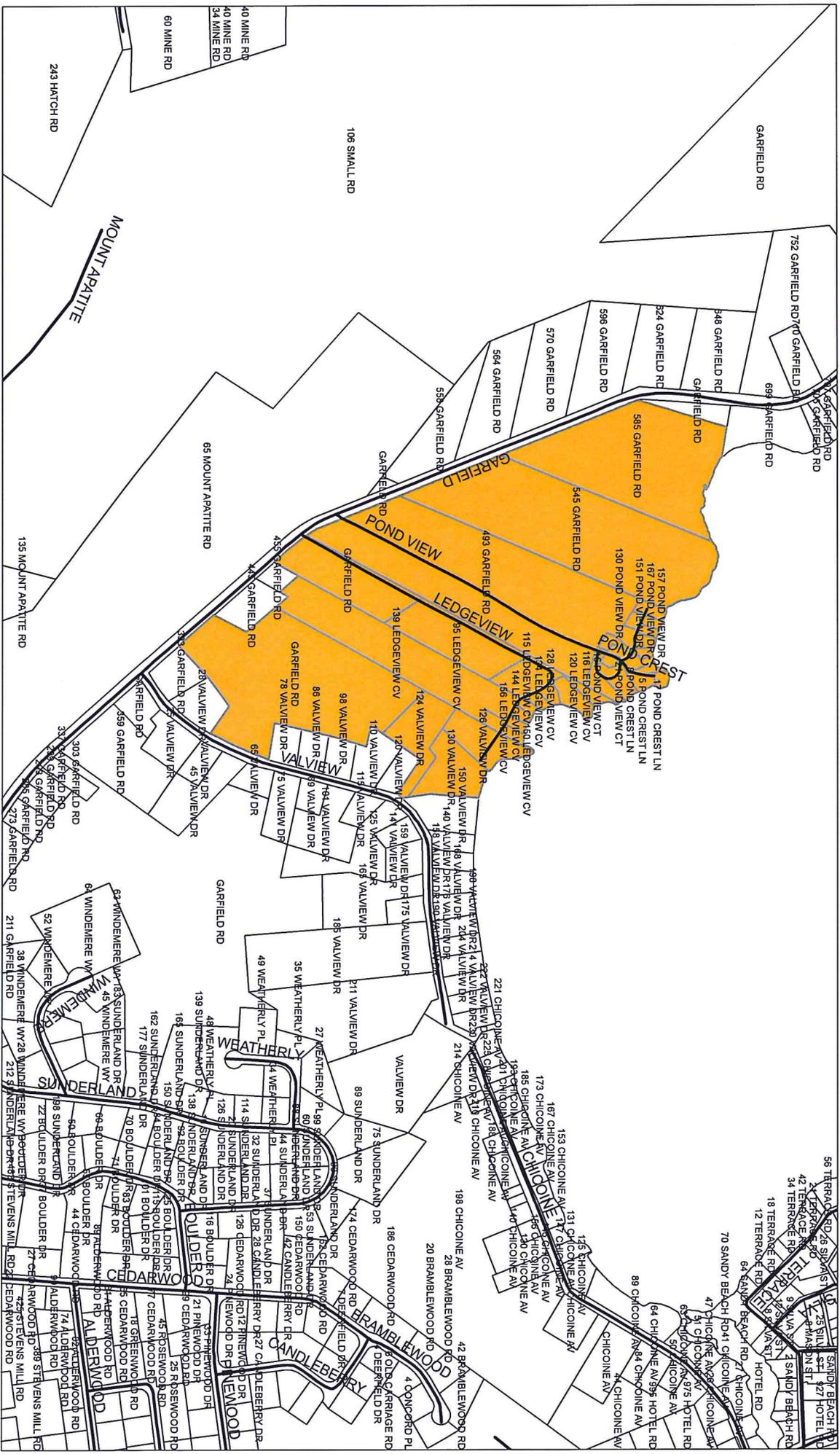
Attachment 2



ZOMA- 1194 "Pond View Zone Change" Existing Zoning



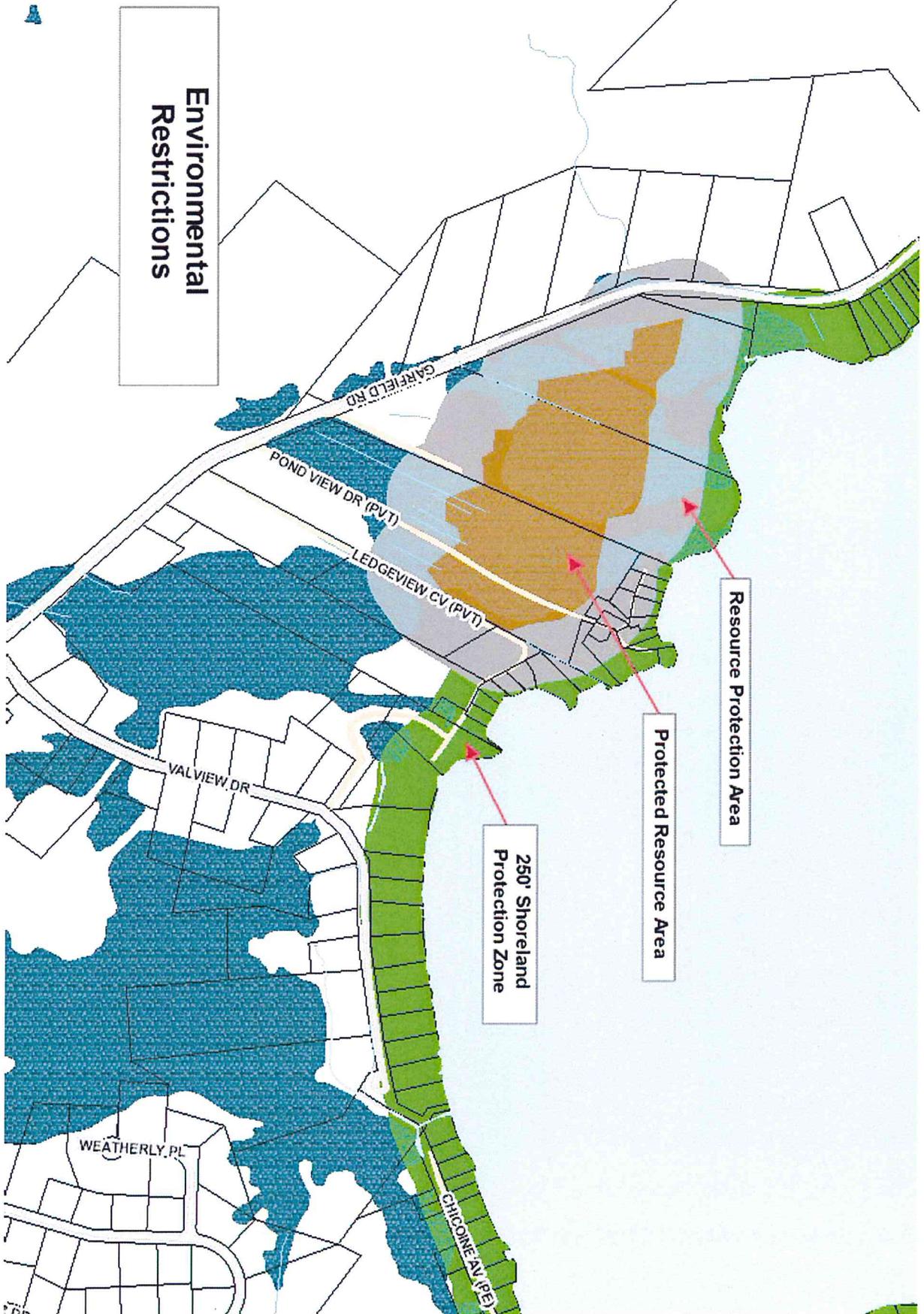
ZOMA- 1194: "Pond View Zone Change" Affected Properties

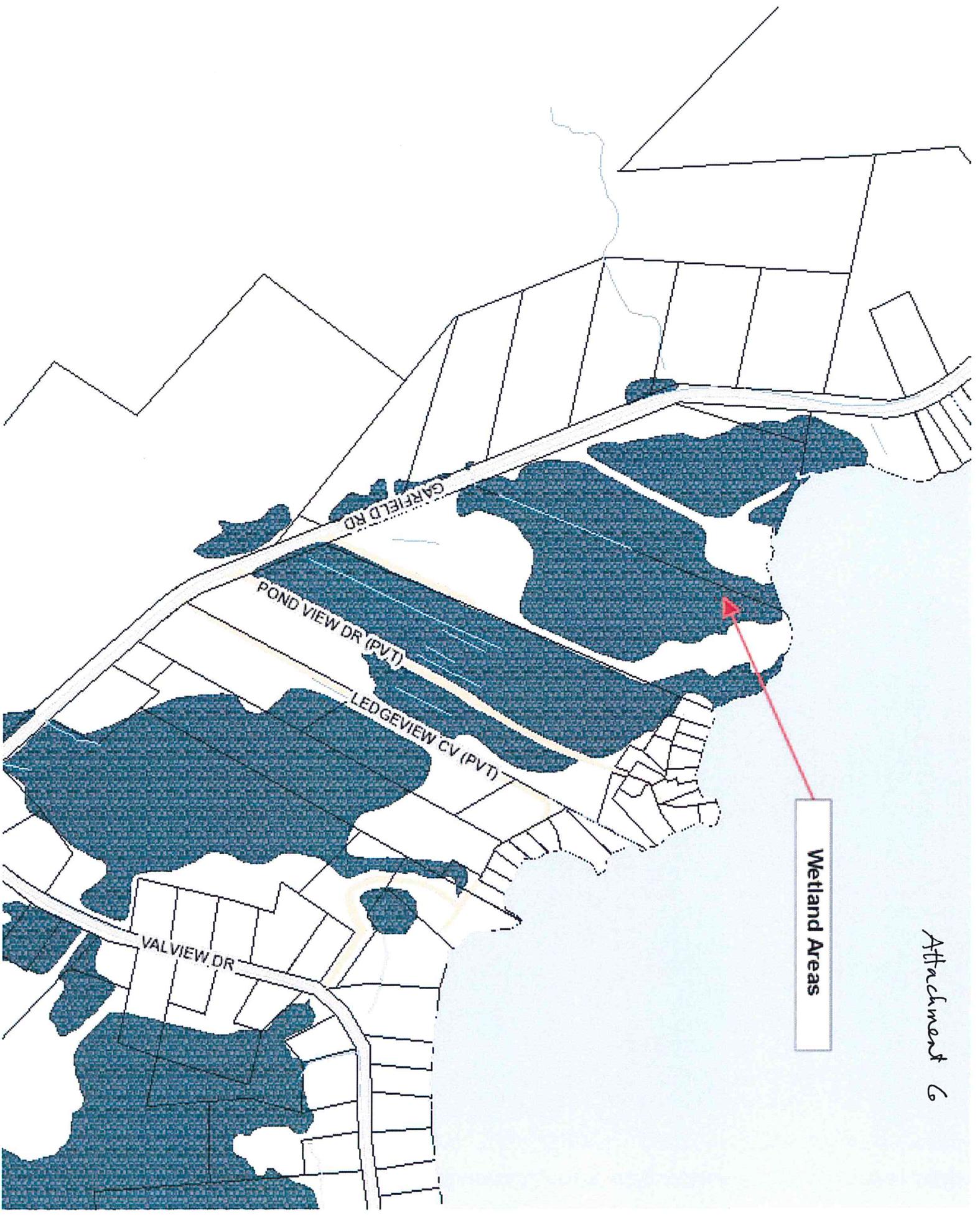


Attachment 4

List of Affected Property Owners Taylor Pond Zone Change

	Parcel ID #	Address	Acres
1	225-006	493 GARFIELD RD	22.67
2	225-005	545 GARFIELD RD	13.5
3	235-012	585 GARFIELD RD	10.72
4	225-009	GARFIELD RD	3.46
5	226-004	GARFIELD RD	12.58
6	225-008	95 LEDGEVIEW CV	3.28
7	236-001	115 LEDGEVIEW CV	0.92
8	236-011	116 LEDGEVIEW CV	0.29
9	236-012	120 LEDGEVIEW CV	0.53
10	236-013	128 LEDGEVIEW CV	0.17
11	236-014	134 LEDGEVIEW CV	0.14
12	236-015	138 LEDGEVIEW CV	0.12
13	226-001	139 LEDGEVIEW CV	7.32
14	236-016	144 LEDGEVIEW CV	0.12
15	236-017	150 LEDGEVIEW CV	0.13
16	236-018	156 LEDGEVIEW CV	0.34
17	236-004	8 POND CREST LN	0.17
18	236-005	14 POND CREST LN	0.17
19	236-007	15 POND CREST LN	0.24
20	236-006	17 POND CREST LN	0.14
21	236-010	15 POND VIEW CT	0.47
22	236-008	21 POND VIEW CT	0.45
23	235-017	130 POND VIEW DR	0.19
24	236-002	134 POND VIEW DR	0.09
25	236-009	135 POND VIEW DR	0.1
26	236-003	147 POND VIEW DR	0.12
27	235-018	150 POND VIEW DR	0.15
28	235-016	151 POND VIEW DR	0.15
29	235-015	157 POND VIEW DR	0.11
30	235-019	160 POND VIEW DR	0.11
31	235-014	161 POND VIEW DR	0.11
32	235-013	167 POND VIEW DR	0.26
33	226-009-003	124 VALVIEW DR	2.08
34	226-009	126 VALVIEW DR	1.63
35	226-009-002	130 VALVIEW DR	1.99
			62.35





Wetland Areas

Attachment 6

ZOMA-1194-2014

REZONING PETITION

We, the undersigned registered voters of the City of Auburn, do herein petition the City of Auburn to amend the Zoning Map and the City of Auburn Comprehensive Plan, Future Land Use Map in the area of Pond View and Ledgeview Drives from from Low Density Country Residential to Urban Residence as outlined in black on the attached map. The parcels or portions of parcels listed on the attached property list as outlined in black would be changed as noted above. The change is consistent with the Comprehensive Plan in areas that are served by public sewer and will make more of the lots conforming than are conforming under the existing zoning. The change will allow for redevelopment of seasonal homes into year round homes with setbacks that are smaller than currently allowed and more consistent with existing development patterns.

Reasons for proposed zone change

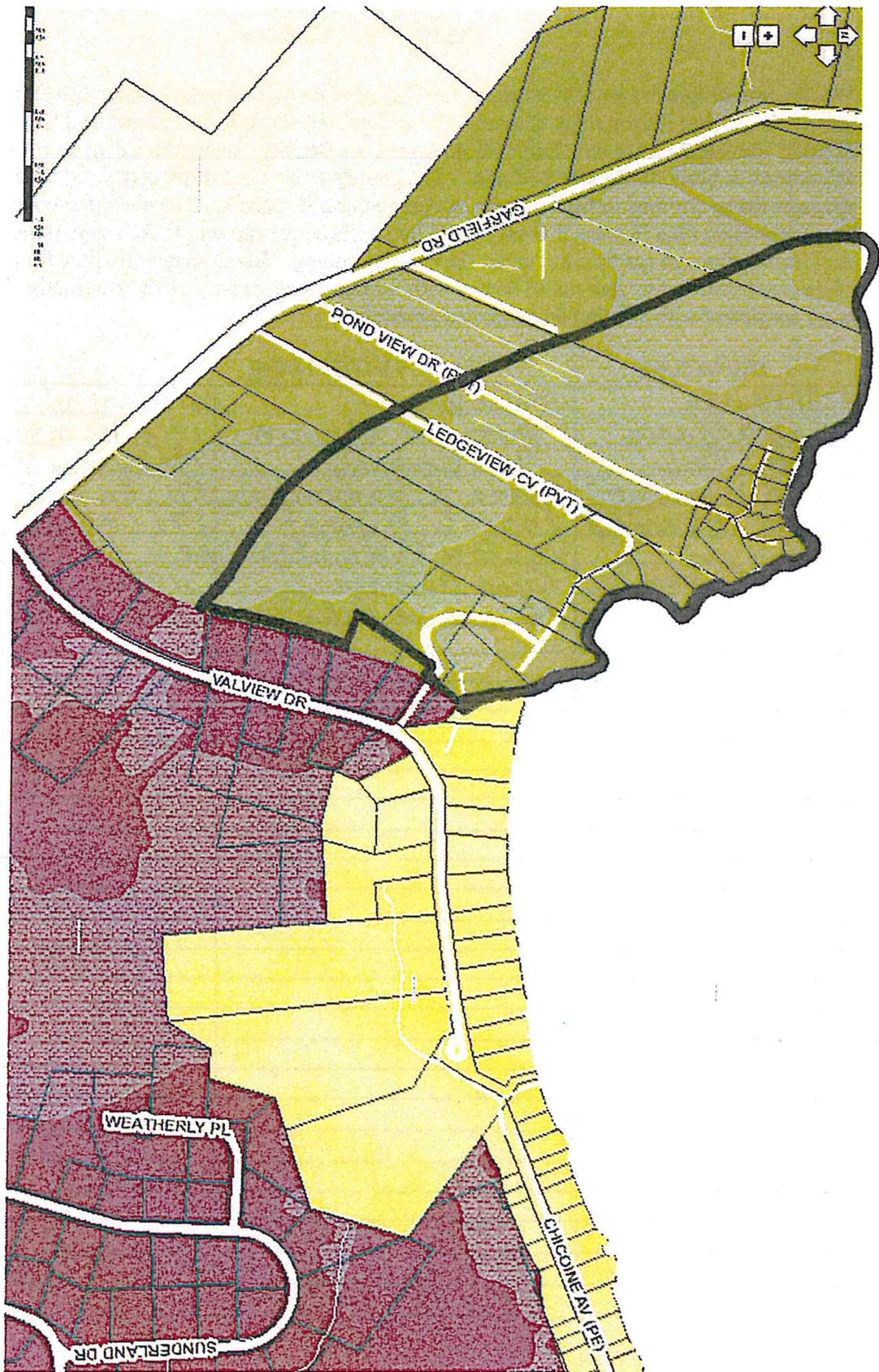
SIGNATURE	PRINTED NAME	ADDRESS
Handwritten Signature	Handwritten Name	1831 Broad St
Carolyn Adams	Carolyn Adams	183 Broad St. Aub.
Jay Arnold	Jay Arnold	10 Dunham St Aub.
Handwritten Signature	Handwritten Name	212 Lake Street
Kelly J Brooks	KELLY J. BROOKS	53 Sixth St., Auburn
Lisa Latueppe	Lisa Latueppe	20 Lafayette Street, Auburn
Ray Ouellette	RAY OUELLETTE	(23) Littlefield Rd
Handwritten Signature	Handwritten Name	29 Madison St
Handwritten Signature	Handwritten Name	212 Lake St
Handwritten Signature	Handwritten Name	53 Broadview Ave
Handwritten Signature	Handwritten Name	86 Broadview Ave
Stevan J. Damien	Stevan J. Damien	703 So Witham Rd
Diane D. Damien	Diane D. Damien	1278 Powal Rd
Claudette Jordan	CLAUDETTE JORDAN	454 Fletcher Rd
Tom Freitas	Tom Freitas	53 Howe St Aub
Mark Eustis	Mark EUSTIS	137 Riverside Dr. Auburn
Adam West	Adam West	32 Amherst St Auburn
Richard Speer	Richard Speer	566 N. Auburn Rd, Aub
Cindy Foss	Cindy Foss	420 Mill St Aub
Kim Brooks	Kim Brooks	30 Barton Ave Aub
Handwritten Signature	Handwritten Name	773 Culet St Aub.
Handwritten Signature	Handwritten Name	191 Poland Springs Rd Aub
Handwritten Signature	Handwritten Name	14 Penley Corner Rd Aub
* Camille Bernard	CAMILLE BERNARD	448 Youngs Corner Rd Aub.
Lester Perry	Lester Perry	27 Miami Ave Aub ME.
Jay Bishop	JAY Bishop	901 Lakeshore Drive Aub.
Daniel J. Rodrigue	Daniel J. Rodrigue	259 Gamage Ave Aub.
* Ronald Bastien	RONALD BASTIEN	59 6th St. Aub
Elwin Szoland	Elwin Szoland	30 Fairview Ct Aub
Donald R Mailhot	DONALD R MAILHOT	185 BROAD ST, AUB
Lisa A Mailhot	LISA A Mailhot	185 Broad St Aub

REZONING PETITION

We, the undersigned registered voters of the City of Auburn, do herein petition the City of Auburn to amend the Zoning Map and the City of Auburn Comprehensive Plan, Future Land Use Map in the area of Pond View and Ledgeview Drives from from Low Density Country Residential to Urban Residence as outlined in black on the attached map. The parcels or portions of parcels listed on the attached property list as outlined in black would be changed as noted above. The change is consistent with the Comprehensive Plan in areas that are served by public sewer and will make more of the lots conforming than are conforming under the existing zoning. The change will allow for redevelopment of seasonal homes into year round homes with setbacks that are smaller than currently allowed and more consistent with existing development patterns.

SIGNATURE	PRINTED NAME	ADDRESS
<i>[Signature]</i>	DARLENE WHITBY	297 S. MOULTON ST. AUBURN ME
<i>[Signature]</i>	DAVID ARNOLD	78 COACHMAN AVE AUB ME
<i>[Signature]</i>	CHERYL A. ARNOLD	26 OLD CARRIAGE AUB ME
<i>[Signature]</i>	TRENST. THERRIAULT	95 LEDGEVIEW COVE AUB ME
<i>[Signature]</i>	ROLAND N. MAILHOT	134 LEDGEVIEW COVE AUB ME
<i>[Signature]</i>	PATRICIA D. MAILHOT	134 LEDGEVIEW COVE AUB ME
<i>[Signature]</i>	JACQUELINE C. DOWLING	161 PONDVIEW DRIVE AUB ME
<i>[Signature]</i>	THOMAS D. DOWLING	161 PONDVIEW DRIVE AUB ME
<i>[Signature]</i>	PAULINE MORISSETTE	545 GARFIELD RD. AUBURN
<i>[Signature]</i>	BRENDA JOLY	167 POND VIEW DRIVE
<i>[Signature]</i>	KEVIN D. JOLY	167 POND VIEW DRIVE
<i>[Signature]</i>	MARANDA GAY	195 WEST SHORE RD. AUBURN
<i>[Signature]</i>	EDMONA L. GAY	195 W. SHORE RD. AUBURN
<i>[Signature]</i>	LOUISE C. FORGUES	157 POND VIEW DR. AUBURN
<i>[Signature]</i>	ANNE PARIBRAND	493 GARFIELD RD. AUBURN
<i>[Signature]</i>	ANNETTE CHENARD	61 CAROL LN. AUBURN
<i>[Signature]</i>	CLAUDETTE WINSLOW	61 CAROL LN. AUBURN
<i>[Signature]</i>	CAROLINE F. TOUTURE	61 CAROL LN. AUBURN
<i>[Signature]</i>	ROBERT H. TREMBLAY	134 PONDVIEW DR. AUBURN
<i>[Signature]</i>	MARC D. TREMBLAY	134 PONDVIEW DRIVE AUBURN
<i>[Signature]</i>	THERESA TREMBLAY	134 PONDVIEW DR.
<i>[Signature]</i>	STEPHEN BOUCHARD	14 POND CREST LANE AUBURN
<i>[Signature]</i>	MILAGRINE MAILHOT	147 PONDVIEW DR. AUBURN
<i>[Signature]</i>	MARIE STEELE	42 TERRACE RD. AUBURN
<i>[Signature]</i>	DAVE STEELE	1159 HOTEL RD. AUBURN
<i>[Signature]</i>	GEORGE C. LANGSNIER	56 LAVERGNE ST. LEWISTON ME TAYLOR FOND

Proposed Zoning Change from Low Density Country Residential to Urban Residence outlined in black



Development Standards – The basic density requirement should be up to 6-8 units per acre for single family and two-family homes and up to 10-12 units per acre for townhouse style and multifamily units. The reuse/reconfiguration of the space within existing buildings for residential purposes should be allowed without consideration of the density/lot size requirements provided that the building will be renovated, be compatible with the neighborhood, and meet the City's requirements for residential units including the provision of appropriate parking and green space. The minimum lot size for single family house lots should be 5,000 to 6,500 SF with 50 feet of lot width or frontage. The other development standards should be established to reflect the existing pattern of development.

Moderate Density Neighborhood Conservation District (MoDNC)

Objective – Stabilize and promote continued investment in the City's moderate density single and two-family neighborhoods to assure that they remain safe, attractive areas in which residents want to live (see Figures 2.3, 2.5, 2.6, and 2.7). To this end, the district should allow property owners to upgrade their properties and for infill development to occur on vacant lots as long as it is compatible with the character of the neighborhood.

Allowed Uses – The allowed uses in the Moderate Density Neighborhood Conservation District should be limited to the following types of uses:

- single and two-family homes
- townhouse style attached single family units
- home occupations
- community services and municipal use and facilities
- agriculture

Development Standards – The basic density requirement should be up to 4-6 units per acre for single family and two-family homes and up to 6-8 units per acre for townhouse style units. The minimum lot size for single family house lots should be 7,500 to 10,000 SF, with 75 to 100 feet of lot width or frontage. The other development standards should be similar to the standards for existing Urban Residential District. The development standards should include provisions to allow infill development on existing lots of record, regardless of their size, if they meet stringent design and environmental standards that ensure compatibility with the surrounding neighborhood.

DESIGNATIONS: NONRESIDENTIAL AND MIXED USE

Neighborhood Business District (NB)

Objective – The objective of the Neighborhood Business District is to allow for the maintenance, improvement, and continued commercial use of properties within residential neighborhoods that have been traditionally used for nonresidential purposes, provided that they are good neighbors, and that changes in the property or the use do not increase the adverse impacts on

PART II - CODE OF ORDINANCES
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DIVISION 3. LOW DENSITY COUNTRY RESIDENTIAL DISTRICT

DIVISION 3. LOW DENSITY COUNTRY RESIDENTIAL DISTRICT

[Sec. 60-200. Purpose.](#)

[Sec. 60-201. Use regulations.](#)

[Sec. 60-202. Dimensional requirements.](#)

[Secs. 60-203—60-227. Reserved.](#)

Sec. 60-200. Purpose.

The purpose of this zone is to maintain and promote the rural/agricultural character of the land within this zone. This zone is composed of those areas in the city whose predominant land use is rural, wooded and agricultural. The regulations for this zone are designed to protect and stabilize these predominant land uses which are the essential characteristics of these areas and to minimize conflicting land uses detrimental to agricultural enterprises. Since residences are only incidental to this zone's development, the densities which require improved roads and expanded municipal services, in excess of those required by the present agricultural-oriented uses, shall not be permitted.

(Ord. of 9-21-2009, § 3.32A)

Sec. 60-201. Use regulations.

(a) *Permitted uses.* The following uses are permitted:

- (1) All uses permitted in the Agriculture and Resource Protection District, except uses allowed by section 60-172(a)(8) and (9).
- (2) One-family detached dwellings.
- (3) Lawn maintenance services.

(b) *Special exception uses.* The following uses are permitted by special exception after approval by the planning board in accordance with the provisions of division 3 of article XVI of this chapter:

- (1) All uses permitted by special exception in the Agriculture And Resource Protection (AR) District, (divisions 2 and 3 of article IV of this chapter), except uses allowed by section 60-172(b)(7), (14), and (15).
- (2) Bed and breakfast.

(Ord. of 9-21-2009, § 3.32B; Ord. 33-02072011-08, 2-7-2011; Ord. No. 08-08012011-07b, 8-1-2011)

Sec. 60-202. Dimensional requirements.

All structures in this district except as noted shall be subject to the following dimensional regulations:

- (1) *Minimum lot area, width and depth.* No lot shall be created and/or no building shall be erected on a lot containing less than three acres and measuring less than 325 feet in width. No lot shall be less than 200 feet in depth. The keeping of horses, mules, cows, goats, sheep, hogs and similar size animals for domestic use of the residents of the lot is permitted provided that the

PART II - CODE OF ORDINANCES
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DIVISION 3. LOW DENSITY COUNTRY RESIDENTIAL DISTRICT

land area required per animal unit forms to the definition of animal farm contained in section 60-2.

- (2) *Density.* The density of dwelling units shall not exceed an average of one dwelling per three acres.
- (3) *Yard requirements.*
 - a. *Rear.* There shall be behind every building a rear yard having a minimum depth of 50 feet or 25 percent of the average depth of the lot, whichever is less.
 - b. *Side.* There shall be a minimum distance of 15 feet between any building and the side property line plus the side yard setback shall be increased one foot for every five feet or part thereof increase in street frontage over 50 feet to a maximum of 25 feet for side yard setback.
 - c. *Front.* There shall be in front of every building a front yard having a minimum depth of 50 feet or 25 percent of the average depth of the lot whichever is less.
- (4) *Height.* The height of all dwelling structures shall be limited to 2½ stories or 35 feet in height. Accessory buildings and structures may have a maximum height of 65 feet from grade, provided that the front yard, rear yard, and each of the side yards shall be increased by one foot for each foot in height in excess of 35 feet.
- (5) *Off-street parking.* Off-street parking spaces shall be provided in accordance with the requirements for specific uses as set forth in articles V through XI of this chapter.

(Ord. of 9-21-2009, § 3.32C)

Secs. 60-203—60-227. Reserved.

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DIVISION 6. URBAN RESIDENCE DISTRICT

DIVISION 6. URBAN RESIDENCE DISTRICT

[Sec. 60-276. Purpose.](#)

[Sec. 60-277. Use regulations.](#)

[Sec. 60-278. Dimensional regulations.](#)

[Secs. 60-279—60-304. Reserved.](#)

Sec. 60-276. Purpose.

This district is intended to provide for, protect and stabilize medium density urban residential areas of single- and two-family detached dwellings and their adjunct public and institutional uses. It is designed to ensure a family living environment in an urban setting through lot size requirements that provide adequate yard space for family outdoor activity and play space for children.

(Ord. of 9-21-2009, § 3.43A)

Sec. 60-277. Use regulations.

(a) *Permitted uses.* The following uses are permitted:

- (1) One-family detached dwellings.
- (2) Two-family dwellings.
- (3) Attached single-family dwellings, provided that they are approved by the planning board as part of a planned residential unit development and subdivision, under the provisions of division 10 of article IV and division 4 of article XVI of this chapter.
- (4) Accessory uses building or structures.
- (5) Farming of field crops, row crops, orchards or truck gardens.
- (6) Municipal uses and buildings.

(b) *Special exception uses.* All uses permitted by special exception in the Suburban Residence (SR) District (division 6 of article IV of this chapter), except radio, radar, television and radio-telephone transmitting towers are permitted in the Urban Residence (UR) District.

(Ord. of 9-21-2009, § 3.43B)

Sec. 60-278. Dimensional regulations.

All structures in this district, except as noted, shall be subject to the following dimensional regulations:

- (1) *Minimum lot area, width and depth.* No lot shall be created and/or no building shall be erected on a lot containing less than 10,000 square feet; and measuring less than 100 feet in width. No lot shall be less than 100 feet in depth. No two-family dwelling shall be erected on a lot containing less than 12,000 square feet.

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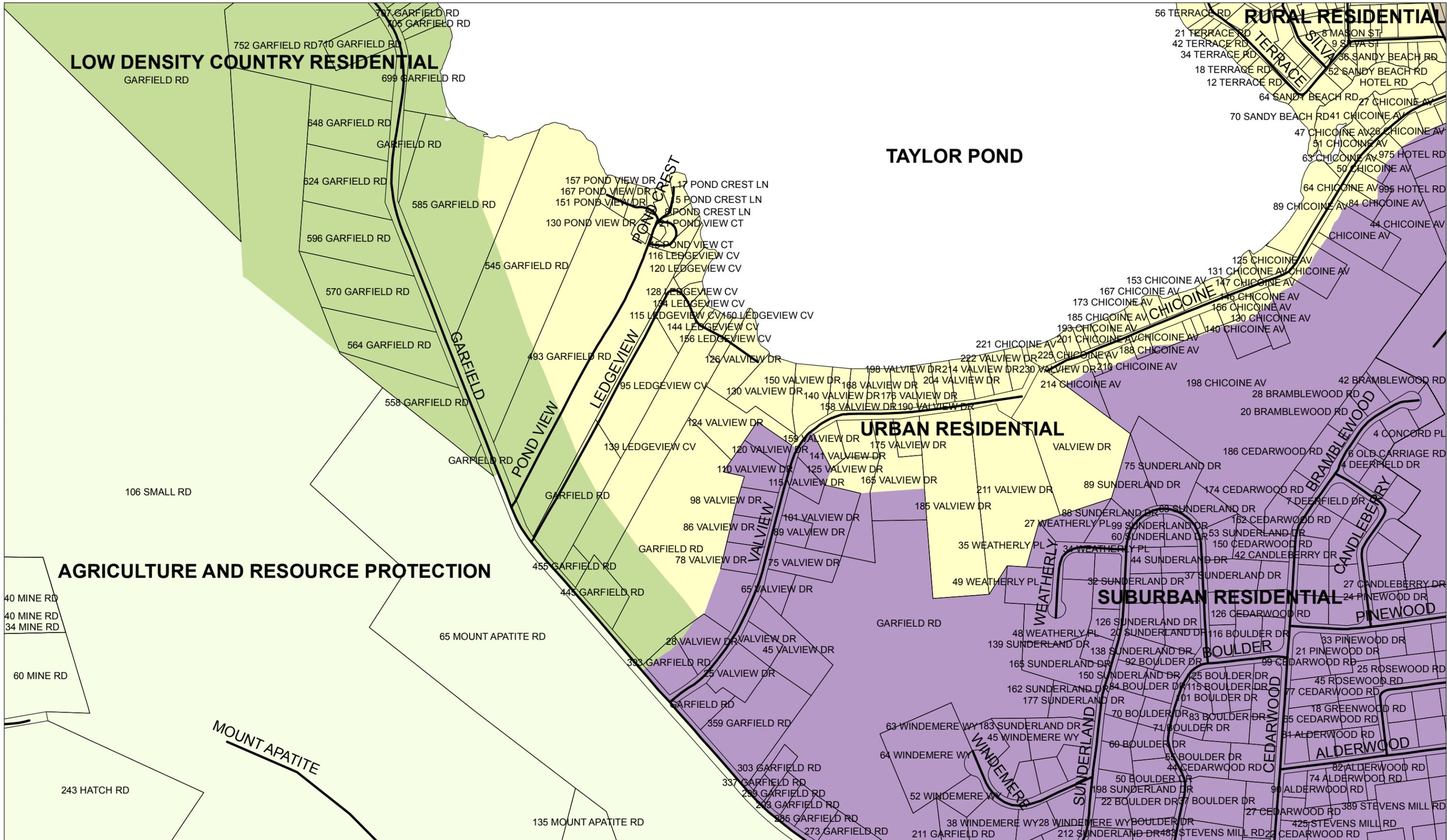
DIVISION 6. URBAN RESIDENCE DISTRICT

- (2) *Density.* The density of single-family dwelling units shall not exceed four units per acre. The density of two-family dwelling units shall not exceed six units per acre.
- (3) *Yard requirements.*
 - a. *Rear.* There shall be behind every building a rear yard having a minimum depth of 25 feet or 25 percent of the average depth of lot, whichever is less.
 - b. *Side.* There shall be a minimum distance of five feet between any building and the side property line plus the side yard setback shall be increased one foot for every five feet or part thereof increase in street frontage over 50 feet to a maximum of 15 feet for side yard setback.
 - c. *Front.* There shall be in front of every building a front yard having a minimum depth of 25 feet or 25 percent of the average depth of the lot, whichever is less.
- (4) *Height.* The height of all structures shall be limited to 2½ stories or 35 feet in height with the following exceptions: A farm accessory building or structure, church or temple, or windmill may have a maximum height of 65 feet from grade, provided that the front yard, rear yard and each of the side yards shall be increased by one foot for each foot in height in excess of 35 feet.
- (5) *Off-street parking.* Off-street parking spaces shall be provided in accordance with the requirements for specific uses as set forth in articles V through XI of this chapter.

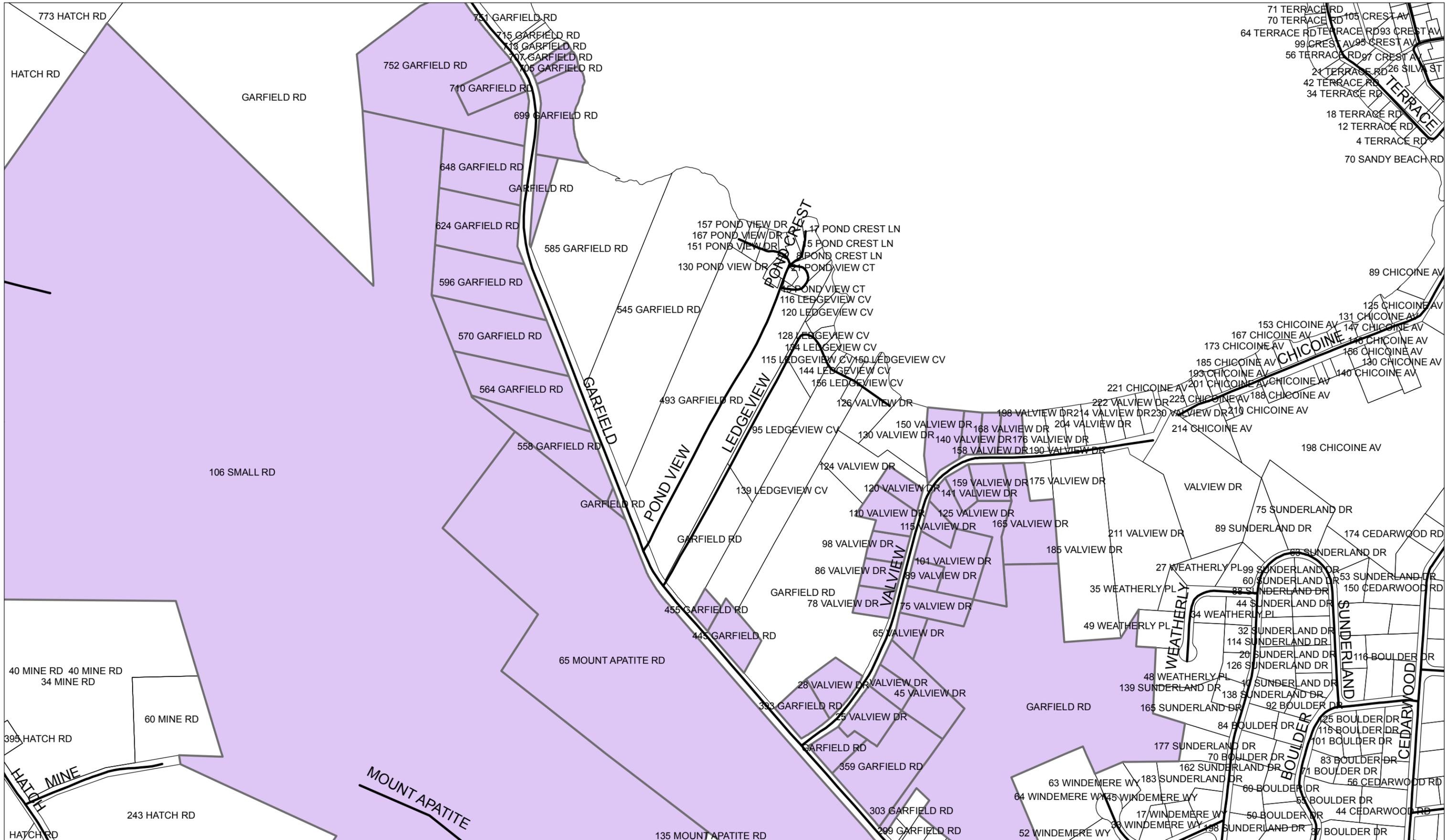
(Ord. of 9-21-2009, § 3.43C)

Secs. 60-279—60-304. Reserved.

ZOMA- 1194: "Pond View Zone Change" Proposed Zoning



ZOMA- 1194: "Pond View Zone Change" Properties Sent Letters



ZOMA-1194-2014

REZONING PETITION

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Reasons for proposed zone change

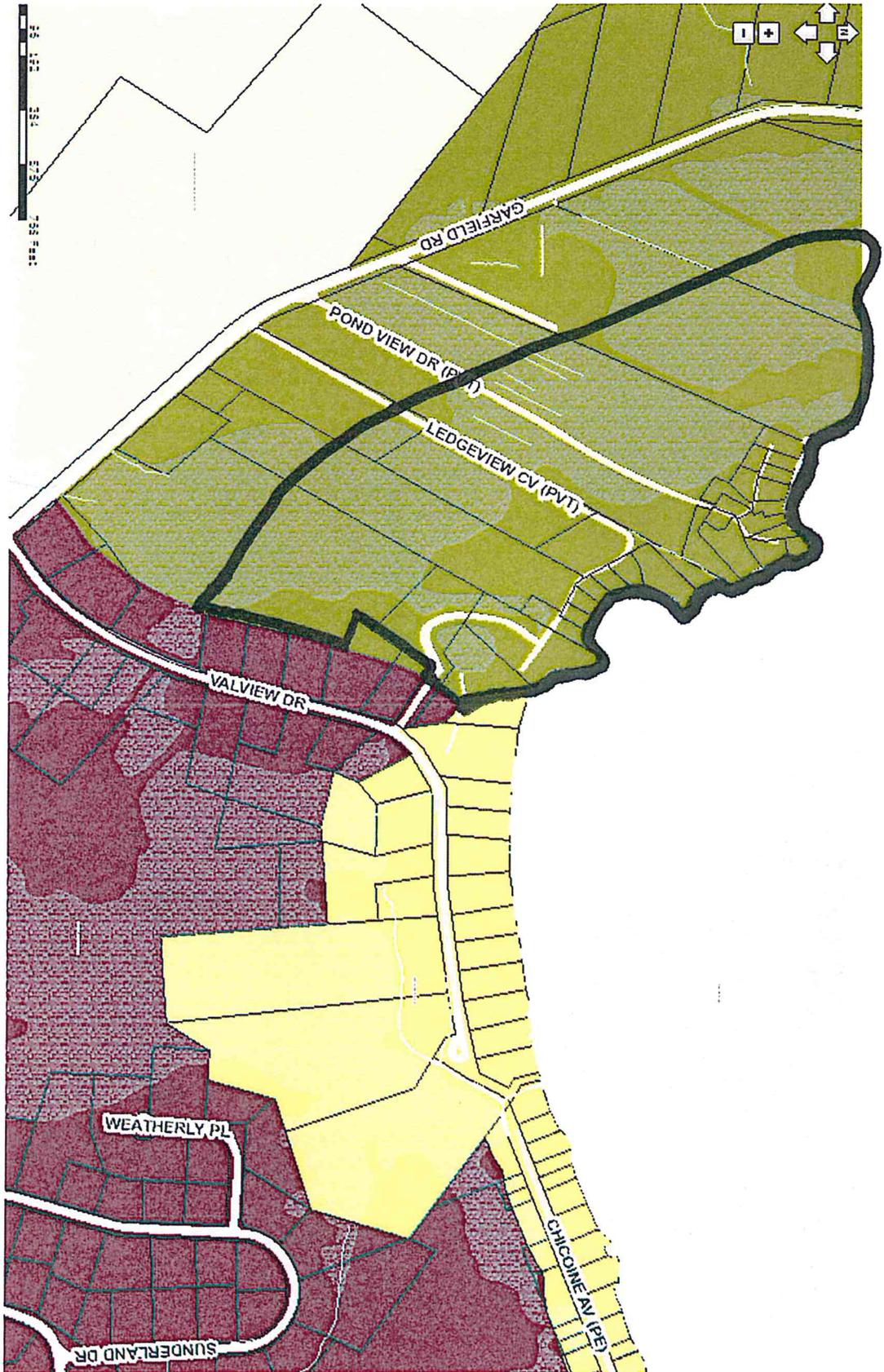
SIGNATURE	PRINTED NAME	ADDRESS
<i>Arnold Adams</i>	Arnold Adams	1531 Broad St.
<i>Carolyn Adams</i>	Carolyn Adams	183 Broad St. Aub.
<i>Jay Arnold</i>	Jay Arnold	10 Dantam St Aub.
<i>Timothy J. Carle</i>	Timothy J. Carle	212 Lake Street
<i>Kelly J. Brooks</i>	KELLY J. BROOKS	53 Sixth St., Auburn
<i>Lisa Latuelippe</i>	Lisa Latuelippe	20 Lafayette Street, Auburn
<i>Ray Ouellette</i>	RAY OUELLETTE	623 Littlefield Rd
<i>Robert S. LaSord</i>	Robert S. LaSord	29 Madison St
<i>Zachary S. Earle</i>	Zachary S. Earle	212 Lake St
<i>Roger L. Bixette</i>	Roger L. Bixette	83 Broadview Ave
<i>Kyan Bixette</i>	KYAN BIXETTE	86 Broadview Ave
<i>Stevon J. Damien</i>	Stevon J. Damien	703 So Witham Rd
<i>Diane D. Damien</i>	Diane D. Damien	1278 Pownall Rd
<i>Claudette Jordan</i>	CLAUDETTE JORDAN	454 Fletcher Rd
<i>Tom Freitas</i>	Tom Freitas	53 Howe St Aub
<i>Mark Eustis</i>	Mark EUSTIS	137 Riverside Dr. Auburn
<i>Adam West</i>	Adam West	32 Amherst St Auburn
<i>Richard Speer</i>	Richard Speer	566 N. Auburn Rd, Aub.
<i>Cindy Foss</i>	CINDY FOSS	426 Mill St Aub
<i>Kim Brooks</i>	Kim Brooks	30 Barton Ave Aub
<i>Sandra Brown</i>	Sandra Brown	773 Court St Aub.
<i>Maurice Pelletier</i>	Maurice Pelletier	191 Poland Springs Rd Auburn
<i>Ernest L. Chau</i>	ERNEST L. CHAU	19 PENLEY CORNER RD Aub.
<i>Carmille Bernard</i>	CARMILLE BERNARD	448 Youngs Corner Rd Aub.
<i>Lester Perry</i>	Lester Perry	27 Miami Ave Aub ME.
<i>Jay Bishop</i>	JAY Bishop	901 Lakeshore Drive Aub.
<i>Daniel J. Rodrigue</i>	Daniel J. RODRIGUE	259 Gamage Ave Aub.
<i>Ronald Bastien</i>	RONALD BASTIEN	53 6th St. Aub
<i>Elwin Sizeland</i>	Elwin Sizeland	30 Fairview Ct Aub
<i>Donald R. Mailhot</i>	DONALD R. MAILHOT	185 BROAD ST. AUB
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SIGNATURE	PRINTED NAME	ADDRESS
<i>[Signature]</i>	Donle no Whitley	257 S. Main St. Auburn ME
<i>[Signature]</i>	David Arnold	78 Coashman AVP Aub ME
Cheryl A Arnold	CHERYL A ARNOLD	26 OLD CARRIAGE AUB ME
<i>[Signature]</i>	TRENET. THERIAULT	95 LEDGEVIEW COVE AUB ME
<i>[Signature]</i>	ROLAND V. MAILHOT	134 LEDGEVIEW COVE AUB ME
<i>[Signature]</i>	PATRICIA D. MAILHOT	134 Ledgeview Cove Auburn
<i>[Signature]</i>	JACQUELINE C DAWLING	161 Pond View Drive Auburn
<i>[Signature]</i>	JAMES D JOLY	167 Pond View Drive Auburn
<i>[Signature]</i>	PAULINE MORISSETTE	545 Garfield Rd. Auburn
<i>[Signature]</i>	Brenda Joly	167 Pond View Drive
<i>[Signature]</i>	Kevin D. Joly	167 Pond View Drive
<i>[Signature]</i>	Yolande Gay	195 WEST STAR RD. Auburn
Edmond Gay	EDMOND L. GAY	195 W. Star Rd Auburn
<i>[Signature]</i>	LOUISE C FORGUES	157 POND VIEW DR. Auburn
<i>[Signature]</i>	Anne Paribriand	493 Garfield Rd Auburn
<i>[Signature]</i>	Annette Chénard	61 Carson Ln. Auburn
<i>[Signature]</i>	CLAUDETTE WINSLOW	61 CAROLLA, Auburn
<i>[Signature]</i>	Colinne F. Couture	61 CAROLLA AUBURN
<i>[Signature]</i>	Robert H Tremblay	134 Ledgeview Dr. Auburn
<i>[Signature]</i>	MARC D. Tremblay	134 Pond View Drive Auburn
<i>[Signature]</i>	Theresa Tremblay	134 Pond View Dr.
<i>[Signature]</i>	Stephen Bouchard	14 Pond Crest Lane Auburn
<i>[Signature]</i>	JULIETTE MAILHOT	147 Pond View Dr. Auburn
<i>[Signature]</i>	Marie Steele	42 Terrace Rd, Auburn
<i>[Signature]</i>	DAVE STEELE	1159 Hotel Rd, Auburn
<i>[Signature]</i>	GEORGE C LANGLOIS	56 LAURIER ST. Lewiston ME Taylor Pond

Proposed Zoning Change from Low Density Country Residential to Urban Residence outlined in black



PART II - CODE OF ORDINANCES
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DIVISION 3. LOW DENSITY COUNTRY RESIDENTIAL DISTRICT

DIVISION 3. LOW DENSITY COUNTRY RESIDENTIAL DISTRICT

[Sec. 60-200. Purpose.](#)

[Sec. 60-201. Use regulations.](#)

[Sec. 60-202. Dimensional requirements.](#)

[Secs. 60-203—60-227. Reserved.](#)

Sec. 60-200. Purpose.

The purpose of this zone is to maintain and promote the rural/agricultural character of the land within this zone. This zone is composed of those areas in the city whose predominant land use is rural, wooded and agricultural. The regulations for this zone are designed to protect and stabilize these predominant land uses which are the essential characteristics of these areas and to minimize conflicting land uses detrimental to agricultural enterprises. Since residences are only incidental to this zone's development, the densities which require improved roads and expanded municipal services, in excess of those required by the present agricultural-oriented uses, shall not be permitted.

(Ord. of 9-21-2009, § 3.32A)

Sec. 60-201. Use regulations.

(a) *Permitted uses.* The following uses are permitted:

- (1) All uses permitted in the Agriculture and Resource Protection District, except uses allowed by section 60-172(a)(8) and (9).
- (2) One-family detached dwellings.
- (3) Lawn maintenance services.

(b) *Special exception uses.* The following uses are permitted by special exception after approval by the planning board in accordance with the provisions of division 3 of article XVI of this chapter:

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- (2) Bed and breakfast.

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Sec. 60-202. Dimensional requirements.

All structures in this district except as noted shall be subject to the following dimensional regulations:

- (1) **Minimum lot area, width and depth.** No lot shall be created and/or no building shall be erected on a lot containing less than three acres and measuring less than 325 feet in width. No lot shall be less than 200 feet in depth. The keeping of horses, mules, cows, goats, sheep, hogs and similar size animals for domestic use of the residents of the lot is permitted provided that the

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DIVISION 3. LOW DENSITY COUNTRY RESIDENTIAL DISTRICT

land area required per animal unit forms to the definition of animal farm contained in section 60-2.

- (2) *Density.* The density of dwelling units shall not exceed an average of one dwelling per three acres.
- (3) *Yard requirements.*
 - a. *Rear.* There shall be behind every building a rear yard having a minimum depth of 50 feet or 25 percent of the average depth of the lot, whichever is less.
 - b. *Side.* There shall be a minimum distance of 15 feet between any building and the side property line plus the side yard setback shall be increased one foot for every five feet or part thereof increase in street frontage over 50 feet to a maximum of 25 feet for side yard setback.
 - c. *Front.* There shall be in front of every building a front yard having a minimum depth of 50 feet or 25 percent of the average depth of the lot whichever is less.
- (4) *Height.* The height of all dwelling structures shall be limited to 2½ stories or 35 feet in height. Accessory buildings and structures may have a maximum height of 65 feet from grade, provided that the front yard, rear yard, and each of the side yards shall be increased by one foot for each foot in height in excess of 35 feet.
- (5) *Off-street parking.* Off-street parking spaces shall be provided in accordance with the requirements for specific uses as set forth in articles V through XI of this chapter.

(Ord. of 9-21-2009, § 3.32C)

Secs. 60-203—60-227. Reserved.

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DIVISION 6. URBAN RESIDENCE DISTRICT

DIVISION 6. URBAN RESIDENCE DISTRICT

[Sec. 60-276. Purpose.](#)

[Sec. 60-277. Use regulations.](#)

[Sec. 60-278. Dimensional regulations.](#)

[Secs. 60-279—60-304. Reserved.](#)

Sec. 60-276. Purpose.

This district is intended to provide for, protect and stabilize medium density urban residential areas of single- and two-family detached dwellings and their adjunct public and institutional uses. It is designed to ensure a family living environment in an urban setting through lot size requirements that provide adequate yard space for family outdoor activity and play space for children.

(Ord. of 9-21-2009, § 3.43A)

Sec. 60-277. Use regulations.

(a) *Permitted uses.* The following uses are permitted:

- (1) One-family detached dwellings.
- (2) Two-family dwellings.
- (3) Attached single-family dwellings, provided that they are approved by the planning board as part of a planned residential unit development and subdivision, under the provisions of division 10 of article IV and division 4 of article XVI of this chapter.
- (4) Accessory uses building or structures.
- (5) Farming of field crops, row crops, orchards or truck gardens.
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(b) *Special exception uses.* All uses permitted by special exception in the Suburban Residence (SR) District (division 6 of article IV of this chapter), except radio, radar, television and radio-telephone transmitting towers are permitted in the Urban Residence (UR) District.

(Ord. of 9-21-2009, § 3.43B)

Sec. 60-278. Dimensional regulations.

All structures in this district, except as noted, shall be subject to the following dimensional regulations:

- (1) ***Minimum lot area, width and depth.*** No lot shall be created and/or no building shall be erected on a lot containing less than 10,000 square feet; and measuring less than 100 feet in width. No lot shall be less than 100 feet in depth. No two-family dwelling shall be erected on a lot containing less than 12,000 square feet.

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DIVISION 6. URBAN RESIDENCE DISTRICT

- (2) *Density.* The density of single-family dwelling units shall not exceed four units per acre. The density of two-family dwelling units shall not exceed six units per acre.
- (3) *Yard requirements.*
 - a. *Rear.* There shall be behind every building a rear yard having a minimum depth of 25 feet or 25 percent of the average depth of lot, whichever is less.
 - b. *Side.* There shall be a minimum distance of five feet between any building and the side property line plus the side yard setback shall be increased one foot for every five feet or part thereof increase in street frontage over 50 feet to a maximum of 15 feet for side yard setback.
 - c. *Front.* There shall be in front of every building a front yard having a minimum depth of 25 feet or 25 percent of the average depth of the lot, whichever is less.
- (4) *Height.* The height of all structures shall be limited to 2½ stories or 35 feet in height with the following exceptions: A farm accessory building or structure, church or temple, or windmill may have a maximum height of 65 feet from grade, provided that the front yard, rear yard and each of the side yards shall be increased by one foot for each foot in height in excess of 35 feet.
- (5) *Off-street parking.* Off-street parking spaces shall be provided in accordance with the requirements for specific uses as set forth in articles V through XI of this chapter.

(Ord. of 9-21-2009, § 3.43C)

Secs. 60-279—60-304. Reserved.

Development Standards – The basic density requirement should be up to 6-8 units per acre for single family and two-family homes and up to 10-12 units per acre for townhouse style and multifamily units. The reuse/reconfiguration of the space within existing buildings for residential purposes should be allowed without consideration of the density/lot size requirements provided that the building will be renovated, be compatible with the neighborhood, and meet the City’s requirements for residential units including the provision of appropriate parking and green space. The minimum lot size for single family house lots should be 5,000 to 6,500 SF with 50 feet of lot width or frontage. The other development standards should be established to reflect the existing pattern of development.

Moderate Density Neighborhood Conservation District (MoDNC)

Objective – Stabilize and promote continued investment in the City’s moderate density single and two-family neighborhoods to assure that they remain safe, attractive areas in which residents want to live (see Figures 2.3, 2.5, 2.6, and 2.7). To this end, the district should allow property owners to upgrade their properties and for infill development to occur on vacant lots as long as it is compatible with the character of the neighborhood.

Allowed Uses – The allowed uses in the Moderate Density Neighborhood Conservation District should be limited to the following types of uses:

- single and two-family homes
- townhouse style attached single family units
- home occupations
- community services and municipal use and facilities
- agriculture

Development Standards – The basic density requirement should be up to 4-6 units per acre for single family and two-family homes and up to 6-8 units per acre for townhouse style units. The minimum lot size for single family house lots should be 7,500 to 10,000 SF, with 75 to 100 feet of lot width or frontage. The other development standards should be similar to the standards for existing Urban Residential District. The development standards should include provisions to allow infill development on existing lots of record, regardless of their size, if they meet stringent design and environmental standards that ensure compatibility with the surrounding neighborhood.

DESIGNATIONS: NONRESIDENTIAL AND MIXED USE

Neighborhood Business District (NB)

Objective – The objective of the Neighborhood Business District is to allow for the maintenance, improvement, and continued commercial use of properties within residential neighborhoods that have been traditionally used for nonresidential purposes, provided that they are good neighbors, and that changes in the property or the use do not increase the adverse impacts on