



City Council Workshop & Meeting
February 25, 2019
Agenda

5:30 P.M. City Council Workshop

- A. Possible Formation of an Agricultural Advisory Committee – Peter Crichton and Sue Clements-Dallaire (10 minutes)
- B. Age Friendly Community Committee Proposed Ordinance – Phil Crowell (15 minutes)
- C. Mill and Main Street Intersection Design – Jeremiah Bartlett, Craig Saddlemire, Tony Beaulieu, and Don Ettinger (30 minutes)
- D. Tax Acquired Property (Court & Beck) – Jody Durisko and Eric Cousens (10 minutes)

7:00 P.M. City Council Meeting - Roll call votes will begin with Councilor Titus

Pledge of Allegiance

I. Consent Items - None

II. Minutes

- February 4, 2019 Regular Council Meeting

III. Communications, Presentations and Recognitions

- Proclamation - Proclaiming March 9th as Mary's Race Day for Mary's Firemen's Race for a Cure
- Proclamation – Proclaiming March 2019 as DeMolay Month
- Proclamation – National Children's Dental Health Month
- Communications – 2020 Census (Betsy Enright)
- Communications – Information Technology (IT) Department Update (Paul Fraser, Director)
- Update on the New Edward Little High School – Katy Grondin, Superintendent

IV. Open Session – Members of the public are invited to speak to the Council about any issue directly related to City business which is *not on this agenda*.

V. Unfinished Business

1. Order 04-01072019

Authorizing the discontinuance of Niskayuna Street. Second reading and final vote.

VI. New Business

1. **Order 19-02252019**
Approving the sale (by sealed bid) of tax acquired property (77 Gill Street).
2. **Order 20-02252019**
Approving the sale (by sealed bid) of tax acquired property (120 Cook Street).
3. **Order 21-02252019**
Approving the sale (by sealed bid) of tax acquired property (Garfield Road PID #245-011-001).
4. **Order 22-02252019**
Approving the sale (by sealed bid) of tax acquired property (Hackett Road PID #135-010).
5. **Order 23-02252019**
Appointing Bryan Bachelder as the Local Sealer of Weights and Measures with a term expiration of December 31, 2019.
6. **Order 24-02252019**
Amending the Consolidated and Annual Action Plan (STAR Program & Senior Center Renovations).
Public hearing.
7. **Ordinance 01-02252019**
Amending Chapter 60, Sec. 60-145 (b)(17) Special Exception Use Regulations. First reading.
8. **Order 25-02252019**
Approving the Auto Graveyard/Junkyard permit for Don's No Preference Towing.
9. **Order 26-02252019**
Referring the proposed Agricultural Ordinance to the Conservation Commission, Planning Board and the Maine Department of Agriculture, Conservation, and Forestry.
- VII. **Reports**
 - a. **Mayor's Report**
 - b. **City Councilors' Reports**
 - c. **City Manager Report**
 - d. **Finance Director, Jill Eastman** – January 2019 Monthly Finance Reports
- VIII. **Open Session** - Members of the public are invited to speak to the Council about any issue directly related to City business which is *not on this agenda*.
- IX. **Executive Session**
- X. **Adjournment**



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019

Author: Sue Clements-Dallaire, City Clerk

Subject: Formation of an Agricultural Advisory Board

Information: There has been discussion stemming from the Agricultural and Natural Resource Study and the Mayor's Action Group on Agriculture and Resource Protection (MAG-ARP) to form an Agricultural Advisory Board. There was interest from the Council to bring this back for further discussion. The City Clerk and the City Manager will discuss recommended steps to form an Agricultural Advisory Board.

City Budgetary Impacts: N/A

Staff Recommended Action: Discussion.

Previous Meetings and History: Presented at the 2/4/2019 City Council Workshop

City Manager Comments:

I concur with the recommendation. Signature:

A handwritten signature in blue ink that reads "Peter J. Coakley".

Attachments: Memo



City of Auburn, Maine

Office of the City Manager

www.auburnmaine.gov | 60 Court Street

Auburn, Maine 04210

207.333.6601

TO: Peter Crichton, City Manager
FROM: Sue Clements-Dallaire, City Clerk
RE: Possible Formation of an Agricultural Advisory Board
DATE: February 14, 2019

There has been discussion stemming from the Agricultural and Natural Resource Study and the Mayor's Action Group on Agriculture and Resource Protection (MAG-ARP) to form an Agricultural Advisory Board.

As you requested, I am submitting this memo outlining the process that I would recommend in order to make that happen.

My recommendation would be to first, present to Council a resolve supporting the formation of an Agricultural Advisory Board. Assuming there is enough support, I would recommend forming a small group (possibly consisting of a few staff members, a few City Councilors, and a few members of the MAG-ARP group) to draft an ordinance Chapter 2, Article V – Boards, Commissions, and Committees, Division 7. The ordinance would outline the purpose of the board, membership, appointment, terms, duties and responsibilities, rules of procedure, and so on.

Once the draft ordinance is complete, it would be presented to the full City Council during a City Council workshop, followed by a first reading and vote, then a second reading and final vote (over the course of three City Council meetings).

After the ordinance is adopted (assuming it is), we would post openings on that board and follow the process outlined in our Appointment Process Policy.



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: Workshop - February 25, 2019

Author: Phil Crowell, Assistant City Manager

Subject: Adopt ordinance to create an Age Friendly Community Committee

Information: The Mayor's Ad-hoc Group on Age Friendly was created on January 8, 2018. The group was co-chaired by Councilors Gerry and Walker who recruited a team of citizens which focused on the AARP acceptance as an Age Friendly Community process, the senior community center kitchen, senior center facility expansion, programming, activities, developing bylaws, and developed a community assessment survey. To move the initiative further, it is important for the committee to become an established committee with appointed members.

The Committee will coordinate efforts to effect policy and system changes that enhance the health and social well-being of older adults. The Committee will engage leaders, consumers, and providers to develop and sustain a community framework that fosters healthy aging.

The major functions of this Committee are:

1. To facilitate communication among leaders, consumers and providers that identify key issues for healthy aging communities
 2. To conduct impact evaluations and analyze the effectiveness of age-friendly programs
 3. To make policy recommendations to the city council and advance initiatives that promote the health and social well-being of older adults
-

City Budgetary Impacts: No fiscal impact.

Staff Recommended Action: Adopt the Age Friendly Committee with the Director of Recreation and Sports Tourism as the ex officio member.

Previous Meetings and History:

January 8, 2018 the Mayor's Ad-Hoc Age Friendly Committee was created - Resolve 02-01082018
July 16, 2018 AARP recognized Auburn as part of the network of Age Friendly Communities

City Manager Comments: I concur with the recommendation.

Signature: 

Attachments:



**CITY OF AUBURN
AGE FRIENDLY COMMUNITY COMMITTEE
BYLAWS**

ARTICLE 1 - Name of the Committee

The name of this Committee shall be the “[City of Auburn] Age-Friendly Community Committee,” hereinafter referred to in these Bylaws as the “Committee.”

ARTICLE 2 Offices of this Committee

The office for the Committee is located at the Auburn Senior Community Center, Department of Recreation, 48 Pettengill Park Road, Auburn, Maine 04210.

ARTICLE 3 – Purpose and Responsibilities of the Committee

Section 1 - General Purpose

The Committee is appointed by the Auburn City Councilors to coordinate efforts to effect policy and system changes that enhance the health and social well-being of older adults. The Committee will engage leaders, consumers, and providers to develop and sustain a community framework that fosters healthy aging.

The major functions of this Committee are:

1. To facilitate communication among leaders, consumers and providers that identify key issues for healthy aging communities
2. To conduct impact evaluations and analyze the effectiveness of age-friendly programs
3. To make policy recommendations to the city council and advance initiatives that promote the health and social well-being of older adults

Section 2 - Specific Duties

In order to achieve its general purpose, the Committee shall among other things:

- a. Provide annual reports to the Auburn City Councilors and other interested parties on the initiatives impacting the older adult population in Auburn;
- b. Host public forums on the state of aging in Auburn with consumer representation;
- c. Support initiatives and programs that serve older adults through public outreach, advocacy and sharing resources;
- d. Provide knowledge and expertise to policy makers and community-based programs that serve older adults to enact policies and practices that impact aging communities.

ARTICLE 4 Committee Membership

Section 1 - Appointments

The Auburn City Council will appoint members to the Committee.

Section 2 - Number, Composition, Executive Members

1. The Committee shall consist of 13 members (“Committee members”) as follows, special consideration should be given to the following organizations when selecting representatives, if available:

- a. Representatives from the Auburn Public Library, Area Agency on Aging, Seniors Plus, Lewiston Auburn Transit Committee, Auburn Housing Authority, Community Based Senior Organizations and the Auburn School Department.
 - b. All other representatives shall be from the community.
2. The executive committee (officers) shall consist of the chair, vice chair, and secretary. The Director of Recreation and Sports Tourism or designee shall attend all executive committee meetings.

Section 3 - Term of Office and Resignations

All Committee members shall serve a three-year (3) term at the pleasure of the Auburn City Council. Any vacancy on the Committee shall be filled by the City Council in the same manner as the original appointment. Any person appointed to fill a vacancy shall serve for the unexpired term of the Committee member he or she succeeds. Any Committee member may resign by giving written notice to the Chairperson of the Committee. The resignation shall be effective when the notice is given.

Section 4 - Duties and Responsibilities of Committee members.

1. Attendance

- a. All Committee members shall be in attendance at the hour and day appointed for each regular or special meeting.
- b. A Committee member may be excused from attendance with a valid reason which shall be as follows:
 1. EXCUSED absences may be due to planned events such as vacation, medical appointments, military service, family activities, jury duty, and funerals that conflict with a regularly scheduled Committee meeting. Committee members must provide advance notification to the Committee's designated staff person.
 2. UNPLANNED may be reported in a timely manner and excused by the Committee Chairperson or designee for a valid reason including personal illness, family emergencies or other unavoidable urgent reason.
- c. A non-valid absence is any absence other than an excused or unplanned absence.
- d. The Executive Committee may grant Committee members requiring an extended period of EXCUSED absence a six month leave of absence for personal injury/illness, care of a parent, spouse or child.
- e. The Executive Committee shall review attendance, every six months, of the Committee members, to ensure compliance of these attendance Bylaws.

2. Removal of Committee members

A Committee member can be removed from the Committee by majority vote of the Committee and declaration of the City Council if more than three consecutive absences or three unexcused absences.

ARTICLE 5 – Meetings

Section 1 - Quorum

Unless a quorum is present, no business requiring a vote of the Committee or any of its committees may be transacted. A quorum shall be the number of members equal to, or greater than, 1/3 of the appointed voting members of the Committee.

Section 2 - Regular and Annual Meetings

- a. Regular meetings of the Committee shall be held each month at a site designated by the Committee. Monthly meetings may be omitted, as long as the Committee meets a minimum of ten times a year.
- b. Agendas for regular meetings, special meetings, and meetings of standing committees shall specify the time and place of the meeting and shall contain a brief description of each item of business to be transacted at the meeting.

Section 3 - Special Meetings

The Chairperson of the Committee, the Vice Chairperson, or any two (2) Committee members may call special meetings of the Committee. Notice for a special meeting shall be made in the same manner as for regular meetings.

Section 4 – Notice

Notice of the time and place of regular and special meetings shall be posted on the City of Auburn’s website and event calendar.

ARTICLE 6 - Committees of the Committee

Section 1. Ad-Hoc Committees

- a. Throughout the year, there are events or actions required by the Committee that require the creation of an ad-hoc committee. These ad-hoc committees do not continue throughout the year but are necessary for a period of time.
- b. The Committee may create additional ad-hoc committees by majority vote, each consisting of at least three (3) Committee members. Additional ad-hoc committees shall be subject to the same rules and procedures as the ad-hoc committees created in these Bylaws. The ad-hoc committees shall make recommendations to the full Committee. The action of all committees is subject to the approval of the full Committee.
- c. The Committee chairperson shall make appointments to the committees.
- d. The Committee chairperson may appoint one or more committee members as alternate members of any such committee, to replace any absent member of a committee at any meeting.
- e. Nomination Committee: This ad-hoc committee shall be appointed by the Committee chairperson in September to propose nominations to the Committee. The ad-hoc committee shall report to the Committee no later than the meeting in October with their nominations for the upcoming appointment. The committee shall be responsible for conducting the election process at the November Committee meeting. The committee is to propose the confirmation of the newly elected officers at the January Committee meeting.

ARTICLE 7 - Officers and Responsibilities

Section 1. Officers

The officers of the Committee shall consist of the Chairperson, Vice Chairperson, and Secretary

Section 2 - Election and Terms of Officers

- a. The three (3) officers of the Committee shall be elected at the annual regular meeting held during the month of November. Each Committee member shall cast one vote by ballot. Each Committee member voting must be present at the November meeting. No Committee member may vote by proxy. The candidate receiving the highest number of votes in each of the three (3) positions shall be elected as that officer for the next calendar year.

- b. No Committee member shall be elected as an officer of the Committee without serving one (1) full year as a Committee member (except for the first year of the committee).
- c. No Committee member shall serve as an officer of the Committee for more than four (4) consecutive years (except for secretary).

Section 3 – Chairperson

- a. shall preside at all meetings of the Committee.
- b. shall determine whether there are extraordinary circumstances to warrant an excused absence of a Committee member.
- c. shall appoint a Nomination Committee in the month of September.
- d. shall exercise and perform such other powers and duties as the Committee may assign.

Section 4 - Vice Chairperson

- a. shall perform all duties of the Chairperson, during his or her absence.
- b. shall have all powers of and be subjected to all restrictions of the Chairperson, during his or her absence.
- c. shall have such other powers and perform such other duties as the Committee may assign.

Section 5 – Secretary

- a. shall maintain written minutes of the proceedings of the Committee.
- b. shall maintain a record of each Committee member name, address, title and Committee responsibility.
- c. shall respond to all inquiries or communication as directed by the Committee.

ARTICLE 8 – Staffing

The Recreation and Sports Facility Department shall provide, to the extent funds are made available by the City Council, staff and supplies necessary to assist the Committee in the performance of its duties, including but not limited to, the issuance of notices and agendas for all meetings. The Director of Recreation and Sports Tourism will have the responsibility of overseeing the support of the Committee.

ARTICLE 9 - Maintenance of Committee Records and Reports

Section 1 - Committee Records

- a. Written minutes of the proceedings of the Committee and its committees.
- b. A record of each Committee member name, address, title, and Committee responsibility.

Section 2 - Committee Inspection Rights

Every Committee member may inspect the records and documents of the Committee. Reasonable notice must be given to staff to make the records or documents available.

Section 3 - Copies and Extracts

Any inspection under this section may be made in person and the right to inspection includes the right to copy in accordance with the city fee schedule.

ARTICLE 10 - Compensation and Reimbursement of Committee member

Any request for compensation or reimbursement for expenses incurred for conferences and meetings (including food, lodging, air, car, or bus costs must be approved prior to travel or purchase by the Director of Recreation and Sports Tourism. Any such authorized expenditure will be recorded as a line item in the Recreation Department annual budget.

ARTICLE 11 - Conflict of Interest Policy

The Committee Chairperson shall ensure that each Committee member and each staff person who is either subject to the conflict of interest policy or is responsible for investigating possible conflicts of interest on the part of the Committee members or staff shall make a copy of these Bylaws available.

- a. All Committee officers and committee members must neither cast a vote on, nor participate in, any decision-making capacity on the provision of services by such member (or any organization which that member directly represents), nor on any matter which would provide any direct financial benefit to that member or a member of his or her immediate family. To participate in a decision-making capacity includes discussing an issue and influencing, or trying to influence, other Committee or committee members or staff to take a position for or against an issue.
- a. All Committee officers and committee members will neither solicit nor accept gratuities, favors, or anything of monetary value from contractors, potential contractors, or parties to agreements or sub agreements made with the Committee.
- b. All Committee officers and committee members shall not be financially interested in any action made by them in their official capacity or in any action of the Committee. No member shall make, participate in making or in any way attempt to use his or her official position to influence a decision of the Committee in which he or she knows or has reason to know, he or she has a financial interest. A member of the Committee has a financial interest in a decision if it is reasonably foreseeable that the decision will have a material financial effect on the Committee member or Committee member's immediate family or in his/her business entity, real property, or source of income.
- c. Each Committee or committee member is required to disqualify (recuse) him or herself from participation in a decision which may have a foreseeable material financial impact on his or her financial interests.
- d. No Committee or committee member shall receive at any time any money that was donated to, raised by, or held in the name of the Committee. All funds must be submitted to the appropriate city staff member assigned to Age-Friendly programming.

ARTICLE 12 - Rules of Order

The most recent edition of Roberts Rules of Order shall apply to all questions of parliamentary procedure used at all Committee meetings.

ARTICLE 13 - Amendment of Bylaws

Amendment of the Bylaws requires a two-thirds vote of the Committee members present at a meeting where a quorum is present. Any amendments to the proposed amendments shall be handled according to the same procedures as the original amendments.

ARTICLE 14 –Severability

If any part of these Bylaws is held to be null and void by any competent court of law, the remaining portion of the Bylaws shall not be affected.

DIVISION 7. – AGE FRIENDLY COMMUNITY COMMITTEE

Sec. 2-482.7. - Established; membership.

- a) There shall be an age friendly community committee, which shall be composed of thirteen members. All except the ex officio member of the board shall be appointed by the city council.
- b) Serving as the ex officio member shall be the director of recreation and sports tourism or designee.
- c) Nothing in this article shall preclude the creation of standing subcommittees.

Sec. 2-482.8. - Term of members.

All appointed members of the age friendly committee shall serve staggered three-year terms from the date of their appointment and thereafter until their successors are appointed beginning with the effective date of this Code.

Sec. 2-482.9. - Officers; rules of procedure; vacancies.

The age friendly committee shall elect a chair, a vice-chair, secretary, and such other officers as it may require. The board shall develop such rules to govern its meetings and operations as it deems advisable. Upon the death, incapacity or removal from the city of any member, or if any member shall be absent without excuse for three consecutive meetings, the secretary of the board shall advise the city council that a vacancy exists and request the appointment of a replacement.

Sec. 2-482.10. - Duties.

The purpose of the age friendly committee shall be:

- a) To facilitate communication between leaders, consumers and providers that identify key issues for healthy aging communities;
- b) To conduct impact evaluations and analyze the effectiveness of age-friendly programs; and
- c) To make policy recommendations to the city council and advance initiatives that promote the health and social well-being of older adults



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019

Author: Tony Beaulieu, City Engineer

Subject: Mill/Main Street Intersection Design

Information: Staff and the City's Consultant has proposed two design options of the Mill and Main Street intersection which includes a driveway access of Rolly's Diner. The first option, preferred by Staff, Consultant, MDOT and Complete Streets Committee, eliminates the existing driveway access from Rolly's diner onto Mill Street and allows for two driveway entrances on Second Street. The second option signalizes the existing exit onto Mill Street from Rolly's Diner and allows for two driveway entrances on Second Street. Signalizing the exit has an associated expense. This option has support from staff and MDOT but is not endorsed by the Complete Streets Committee. See attached memo to the City Manager.

City Budgetary Impacts: Driveway entrances on Second Street and eliminating exit on Mill Street- none. Signalizing exit on Mill Street- \$40,000, City share \$4,000 (10%).

Staff Recommended Action: Direction from City Council on how to proceed with intersection design with regards to Rolly's Diner driveway access.

Previous Meetings and History: Public Meeting- October 23, 2018. Complete Streets Committee presentation- January 23, 2019.

City Manager Comments:

I concur with the recommendation. Signature:

A handwritten signature in blue ink that reads "Peter J. Coakley".

Attachments:

Memo to City Manager

Rolly's Diner Proposed Parking Layout- December 14, 2018

Rolly's Diner Proposed Parking Layout with Signalized Exit into Mill/Main Intersection- January 15, 2019



City of Auburn, Maine

Engineering Department

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

February 19, 2019

Peter Crichton
City Manager
City of Auburn
Auburn, Maine 04210

RE: Rolly's Diner parking lot access

Peter,

The City of Auburn Engineering Department along with its design consultant, Gorrill Palmer, has been working on the Broad/Mill/Main Street Intersection Project. This is a Locally Administered Project in cooperation with ATRC and Maine DOT. The project includes intersection upgrades, with new pavement, lighting and landscaping.

Part of the design process includes access management. The initial concept design eliminated the curb cut onto Mill Street from Rolly's Diner. In addition the design decreased the number of curb cuts from the parking lot on Second Street from two to one. This layout was presented at the first public meeting on October 23, 2018. Ken Blais, owner of Rolly's Diner was in attendance and was very upset with the proposed design.

After the meeting, a second design for the Rolly's Diner parking lot was developed. It was presented in December, 2018 with a redesigned parking layout, two curb cuts onto Second Street and no curb cut onto Mill Street. Again, Mr. Blais did not find this option acceptable. Mr. Blais felt that a signalized intersection of Second and Mill Streets or a signalized exit onto Mill Street was necessary to meet his needs. Gorrill Palmer took this information and investigated the option of signalizing the intersection of Second and Mill Streets. This option was not viable as it makes the intersection fail from a Level of Service (LOS) perspective. A final design of the intersection was then developed. This final design maintains two curb cuts onto Second Street, a modified parking layout and a signalized exit only onto Mill Street. This design will reduce the peak hour overall intersection condition from a LOS C with a 27 second delay to a LOS D with a 36 second delay.

Gorrill Palmer conducted a traffic count for the existing driveway to help determine how it would function as a one way exit for the design. The driveway saw 13 cars in a 2.5 hour period, from 6:30am to 9am, using the driveway exit. This averages to 5 cars in the AM peak hour. For the future condition, the intersection was modeled assuming 18 cars exiting this driveway in the AM peak hour. It is anticipated that the signal will pull additional cars to use this exit instead of exiting onto Second St.

This final design has been submitted to MDOT for approval and has been accepted if the City is willing to accept the LOS change. Since the intersection including the signalized exit still functions with an acceptable LOS, City Staff, Consultant and MDOT supports this design. The increase in cost by signalizing the parking lot exit is estimated to be \$40,000 with a City share of \$4,000 (10%). This would cover the cost of the additional signal and the crosswalk signals that would be needed at the driveway. This design was proposed to the Complete Streets Committee (CSC) on January 23, 2019. The committee did not endorse this design due to the fact that it does not follow access management best practices.

In summary, City Staff and the City's Consultant has proposed two design options of the Mill and Main Street intersection which includes a driveway access of Rolly's Diner. The first option, preferred by Staff, Consultant, MDOT and Complete Streets Committee, eliminates the existing driveway access from Rolly's diner onto Mill Street and allows for two driveway entrances on Second Street. The second option signalizes the existing exit onto Mill Street from Rolly's Diner and allows for two driveway entrances on Second Street. Signalizing the exit has an associated expense. The second option has support from staff and MDOT but is not endorsed by the Complete Streets Committee. Direction is needed by City Council for a design to move forward.

01/28/2019

Complete Streets Recommendation
Re: Rolly's Parking Lot Exit to Main/Mill Intersection

Dear Auburn City Manager, Council, and Mayor,

At a meeting of the Complete Streets Committee held on January 23rd, 2019, we were presented with a concept for vehicle access to the parking lot at Rolly's Diner in Auburn. This concept includes converting a curb cut to an official signalized exit at the intersection of Main and Mill Street. The Complete Streets Committee passed a unanimous motion against this component of the concept. Our concerns regarding this item can be explained as follows:

- 1) Addition of the exit driveway as a fifth leg will require a separate, exclusive traffic phase, shutting down the overall intersection and exacerbating congestion where it is already challenged;
- 2) A new traffic signal for the exit will also require a new pedestrian signal and crosswalk, as pedestrians will need to be informed that they do not have the right-of-way when exiting vehicles have the green signal;
- 3) Provision of this leg almost certainly forces the stop bar for Mill Street westbound traffic farther to the east, resulting in more stacking concerns along Mill;
- 4) The exit only drive, coming up once per traffic signal operational cycle, will likely have the majority of users exiting into the street without waiting for a green light, continuing the dangerous practice that exists there now.

It is the charge of our committee to prioritize public safety for all users in advising the design of our streets. We also take into consideration the importance of improving traffic flow, and promoting community and economic development. It appears that the driveway in question serves no purpose other than to reduce exit delays by seconds for patrons who have already been to the restaurant. Given the problems described above affecting the public right-of-way, and the limited function of the private driveway, we cannot endorse the concept as proposed.

The changes to 2nd Street as part of the overall improvements to New Auburn include two curb cuts to Rolly's parking lot, providing plenty of access for restaurant patrons. Furthermore, the removal of the exit drive would add two more on-site parking spaces, which would help with peak patronage at the restaurant.

It is the understanding of our committee that Public Works staff have been in extensive communication with the owner of Rolly's Diner, who has expressed a strong desire for this signalized exit. While the staff of Public Works and members of the Complete Streets Committee are in agreement that the proposed concept is not consistent with best street design

practices, we would like to bring this item to the attention of the Auburn Council. If any member of Auburn Council feels there are justifications for the signalized exit that sufficiently outweigh the concerns we have raised, we recommend that Council call for the item to be reviewed in a Council workshop. If no council member requests this item to be brought before the council, then we will advise staff to proceed with planning and design for a concept that restores the curb and sidewalk on Main Street next to Rolly's, and provides two curb cuts on 2nd Street to access the diner's parking lot.

Staff can provide any further information or history regarding other concepts that were explored prior to this proposal.

We welcome any questions or comments.

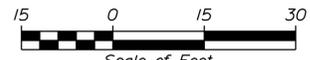
Sincerely,

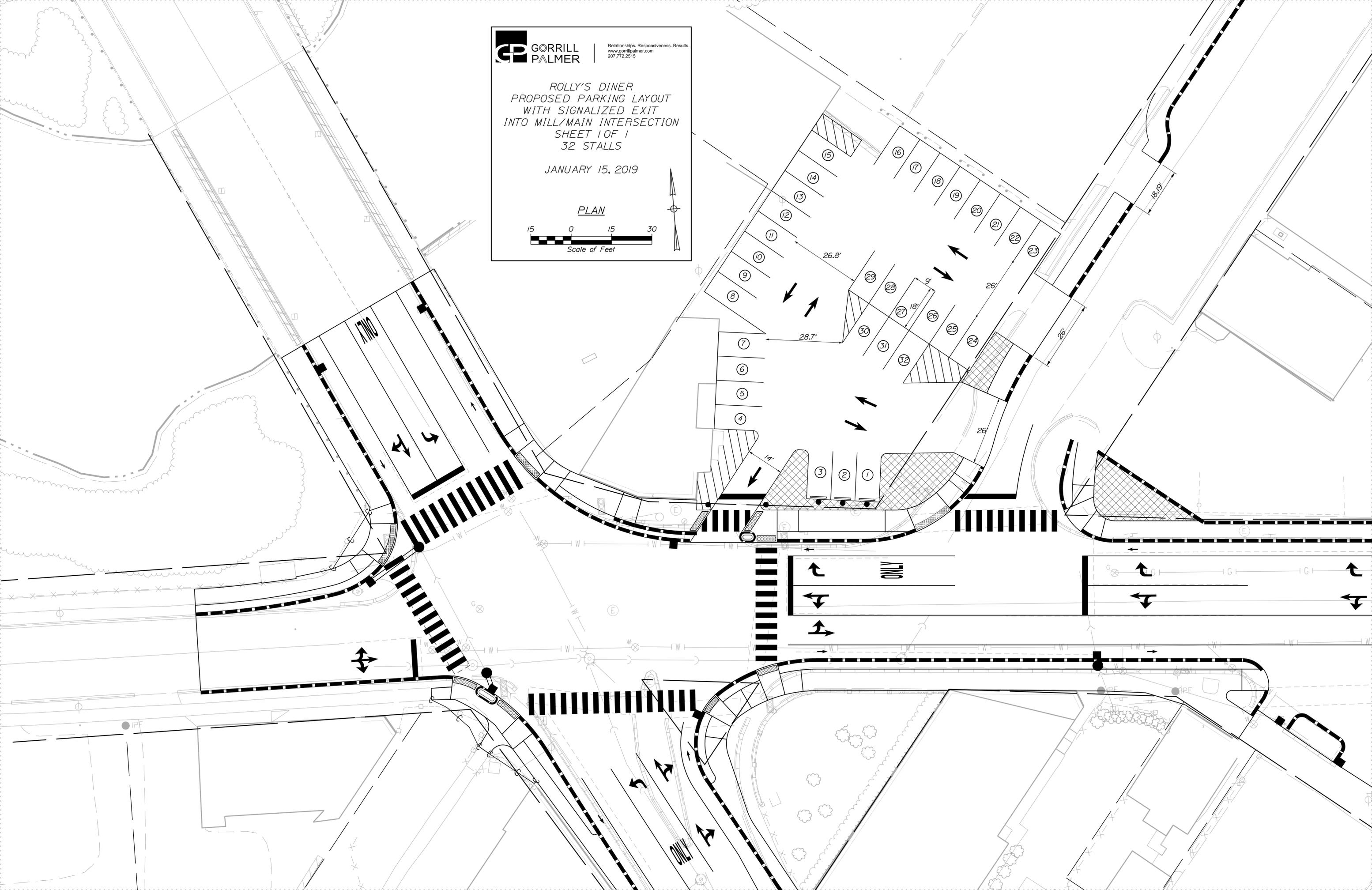
Craig Saddlemire, Chair
Complete Streets Committee
csaddlemire@lewistonmaine.gov
(207) 558-2143

Jeremiah Bartlett, Vice Chair
Complete Streets Committee
jeremiahbartlett@gmail.com
(207) 632-1065


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ROLLY'S DINER
 PROPOSED PARKING LAYOUT
 WITH SIGNALIZED EXIT
 INTO MILL/MAIN INTERSECTION
 SHEET 1 OF 1
 32 STALLS
 JANUARY 15, 2019

PLAN

 Scale of Feet

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ROLLY'S DINER
 PROPOSED PARKING LAYOUT
 SHEET 3 OF 3
 34 STALLS

DECEMBER 14, 2018

PLAN

Scale of Feet





**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019

Author: Eric Cousens, Deputy Director of Economic & Community Development &
Jody Durisko, Executive Assistant to the City Manager

Subject: Disposition of Tax Acquired Property

Information: The Tax Acquired Committee is recommending two (2) properties for disposition with a combined total \$10,349.92 in property taxes owed to the City.

City Budgetary Impacts: There is not a negative impact to the city budget for the potential sale of tax acquired properties. The known positive impacts of selling tax acquired properties are recouping taxes owed, associated fees, and getting the property back on the tax role.

Staff Recommended Action: Staff recommends working with the abutter to cover the cost of survey and deed preparation to correct existing lot access and frontage issue. The parcel at 9 Kimball is legally existing but relies on part of the tax acquired property to access Court Street. To correct this the City could allow for the transfer of a strip of land that contains the private drive known as Kimball Street to be combined with the residential property at 9 Kimball Street. The abutter should pay for deed preparation, so it doesn't cost the City. This will make the 9 Kimball Street lot more conforming and should not have a noticeable effect on the value of the City owned parcel. Dispose of the remaining land at PID#218-017 and 31 Beck by sealed bid.

Previous Meetings and History: Council Workshop February 4, 2019.

City Manager Comments:

A handwritten signature in blue ink that reads "Peter J. Coughlin".

I concur with the recommendation. Signature:

Attachments:

Memorandum Dated February 4, 2019 – Disposition of Tax Acquired Property
Tax Acquired Committee Recommendation
Tax Statement
Property Review Form



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

207.333.6601 | www.auburnmaine.gov

MEMORANDUM

TO: Mayor Levesque and Honorable Members of the Auburn City Council

CC: Peter Crichton, City Manager and Jill Eastman, Finance Director

FROM: Jody Durisko, Executive Assistant to the City Manager

RE: Disposition of Tax Acquired Property

DATE: February 4, 2019

Enclosed you will find the supporting documentation on six (6) tax acquired properties that the Tax Acquired Property Committee has recommended for disposition. The six (6) properties combined total \$37,901.05 in property taxes and CDBG balances owed to the City. Following below are brief summaries of each property being presented to Council for disposition:

31 Beck Avenue & 0 Court Street (PID #'s 208-045 & 218-017) - The combined total balance due is \$10,349.92. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment for both was on January 4, 2016. The Tax Acquired Property Committee has reviewed the parcels and recommends the following:

1. Work with the abutter to cover the cost of survey and deed preparation to correct existing lot access and frontage issue. The parcel at 9 Kimball is legally existing but relies on part of the tax acquired property to access Court Street. To do this the City could allow for the transfer of a strip of land that contains the private drive known as Kimball Street to be combined with the residential property at 9 Kimball Street. The abutter should pay for deed preparation, so it doesn't cost the City. This will make the 9 Kimball Street lot more conforming and should not have a noticeable effect on the value of the City owned parcel.
2. Market the remaining land for sale as 2 house lots or up 10 condominium units.

The City currently has no plans for water access in this area and Taylor brook is a small impoundment. The Council could consider retaining frontage on Taylor Brook for potential future water access from Beck Street; Retaining the strip of land between Beck and Taylor

Brook may not impact the sales value significantly. A sketch showing the potential for 2 house lots and the transfer to the abutter is attached. The committee also noted that a major portion of the parcels is in the 1% floodplain which limits future development.

The committee recommends working with the abutter as noted above and marketing the remaining land by sealed bid to recoup tax dollars from sale and improve lot conformance and marketability of 9 Kimball Street. The Council should also decide if the City should retain waterfront access to Taylor Brook.

Garfield Road (PID # 245-011-001) - The total due is \$632.64. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on August 8, 2016. This property is land only. It had a DHHS LIEN, which has been released. The property doesn't appear to have road access. The small piece of land would only have value to one abutter therefore the committee recommends selling it to the abutter.

Hackett Road (PID # 135-010) - The total due is \$661.57. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on November 4, 2014. This is a 5.31 house lot that abuts 428 Hackett Rd. The committee recommends selling by sealed bid.

120 Cook Street (PID # 211-059) - The total due is \$15,073.15. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on April 8, 2013. The committee recommends selling by sealed bid.

77 Gill Street (PID # 211-103) - The total due including CDBG balance due is \$11,183.77. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on January 14, 2016. The committee recommends selling by sealed bid.



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

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Section 3.5 Committee Action/Recommendations. The committee will meet to review the comments received from each department. The Committee will then forward a recommendation to the City Manager for appropriate action. The Committee will meet in sufficient time before the foreclosure deadline in order for the City Manager and City Council to have sufficient time to take any action that may be necessary, including waiver of foreclosure.

PARCEL ID:	208-045 & 218-017	Location:	31 Beck Avenue & 0 Court Street	
Acreage	0.87	Zone:	Urban HSLT	
Current Assessed Land Value:	\$55,000	Current Assessed Building Value:	\$0	
Total Land & Bldg. Value:	\$55,000	Minimum Bid:	\$10,349.92	

Retain for public use		Sell the property	x	Waive foreclosure	
-----------------------	--	-------------------	---	-------------------	--

Sell to prior owner		Sale to immediate heirs	
Sale by Sealed Bid	x	Request for proposals	
Real Estate Broker Contract			

The bid price for either process shall be determined by the Finance Director or his/her designee in no event being less than all outstanding property taxes, including the total amount of all delinquent taxes plus the total taxes for the current year (and the estimated taxes for the next year after commitment) plus accrued interest, lien costs and any other costs relating to the property and this process (including, but not limited to, insurance, attorney's fees, auction/bid or notice costs).

Notes: Work with the abutter to cover cost of survey and deed work to correct existing lot access and frontage issue for 9 Kimball which currently relies on tax acquired property for access to Court Street. The committee then recommends either marketing the remaining land as 2 house lots or up to 10 condominiums units. Council should also consider if they want to retain footage on Taylor Brook for potential water access.

01/29/2019 14:36
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 1
txtaxstm

PARCEL: 208-045-000-000

LOCATION: 31 BECK AVE

OWNER:
AUBURN CITY OF
CROSSLEY E NEIL, PARTY IN POSS
PO BOX 757
WINDHAM ME 04062

STATUS:
SQUARE FEET: 0
LAND VALUATION: 26,800
BUILDING VALUATION: 0
EXEMPTIONS: 0
TAXABLE VALUATION: 26,800
INTEREST PER DIEM .51

LEGAL DESCRIPTION:

DEED DATE: 07/19/1996 BOOK/PAGE: 3681-21

INTEREST DATE: 01/29/2019

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
2018	RE-R	2984				
1	2018 REAL		317.31	317.31	8.15	325.46
2	2018 REAL		317.31	317.31	.00	317.31
			634.62	634.62	8.15	642.77
2017	LIEN	106				
1	RETAX TL		616.13	616.13	24.58	640.71
	DMD TL		3.00	3.00	.00	3.00
	CERTMA		6.67	6.67	.00	6.67
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		23.57	23.57	.00	23.57
			700.37	700.37	24.58	724.95
			700.37	700.37	24.58	724.95
2016	LIEN	127				
1	RETAX TL		598.98	598.98	65.71	664.69
	CERTMA		6.56	6.56	.00	6.56
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		23.84	23.84	.00	23.84
			683.38	683.38	65.71	749.09
			683.38	683.38	65.71	749.09
2015	LIEN	99				
1	RETAX TL		569.50	569.50	104.74	674.24
	CERTMA		6.47	6.47	.00	6.47
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		19.98	19.98	.00	19.98

01/29/2019 14:36
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 2
txtaxstm

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
INST	CHARGE					
			649.95	649.95	104.74	754.69
			649.95	649.95	104.74	754.69
2014	LIEN	108				
1	RETAX TL		561.46	561.46	142.56	704.02
	CERTMA		6.48	6.48	.00	6.48
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		19.70	19.70	.00	19.70
			641.64	641.64	142.56	784.20
			641.64	641.64	142.56	784.20
GRAND TOTALS			3,309.96	3,309.96	345.74	3,655.70

last paid 01/04/2016

31 Beck \$3,655.70
0 Court \$4,394.22
Legal \$ 300.00

10,349.92

01/29/2019 14:35
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 1
txtaxstm

PARCEL: 218-017-000-000

LOCATION: COURT ST

OWNER:
AUBURN CITY OF
CROSSLEY E NEIL, PARTY IN POSS
PO BOX 757
WINDHAM ME 04062

STATUS:
TOTAL ACRES: 4.950
DEFERRED ACRES: .000
LAND VALUATION: 48,300
BUILDING VALUATION: 0
EXEMPTIONS: 0
TAXABLE VALUATION: 48,300
INTEREST PER DIEM .92

LEGAL DESCRIPTION:

DEED DATE: 07/19/1996 BOOK/PAGE: 3681-21 INTEREST DATE: 01/29/2019

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
2018	RE-R	3946				
1	2018 REAL		571.87	571.87	14.70	586.57
2	2018 REAL		571.87	571.87	.00	571.87
			1,143.74	1,143.74	14.70	1,158.44
2017	LIEN	105				
1	RETAX TL		1,110.42	1,110.42	44.29	1,154.71
	DMD TL		3.00	3.00	.00	3.00
	CERTMA		6.67	6.67	.00	6.67
	LNCHG TL		51.00	51.00	.00	51.00
	INTTTL		42.48	42.48	.00	42.48
			1,213.57	1,213.57	44.29	1,257.86
			1,213.57	1,213.57	44.29	1,257.86
2016	LIEN	164				
1	RETAX TL		1,079.51	1,079.51	118.42	1,197.93
	CERTMA		6.56	6.56	.00	6.56
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTTL		42.96	42.96	.00	42.96
			1,183.03	1,183.03	118.42	1,301.45
			1,183.03	1,183.03	118.42	1,301.45
2015	LIEN	140				
1	RETAX TL		1,026.38	1,026.38	188.77	1,215.15
	CERTMA		6.47	6.47	.00	6.47
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTTL		36.02	36.02	.00	36.02

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4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 2
txtaxstm

YEAR TYPE INST CHARGE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
		1,122.87	1,122.87	188.77	1,311.64
		1,122.87	1,122.87	188.77	1,311.64
2014 LIEN 1 RETAX TL CERTMA DMD TL LNCHG TL INTTL	145	1,011.89 6.48 3.00 51.00 35.52	1,011.89 6.48 3.00 51.00 35.52	256.94 .00 .00 .00 .00	1,268.83 6.48 3.00 51.00 35.52
		1,107.89	1,107.89	256.94	1,364.83
		1,107.89	1,107.89	256.94	1,364.83
GRAND TOTALS		5,771.10	5,771.10	623.12	6,394.22

Last paid 01/04/2019



City of Auburn, Maine

Office of the City Manager

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Tax Acquired Property Review Form

ADDRESS: 31 Beck Ave & Court Street

PID#: 218-017 & 208-045

DESCRIPTION: This parcel contains 4.950 AC of land mainly classified as URBAN HSLT with a Building, having primarily Exterior.

BALANCE DUE: \$10,349.92

1. Is the property either unfit or unnecessary for City use?

Yes.

2. Does the City wish to retain ownership for municipal purposes?

No.

3. Is the property adjacent to publicly owned land?

No.

4. Are there buildings on the property that should be demolished?

No.

5. Are there environmental liabilities or hazards present on the site?

No.



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

6. Does the property have investment or marketable value?

Yes. This lot is located in a Suburban Residential District and contains close to 5 acres of land. This land could be divided into several lots and sold as "buildable water front" property.

7. Are there are uses that the property is suited for which meet the requirements of the City's zoning and land use ordinance?

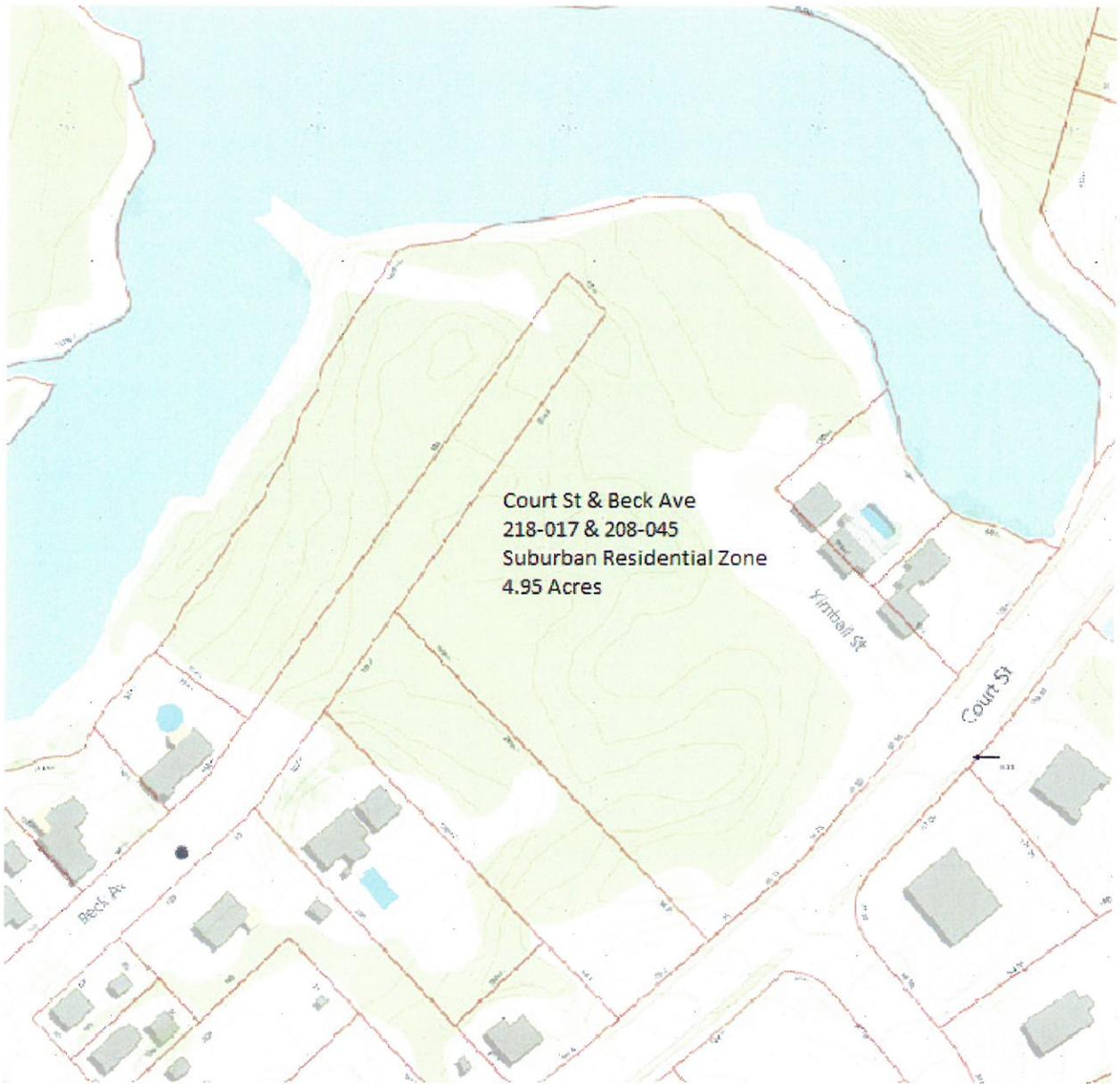
Yes. This lot is located in a Suburban Residential District and contains close to 5 acres of land. This land could be divided into several lots and sold as "buildable water front" property.

8. Does the property only have value to an abutter (provides additional set back, off street parking, etc.)?

No, although one abutter would benefit by a small piece of it in order to legalize the location of their driveway.

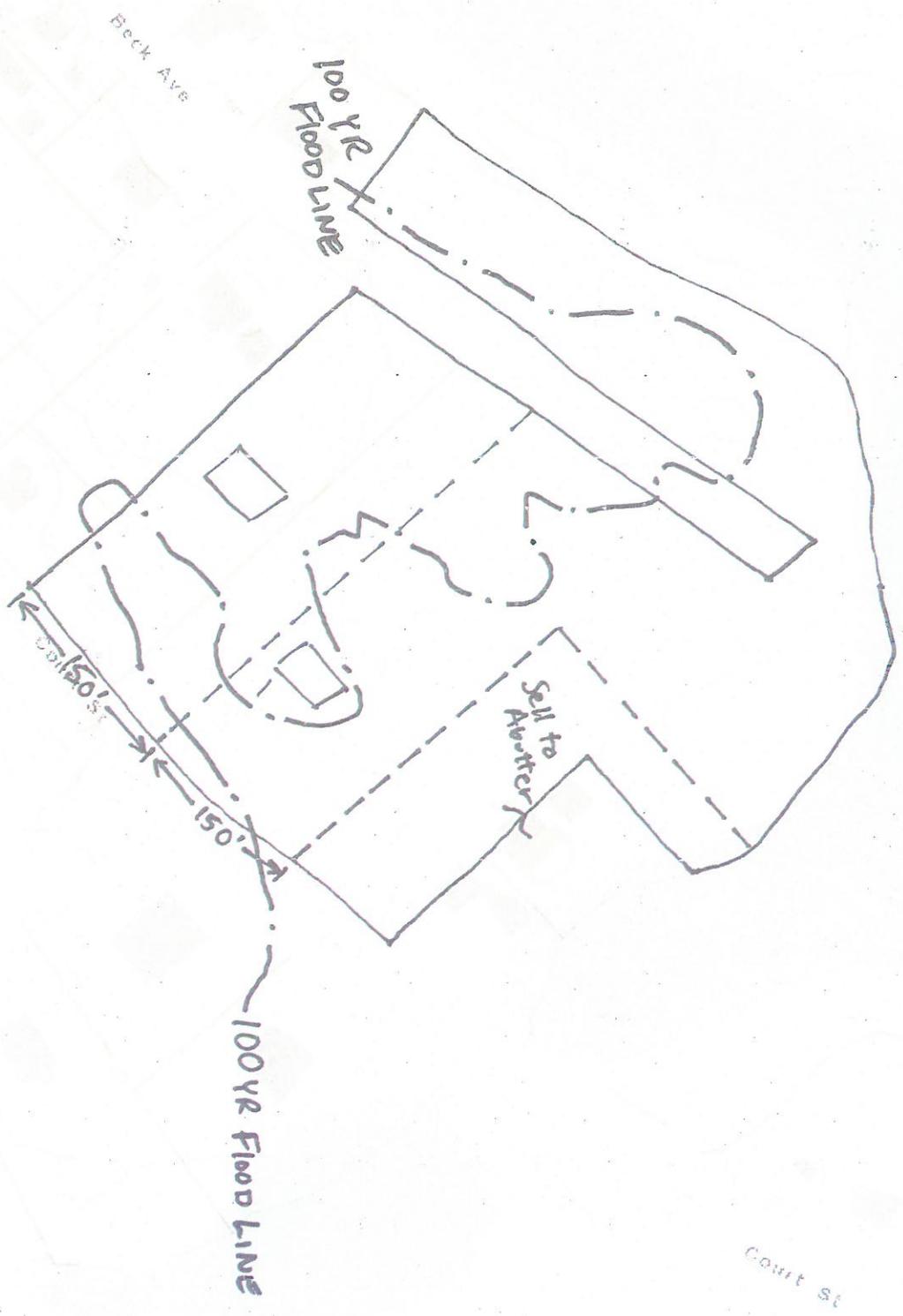
Other concerns:



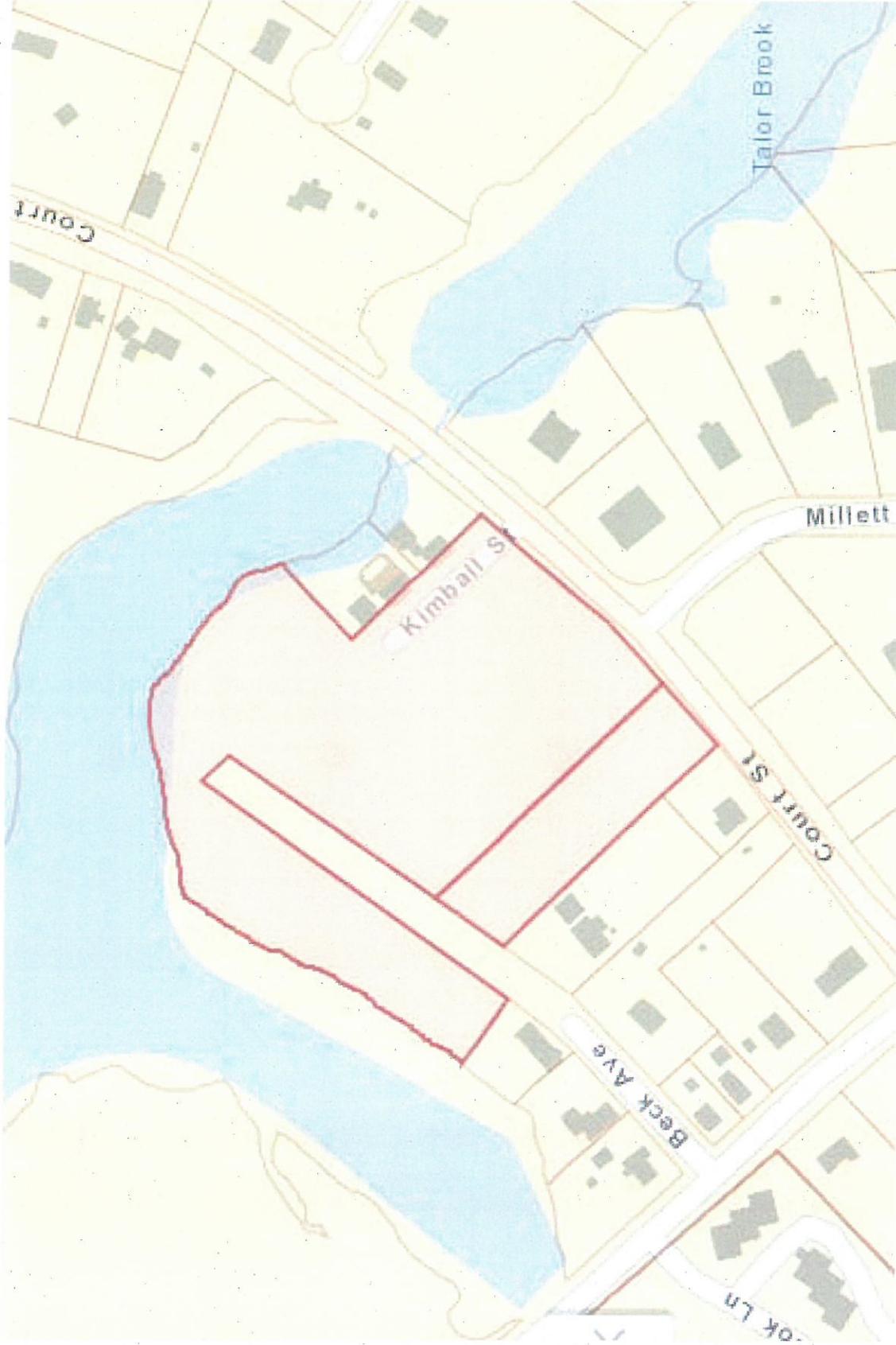


— Existing Property Line
 - - - Proposed Property Line

Q: Keep waterfront access?
 A: 10 condo units possible. Desired?



31 Beck and Court Street – Tax acquired parcel map



IN COUNCIL REGULAR MEETING FEBRUARY 4, 2019 VOL. 35 PAGE 10

Mayor Levesque called the meeting to order at 7:00 P.M. in the Council Chambers of Auburn Hall and led the assembly in the salute to the flag. All Councilors were present.

I. **Consent Items - None**

II. **Minutes:** January 28, 2019 Regular Council Meeting Minutes

Motion was made by Councilor Fournier and seconded by Councilor Walker to approve the minutes of the January 28, 2019 Regular Council Meeting. Passage 7-0.

III. **Communications, Presentations and Recognitions**

- **Communication** – Community Little Theatre update - John Blanchette and Jennifer Groover presented.
- **Communication** - Recreation & Sport Facilities Departments Update - Marc Gosselin and Rory Mushlin presented.

IV. **Open Session**

Barbara Keene, North River Road commented on the possible formation of an Agricultural Advisory Committee.

Joe Gray, Sopers Mill Road also commented on the possible formation of an Agricultural Advisory Committee.

Mamie Anthoine Ney, Auburn Public Library Director invited the Council and public to attend the Library's annual indoor Farmers Market between 4:30 – 6:30 PM on February 22, 2019 adding that the Library is also one of the 150th birthday cake sites on that same date.

V. **Unfinished Business - None**

VI. **New Business**

An Executive Session to discuss a poverty abatement for case # 2019-001 pursuant to (36 M.R.S.A § 841) was held during the workshop, with possible action to follow under new business.

Motion was made by Councilor Fournier and seconded by Councilor Gerry for Order 17-02042019 stating "Ordered, that the City Council hereby grants an abatement for 2016 in the amount of \$3,631.64 for case number 2019-001, in accordance to Title 36 M.R.S.A. §841 (2).

Public comment – no one from the public spoke.

Failed 3-4 (Councilors Lasagna, Hayes, Fournier, and Young opposed).

Motion was made by Councilor Gerry and seconded by Councilor Fournier for Order 18-02042019 stating "Ordered, that the City Council hereby grants an abatement for 2017 in the amount of \$3,507.21 for case number 2019-001, in accordance to Title 36 M.R.S.A. §841 (2).

Public comment – no one from the public spoke.

Failed 3-4 (Councilors Lasagna, Hayes, Fournier, and Young opposed).

Public Comment

Public comments will be heard on the proposed amendment of the Consolidated and Annual Action Plan (STAR/Senior Center).

Joe Gray, Sopers Mill Road commented on the STAR program.

VII. Reports

Mayor Levesque – reported that there is no meeting on February 18th due to the holiday. The next meeting will be held on February 25, 2019. On Monday, February 11th there will be a meeting of the Mayor's Action Group on Agriculture and Resource Protection (MAG-ARP). He invited the public to attend a birthday celebration here at Auburn Hall on Friday, February 22nd at 10:00 AM. Last he announced that there would be a Joint Workshop with the School Committee on Wednesday, February 6th at 6:00 PM.

Councilor Gerry – no report.

Councilor Lasagna – reported that the Strategic Planning Committee's Steering Committee will be meeting on February 12, 2019 at 8:00 AM and tomorrow at 5:30 PM the School Building Committee will be meeting.

Councilor Hayes – no report.

Councilor Titus – reported that tomorrow at 3:30 PM the Marijuana Work Group will be meeting in the Community Room, also tomorrow at 6:00 PM Sunderland Drive Neighborhood Watch Group will be meeting at Sam's on Court Street. The Sewer District Board of Trustees will be meeting on 2/19/19 and the Water District Board of Trustees will meet on 2/20/19, both at 4:00 PM at the District Office. He also stated that he would like the Council to have a workshop sooner rather than later to discuss concerns about the budget.

Councilor Fournier – reported on the last United New Auburn Association's meeting that was held at Rolly's. She noted that Senator Ned Claxton presented Rolly's owner, Ken Blais with a State of Maine Award for his continued service as a responsible citizen and for all the work he does for the community. She thanked Liz Allen for the job she is doing in regards to Public Relations. She also thanked the owners of Lost Valley for all they do for the community. Last, she thanked the Mayor for his aggressive work fund raising for various events of the City.

Councilor Walker – reported that tomorrow night at 5:30 PM at the Senior Center at Pettengill Park where they are hoping to finalize the bylaws of the group. He also talked about the United New Auburn Association’s last meeting that was held at Rolly’s Diner and he shared some concerns residents have regarding the budget, and the Agricultural zone.

Councilor Young – stated that he is looking forward to watching ELHS at the KVAC track meet coming up this weekend.

Councilor Hayes commented on big ticket items that we are looking at and asked where is the money coming from? He mentioned the Water Treatment Facility and asked who bonds for that? Where are we going with Sports Tourism?

The Mayor stated that he respects the comments and feels the conversation should be continued in a workshop after the meeting adjourns.

Maine Biz Magazine just released their 2018 list of Hottest Real Estate Markets in the State of Maine and of the top ten, Auburn was #2 overall.

City Manager – reported on the upcoming 150th Birthday Celebration scheduled for February 22nd adding that anyone looking for more information can go to www.auburn150.com. He reported that it is time for Spirit of America nominations once again, more information can be found on www.auburnmaine.gov. He announced that a Joint Workshop between the City Council and School Committee will be held on Wednesday at 6:00 PM in Council Chambers, and the School Building Committee will meet tomorrow at 5:30 PM. He reported that the FY20 budget process is underway and he will be meeting with department heads this month to go over departmental budgets.

Assistant City Manager – provided an update on Strategic Plan process.

VIII. Open Session – Barbara Keene, North River Road commented on the Mayor’s State of the City Address and commented on the Main Street Maine program which she thought would be perfect fit for Auburn.

IX. Executive Session - None

X. Adjournment - Motion was made by Councilor Fournier and seconded by Councilor Walker to adjourn. All were in favor and the meeting adjourned at 8:45 PM.

A TRUE COPY

ATTEST



Susan Clements-Dallaire, City Clerk

OFFICE OF THE MAYOR
CITY OF AUBURN



PROCLAMATION

Whereas, on March 9, 2019, the 16th Annual Mary's Firemen for a Cure Race will be held at Lost Valley Ski Area.

Whereas, in 2004, Mary and Wayne Allen started "Firemen for a Cure" to give firefighters the opportunity to raise money and awareness for breast cancer. Mary was a long-time employee at Shawnee Peak in Bridgton and had been fighting breast cancer for nearly 10 years. Wayne was a volunteer firefighter in North Bridgton. Unfortunately, Mary lost her courageous battle in 2005, but Wayne and her three adult-children, continued the race, renaming it, "Mary's Firemen for a Cure" in 2006.

Whereas, over the last 15 years, hundreds of firefighters from Maine, New Hampshire and Massachusetts have raced in Mary's Firemen and helped to raise over \$200,000 for breast cancer patients in Maine through donations to Susan G. Komen New England. Mary's Firemen is Susan G. Komen New England's largest third-party fundraiser in Maine, and women across the state and beyond have benefited because of this event.

NOW THEREFORE I, Jason Levesque, Mayor of the City of Auburn, do hereby proclaim **March 9, 2019**, as Mary's Fireman for a Cure Race Day in Auburn, Maine, and do commend this observance to all of our citizens.



IN WITNESS WHEREOF, I have
hereunto set my hand and caused
the Seal of the City of Auburn, Maine
to be fixed this 25th day of February, 2019

Mayor Jason Levesque

OFFICE OF THE MAYOR
CITY OF AUBURN



PROCLAMATION

DeMolay Month

WHEREAS, DeMolay is a character-building organization of young leaders from 12 to 21; and,

WHEREAS, these young leaders are seeking to prepare themselves to become better citizens and leaders for tomorrow; and,

WHEREAS, DeMolay helps develop traits of character which have strengthened members of all ages; and,

WHEREAS, the organization has carried out their mission for 100 years through programs and charitable projects; and,

WHEREAS, the members of the Knights of the Sun Chapter, Auburn Maine will observe 2019 as DeMolay Internationals Centennial year to exemplify to all citizens here and everywhere their many activities, and to tender recognition to the millions of Senior DeMolays;

NOW THEREFORE, I Jason Levesque, Mayor of the City of Auburn, do hereby proclaim the month of March 2019 as DeMolay Month. I call upon our citizens to join in saluting the members of DeMolay, and in expressing our grateful appreciation for the fine example set by them in contributing to the welfare of the community.

IN WITNESS WHEREOF, I have
hereunto set my hand and caused the
Seal of the City of Auburn, Maine
to be fixed this 25th day of February, 2019

Mayor Jason Levesque

OFFICE OF THE MAYOR
CITY OF AUBURN



PROCLAMATION

Dental Health Month Proclamation

WHEREAS, the month of February is National Children's Dental Health Month. In honor of this, Maple Way Dental Care is visiting schools in Auburn to educate students about the importance of good oral hygiene; and,

WHEREAS, this month-long national health observance brings together healthcare providers and educators to promote the benefits of good oral health to children, their parents, and teachers; and,

WHEREAS, developing good hygiene habits at an early age and scheduling regular dental visits helps children to get a good start on a lifetime of healthy teeth and gums; and,

WHEREAS, teeth are meant to last a lifetime, and a healthy smile is important to a child's self-esteem. With proper care, a balanced diet and regular dental visits, their teeth can remain healthy and strong; and,

WHEREAS, oral health has a direct connection with overall wellness; a healthy mouth supports a healthy body.

NOW THEREFORE, I Jason Levesque, Mayor of the City of Auburn, do hereby proclaim the month of February as National Children's Dental Health Month, and urge our citizens, to participate wholeheartedly in its observance.

IN WITNESS WHEREOF, I have
hereunto Set my hand and caused
the Seal of the City of Auburn, Maine
to be fixed this 12th day of February
2019.

Mayor Jason Levesque



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019

Author: Phil Crowell, Assistant City Manager

Subject: 2020 U.S. Census

Information: Elizabeth (Betsy) Enright is the Partnership Specialist for the New York Regional Census Center Field Division U.S. Census Bureau. She will be sharing with the council and the community about the 2020 Census.

What City Leaders Need to Know

- Why Does the Census Matter to Auburn?
- What's New for the 2020 Census?
- Where are People Counted?
- Who is Hard to Count?
- How Can People Respond?

City Budgetary Impacts: No fiscal impact.

Staff Recommended Action: Support Ms. Enright in communicating to the community the importance of participating with the U.S. Census 2020.

Previous Meetings and History: NA

City Manager Comments: I concur with the recommendation.

Signature:

A handwritten signature in blue ink that reads "Peter J. Crowell".

Attachments:

PowerPoint Presentation for Auburn

2020 Census



City of Auburn, Maine

February 25, 2019

Jeff Behler, New York Regional Director

Elizabeth Enright, Partnership Specialist

New York Regional Census Center

Mission and Purpose

Mission

To serve as the nation's leading provider of quality data about its people and economy.

Purpose

To conduct a census of population and housing and disseminate the results to the President, the States, and the American People.

Count everyone once, only once and in the right place.

U.S. Census Bureau

- Largest statistical agency in the U.S.
- Leading source of quality data about the nation's people, places and economy conducting more than 130 Census Bureau Surveys and Programs
 - Demographic Programs
 - Decennial Census
 - American Community Survey
 - Current Population Survey
 - American Housing Survey
 - Economic Programs
 - Economic Census (Years ending in 2 & 7)
 - Census of Governments (Years ending in 2 & 7)

2020 Census

- Mandated by Article 1, Section 2 of the U.S. Constitution
- Conducted every 10 years ending in zero since 1790
- Counts every resident in the United States where they live and sleep most of the time
- Increasingly diverse and growing population
 - 330 million people
 - Over 140 million housing units
- Confidential
 - Responses are protected by Federal Law
 - Responses are only used to produce statistics

US Code Title 13

- Title 13 of US Code protects the confidentiality of all respondent information
 - Private information is never published, including names, addresses (including GPS coordinates), and telephone numbers.
 - The Census Bureau collect information to produce statistics. Personal information collected by the Census Bureau cannot be used against respondents by any government agency or court.
 - Census Bureau employees are sworn to protect confidentiality for life.
 - Violating Title 13 is a serious federal crime. **Violators are subject to severe penalties, including a federal prison sentence of up to five years, a fine of up to \$250,000, or both.**

Uses of Census Information

- Determines the number of seats each state has in the U.S. House of Representatives
- Defines congressional and state legislative districts, school districts and voting precincts
- Determines how more than \$675 billion dollars in federal funding are spent on infrastructure, programs and services each year
- Informs government, business and community planning and decisions
- Provides business and nonprofit organization with critical information for planning decisions
- Provides population benchmarks for nearly every other United States survey

Design for 2020 Census

The 2020 Census: A New Design for the 21st Century

Motivate People to Respond

Conduct a nation-wide communications and partnership campaign

- Maximize outreach using traditional and new media
- Target ads to specific audiences
- Work with trusted sources to inspire participation.



TELEPHONE
AND PAPER SELF-
RESPONSE

NONRESPONSE
FOLLOWUP

INTERNET SELF-RESPONSE



Count the Population

Collect data from all households, including group and unique living arrangements

- Make it easy for people to respond anytime, anywhere
- Encourage people to use the new online response option
- Use the most cost-effective strategy to contact and count nonrespondents
- Knock on doors only when necessary
- Streamline in-field census-taking

Establish Where to Count

Identify all addresses where people could live

IN-FIELD

IN-OFFICE



- Conduct a 100% review and update of the nation's address list
- Minimize field work with in-office updating
- Use multiple data sources to identify areas with address changes
- Get local government input



**Count Everyone Once
In the Right Place**

Release Census Results

Process and Provide Census Data

- Deliver apportionment counts to the President by December 31, 2020
- Release counts for redistricting by April 1, 2021
- Make it easier for the public to get data



Responding to the 2020 Census Language Assistance

- Internet Self-Response
 - 12 Non-English Languages: Spanish, Chinese (Simplified), Vietnamese, Korean, Russian, Arabic, Tagalog, Polish, French, Haitian Creole, Portuguese, Japanese
- Census Questionnaire Assistance (telephone and other customer channels)
 - 12 Non-English Languages: Spanish, Chinese (Mandarin, Cantonese), Vietnamese, Korean, Russian, Arabic, Tagalog, Polish, French, Haitian Creole, Portuguese, Japanese (includes telecommunication device for the deaf)

Responding to the 2020 Census Language Assistance

- Enumerator Instrument, Bilingual Paper Questionnaire, Bilingual Mailing, Field Materials - Spanish
- Language Glossaries and Language Identification Cards
 - 59 Non-English Languages
- Language Guides (Video and Print)
 - 59 Non-English Languages
 - Includes American Sign Language, braille, and large print
- Hiring at the community level

Looking Ahead to Census 2020

2018

- Partnership Program - Launch of the Partnership Program
- Recruitment Begins (Fall)
- Complete Count Committees - Complete Formation of SCCC/CCCs

2019

- Open Wave 1 Field Offices (Jan – Feb)
- Open Wave 2 Field Offices (Jun – Sep)

2020

- Advertising - Begins in early 2020
- Census Day - April 1, 2020
- Nonresponse Follow-up - Begins in March and continues through July
- Apportionment Counts to the President - December 31, 2020

2021

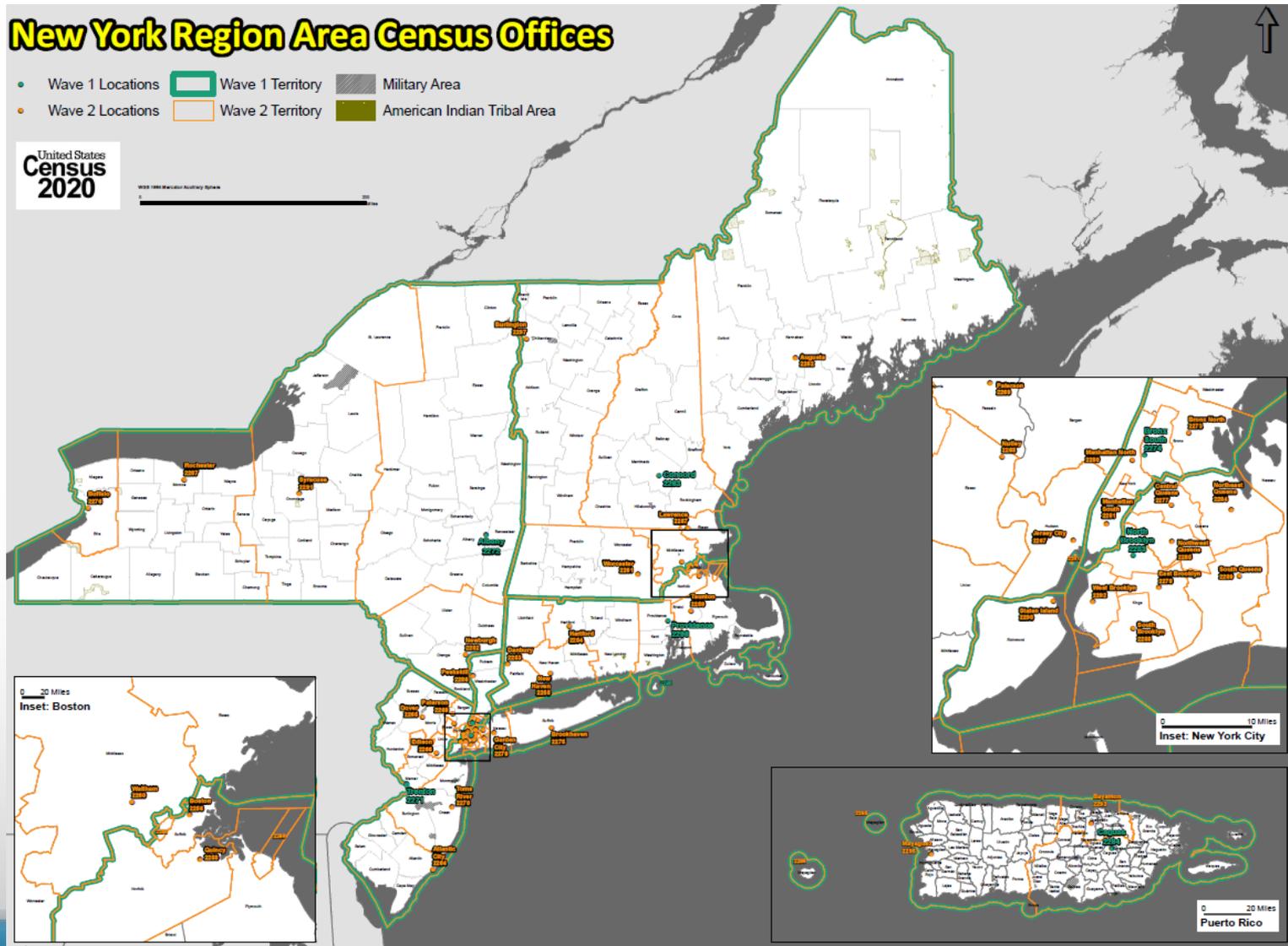
- Redistricting Counts to the States - By March 31, 2021

2020 Area Census Offices

New York Region Area Census Offices

- Wave 1 Locations  Wave 1 Territory  Military Area
- Wave 2 Locations  Wave 2 Territory  American Indian Tribal Area

United States
Census
2020



Area Census Office Staffing

Hiring Now through Spring of 2020

Office Positions

Hiring Now through Spring of 2019

- Area Census Office Manager
- Census Field Manager
- Administrative Manager
- Information Technology Manager
- Recruiting Manager
- Office Operations Supervisor*
- Clerical Support*

Field Positions

- Recruiting Assistants*
- Census Field Supervisors*
- Enumerators*

* Indicates apply now through 2020 at the below link for our Field Operations

<https://2020census.gov/jobs>

All other positions must apply on www.USAJobs.gov

2020 Census Environment



Overcoming Obstacles by Utilizing Partnerships

- Your **Trusted Voice** encourages everyone's participation
- Your knowledge and insight of the community can help to reach everyone with the Census Bureau's messaging
 - To understand the impact of a complete count for their community
 - To count every person living in the U.S.
 - To confirm the Privacy and Confidentiality of responses
 - To share employment opportunities

Partnership Initiatives

- Complete Count Committees
- American Indian and Alaska Native Program
- Community/State and Local Networks
- Faith-Based Community Outreach
- Higher Education Program
- Lesbian, Gay, Bisexual, Transgender and Questioning/Queer Outreach
- Mobile Response Program
- Foreign Born/Immigrant Program

Our Partners

- Elected Officials
- Colleges and Universities
- School Districts
- Libraries
- Government Offices
- Community Organizations and Associations
- Media Outlets
- Local Businesses

How We Support Partners

Provide informational materials

- Sample email messages
- Drop in articles
- Social Media content and links

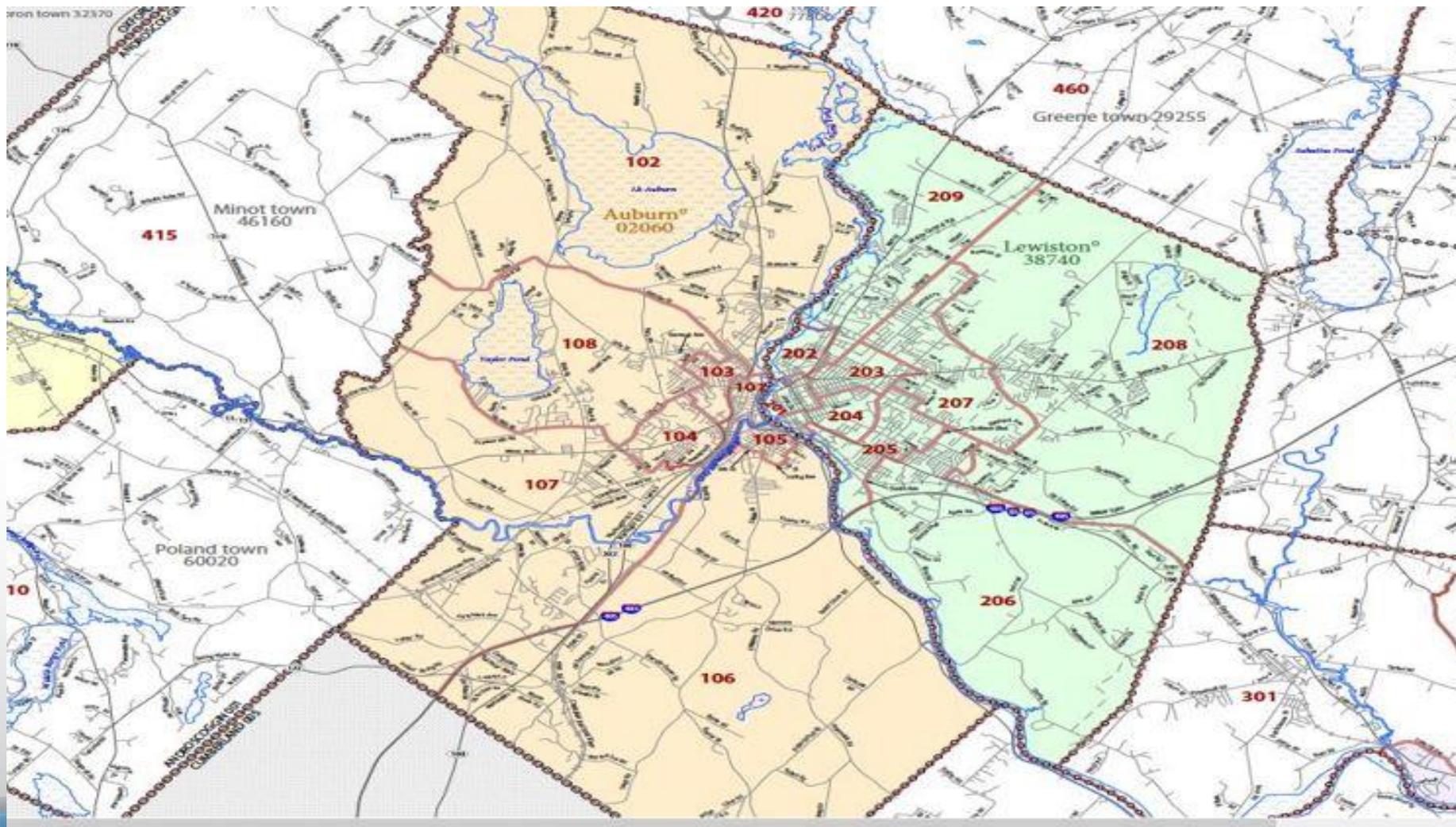
Provide links to resources

- Census update presentations
- Link to NYRCC updates
- Connect Partners with other Partners
- Data services, tools and training

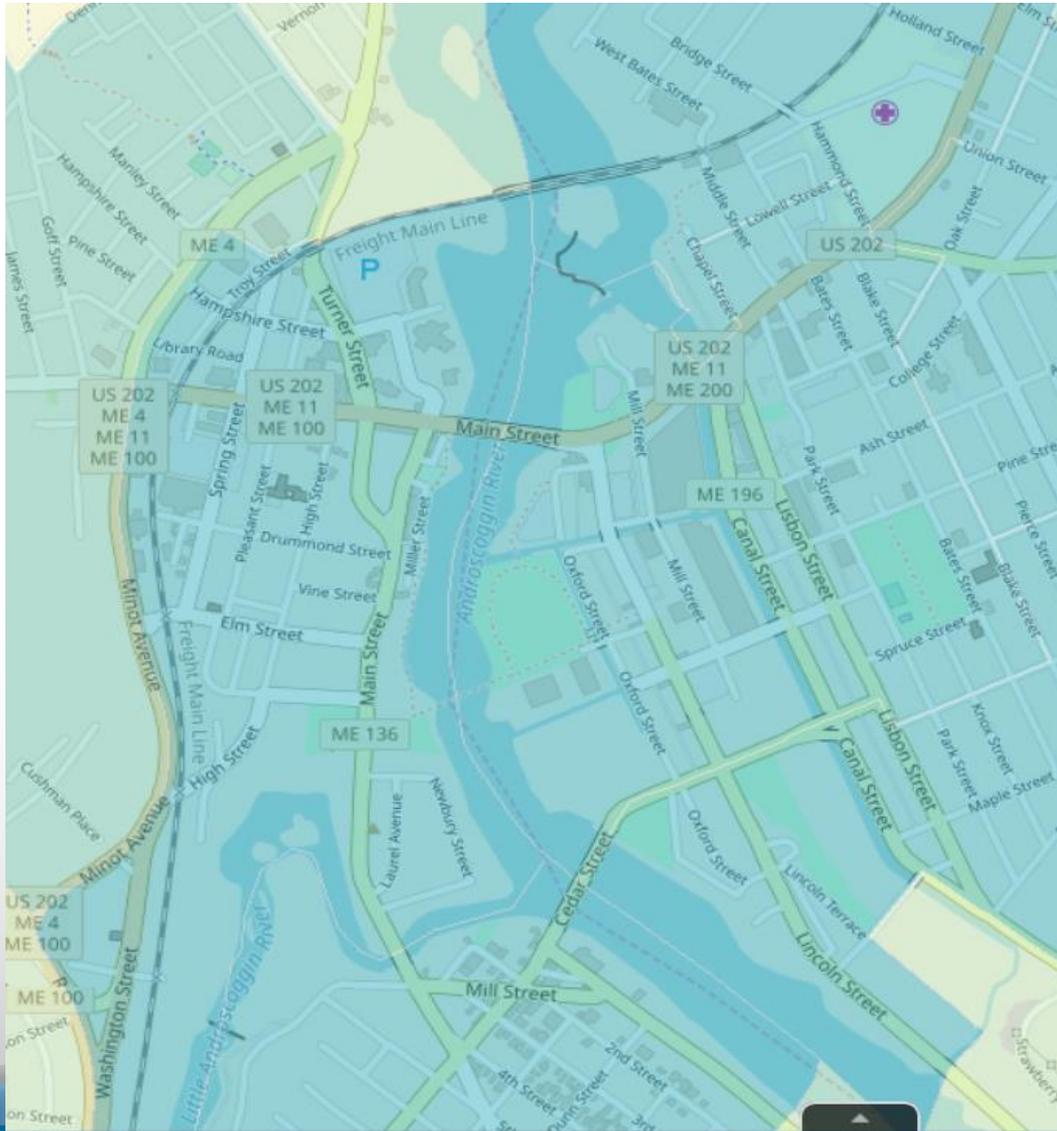
Partnership Activity Examples

- Participating in a Complete Count Committee
- Hosting events
- Allowing the Census Bureau to Participate in events
 - Speaking Opportunities
 - Presence at events
- Sharing the Census Message
 - Social Media
 - Newsletters
 - Employment
- Assisting with Census Operations
 - Recruiting
 - Response activities

Lewiston/Auburn Tracts



Auburn – Response Outreach Area Mapper (ROAM) census.gov/roam



Auburn Tract 105
Low Response Score (%): 26.1
2012-2016 ACS 5-year estimates
Total Population: 2,010
Median Household Income (\$): 31,500
Population Under 5 (%): 8.71
Population 18-24 (%): 8.41
Population 65 and Over (%): 11.34
Below Poverty Level (%): 32.02
Not High School Graduate (%): 11.35
Non-Hispanic, Black (%): 1.14
Non-Hispanic, White (%): 81.34
Hispanic (%): 4.28
American Indian or Alaska Native (%): 0.00
Asian (%): 1.44
Native Hawaiian or Other Pacific Islander (%): 0.00
Some Other Race (%): 0.00
Foreign Born (%): 1.14
No One in Household Age 14+ Speaks English "Very Well" (%): 0.93
Population 5+ Who Speak English Less Than "Very Well" and Speak Spanish (%): 0.76
Population 5+ Who Speak English Less Than "Very Well" and Speak Russian (%): 0.00
Population 5+ Who Speak English Less Than "Very Well" and Speak Chinese (%): 0.00
Population 5+ Who Speak English Less Than "Very Well" and Speak Korean (%): 0.00
Population 5+ Who Speak English Less Than "Very Well" and Speak Vietnamese (%): 0.00
Population 5+ Who Speak English Less Than "Very Well" and Speak Tagalog (%): 0.00
Population 5+ Who Speak English Less Than "Very Well" and Speak Arabic (%): 0.00
Total Housing Units: 943
Total Occupied Housing Units: 858
Renter Occupied Housing Units (%): 72.26
Family Occupied Housing Units with Related Children Under 6 (%): 25.45
Population 1+ Who Moved From Another Residence Within the Last Year (%): 26.85
Vacant Housing Units (%): 9.01
Multi-Unit (10+) Housing (%): 16.12

A Complete Count Committee

- A autonomous and bi-partisan group of community leaders that are invested in the 2020 Census who come together to identify the possible obstacles and their solutions to ensure that their community is accurately represented in the 2020 Census.
- Complete Count Committees are communication vehicles that:
 - Promote the importance of the 2020 Census
 - Promote the employment opportunities with the 2020 Census
 - Encourage and support participation in the 2020 Census

Complete Count Committees

- Allow stakeholders the ability to participate in a substantial and meaningful way in the complete count of its population
 - Coordinates and nurtures a cooperative effort between local organizations, communities, and the Census Bureau
 - Enables the local census stakeholders to develop and implement a locally-based and targeted outreach and promotion effort
- Strong Complete Count Committees are:
 - As inclusive as possible
 - Consist of a coalition of businesses, community groups, government officials, and other public serving entities

Complete Count Sub-Committees

- Subcommittees are a part of a Complete Count Committee that enable the CCC to reach all parts of a community.
 - Business
 - Community Based Organizations
 - Pre-K through 12 grade
 - Colleges & Universities
 - Ex-Offenders
 - Faith-Based
 - Government
 - Homelessness
 - Library
 - Philanthropy
 - Race & Ethnic
 - Recruiting
 - Senior Citizen
 - Veterans

Complete Count Committee/Sub-Committee

Sample Activities

- Appoint a Census Liaison
- Establish a local advertising campaign
 - Post Census related information on your website and social media
 - Print and disseminate materials
 - Run PSAs on local media outlets
- Translate Census materials
- Provide a Census Bureau Presence
 - Create 2020 Census events
 - Media Kick-Offs
 - Outreach events (Recruiting and Response)
 - Provide a space for Census Bureau staff at local events
 - Create sub-committees to develop a targeted approach for specific audiences within community

Data Dissemination Program

- Free Resource to **YOU**
- Opportunities to teach the public how to access our data
 - Data Presentations
 - Data Access Workshops and Training Sessions
 - Webinars
 - Data and Survey Inquiries
- All tools and data available at www.census.gov
 - American FactFinder
 - Census Business Builder
 - My Congressional District
 - OnTheMap

Connect with Us



facebook.com/uscensusbureau



twitter.com/uscensusbureau



youtube.com/user/uscensusbureau



instagram.com/uscensusbureau



pinterest.com/uscensusbureau

For More Information

- Information on Census, and our data products visit:
 - <http://www.census.gov>

- Information on the 2020 Census, visit:
 - <http://www.2020census.gov>

- Information on Complete Count Committees, visit:
 - https://www.census.gov/programs-surveys/decennial-census/2020-census/complete_count.html

- Information on the Respondent Outreach Area Mapper, visit:
 - <http://www.census.gov/roam>

- Census Employment
 - <https://2020census.gov/jobs>
 - <https://www.usajobs.gov>

Contact Us

Jeff T. Behler

Regional Director

(212) 882-2120

Jeff.T.Behler@census.gov

Elizabeth Enright

Partnership Specialist

347.344.8593

elizabeth.enright@2020census.gov

David Kraiker

Data Dissemination Specialist

(202) 740-2909

David.j.kraiker@census.gov



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: 1-28-2019

Order: 04-01072019

Author: Eric J. Cousens, Deputy Director of Economic and Community Development

Subject: Discontinuance of Niskayuna Street from Turner to Center Street.

Information: Evergreen Subaru is located on Center Street and has acquired properties on both sides of Niskayuna Street under the name Quiz Kids LLC. The Comprehensive plans supports the transition of this small residential area to commercial uses as properties are acquired by designating it as Business Transition District; The zoning has been changed over time in accordance with the plan. There are two remaining parcels with frontage on Niskayuna Street that are not currently owned by Evergreen or Quiz Kids LLC. One is owned by James and Suzanne Pittman and is under contract to be purchased by Quiz Kids LLC. The other is owned by Suzanne Roy and has frontage on Niskayuna, Turner and Joline, with current driveway access from Joline. The proposed petition will allow for the Roy Property to retain access potential from the portion of Niskayuna that it abuts. All three property owners have agreed that the street discontinuance will not require damages from the reduced frontage on a City street; This will not waive their legal rights to appeal but it is a good indicator that they will not disagree with a zero-dollar damages finding of the Council. The Council voted to start the process by issuing an Order of Discontinuance, held a public hearing and can now issue the final order of discontinuance.

City Budgetary Impacts: The street discontinuance will eliminate the expenses to plow maintain and repair Niskayuna Street for the future. The assessed value of the land will increase as it transitions from single-family homes to commercial use and there will be new opportunity to construct additional commercial buildings in the future.

Staff Recommended Action: Order the discontinuance of Niskayuna Street

Previous Meetings and History: December 17, 2018 Workshop and January 7, 2019 Public Meeting and a public Hearing on January 28, 2019 on the discontinuance.

City Manager Comments:

I concur with the recommendation. Signature:

A handwritten signature in blue ink that reads "Peter J. Coakley".

Attachments:

1. Public and Abutter Notices
2. Order of Discontinuance
3. Map of proposed Discontinuance



City of Auburn, Maine

Economic & Community Development

Michael Chamings, Director

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

January 11, 2019

To: Property Owner

From: The Municipal Officers of the City of Auburn

This is to notify you that on January 28, 2019 at 7:00p.m. the City of Auburn Municipal Officers will meet at 60 Court Street Auburn City Hall, City Council Chambers, to hold a public hearing regarding an order to discontinue Niskayuna Street for its entire length between Center Street and Turner Street, and determining damages, if any, to be paid to abutting property owners. Notice to abutting owners is required, however, this notice is being sent to all property owners within 500' as a courtesy to keep nearby residents informed.

Niskayuna Street is now a public way approximately 40' wide beginning at Center Street and running approximately 774' in a generally Westerly direction to Turner Street shown more particularly on Tax Maps 300 and 301 on file at Auburn City Hall, 60 Court Street, Auburn, Maine 04210.

If an Order of Discontinuance is approved by vote of the legislative body of the City of Auburn, the City will have no obligation to maintain, repair or plow the road. These matters will be discussed at the City Council meeting and public hearing. You are invited to attend the meeting and be heard at the public hearing.

Dated: _____

January 11, 2019

Peter J. Crichton
Peter Crichton, Auburn City Manager



City of Auburn, Maine

Economic & Community Development

Michael Chammings, Director

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

January 11, 2019

To: James and Suzanne Pittman

From: The Municipal Officers of the City of Auburn

Our records show that you own property abutting Niskayuna street. This is to notify you that on January 28, 2019 at 7:00p.m. the City of Auburn Municipal Officers will meet at 60 Court Street Auburn City Hall, City Council Chambers, to hold a public hearing regarding an order to discontinue Niskayuna Street for its entire length between Center Street and Turner Street, and determining damages, if any, to be paid to abutting property owners. Notice to abutting owners is required.

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If an Order of Discontinuance is approved by vote of the legislative body of the City of Auburn, the City will have no obligation to maintain, repair or plow the road but the public will still have the right to travel over it unless the public easement is extinguished as well. These matters will be discussed at the City Council meeting and public hearing. You are invited to attend the meeting and be heard at the public hearing.

Dated: _____

January 11, 2019


Peter Crichton, Auburn City Manager



City of Auburn, Maine

Economic & Community Development

Michael Chammings, Director

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

January 11, 2019

To: Quiz Kids, LLC

From: The Municipal Officers of the City of Auburn

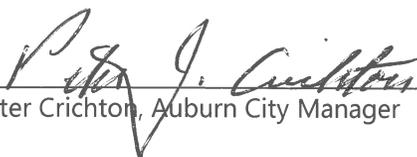
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Dated: _____

January 11, 2019


Peter Crichton, Auburn City Manager



City of Auburn, Maine

Economic & Community Development

Michael Chammings, Director

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

January 11, 2019

To: Suzanne Roy

From: The Municipal Officers of the City of Auburn

Our records show that you own property abutting Niskayuna street. This is to notify you that on January 28, 2019 at 7:00p.m. the City of Auburn Municipal Officers will meet at 60 Court Street Auburn City Hall, City Council Chambers, to hold a public hearing regarding an order to discontinue Niskayuna Street for its entire length between Center Street and Turner Street, and determining damages, if any, to be paid to abutting property owners. Notice to abutting owners is required.

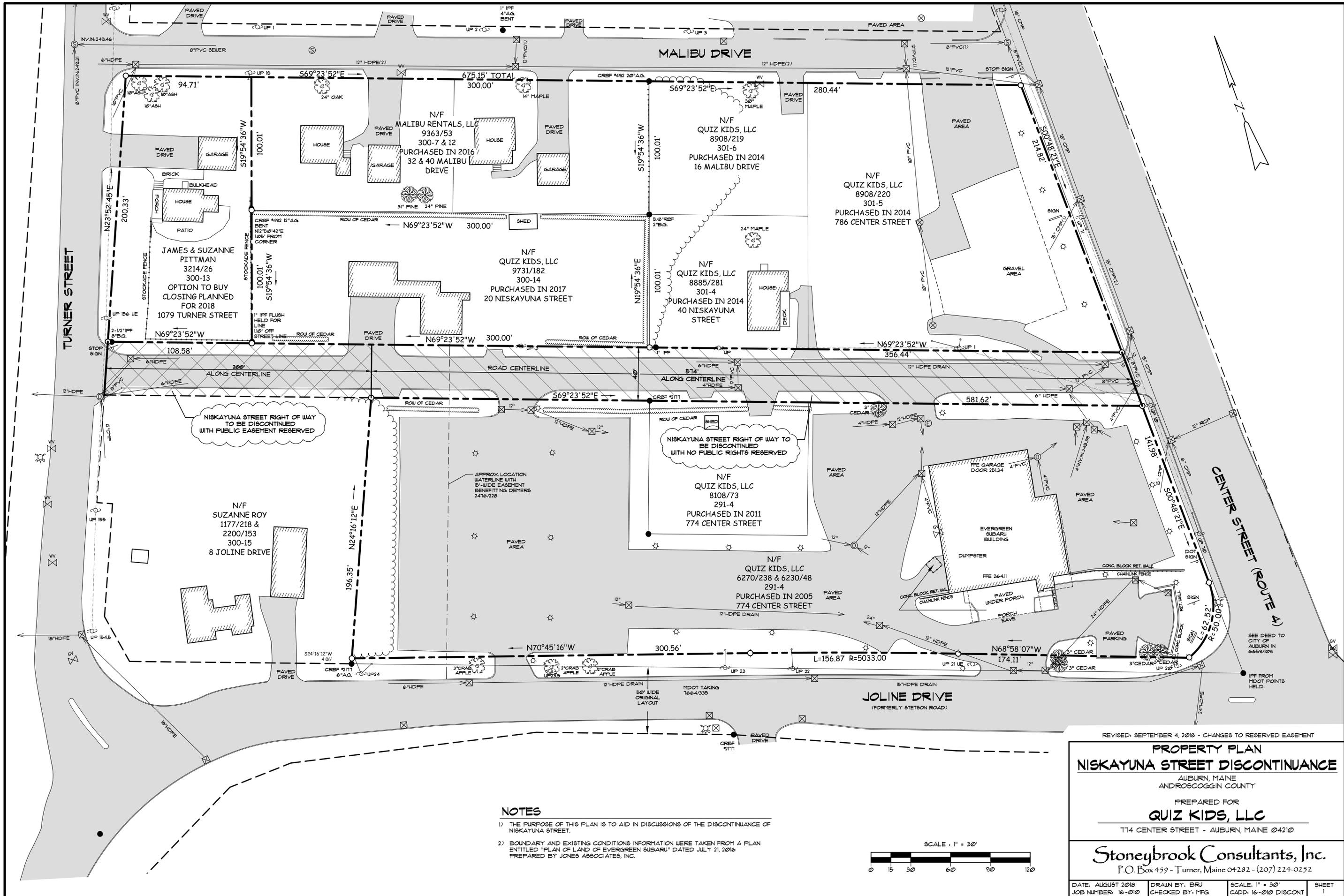
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Dated: _____

January 11, 2019

Peter J. Crichton
Peter Crichton, Auburn City Manager



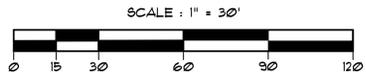
NISKAYUNA STREET RIGHT OF WAY TO BE DISCONTINUED WITH PUBLIC EASEMENT RESERVED

NISKAYUNA STREET RIGHT OF WAY TO BE DISCONTINUED WITH NO PUBLIC RIGHTS RESERVED

APPROX. LOCATION WATERLINE WITH 15'-WIDE EASEMENT BENEFITING DEMERS 2416/728

NOTES

- 1) THE PURPOSE OF THIS PLAN IS TO AID IN DISCUSSIONS OF THE DISCONTINUANCE OF NISKAYUNA STREET.
- 2) BOUNDARY AND EXISTING CONDITIONS INFORMATION WERE TAKEN FROM A PLAN ENTITLED "PLAN OF LAND OF EVERGREEN SUBARU" DATED JULY 21, 2016 PREPARED BY JONES ASSOCIATES, INC.



REVISED: SEPTEMBER 4, 2018 - CHANGES TO RESERVED EASEMENT

**PROPERTY PLAN
NISKAYUNA STREET DISCONTINUANCE**

AUBURN, MAINE
ANDROSCOGGIN COUNTY

PREPARED FOR
QUIZ KIDS, LLC

114 CENTER STREET - AUBURN, MAINE 04210

Stoneybrook Consultants, Inc.
P.O. Box 459 - Turner, Maine 04282 - (207) 224-0252

DATE: AUGUST 2018	DRAWN BY: BRJ	SCALE: 1" = 30'	SHEET
JOB NUMBER: 16-010	CHECKED BY: MFG	CADD: 16-010 DISCONT	1

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 04-01072019

CERTIFICATE OF DISCONTINUANCE OF A PUBLIC STREET

The Municipal Officers of the City of Auburn hereby order the discontinuance of the entire length of Niskayuna Street as a public street under the terms and conditions contained herein. Niskayuna Street is approximately forty (40) feet wide and extends approximately seven hundred and seventy-four (774) feet in a general easterly direction from its intersection with Turner Street to its intersection with Center Street as depicted on a plan entitled "Property Plan Niskayuna Street Discontinuance" dated August 2018 with revised date through September 4, 2018 prepared by Stoneybrook Consultants, Inc., to be recorded herewith (the "Plan"). The City reserves a public easement in and to that portion only of Niskayuna Street described as follows:

Public Easement Reserved

Beginning at the intersection of the centerline of Niskayuna Street with the apparent easterly sideline of Turner Street, thence in an easterly direction along the centerline of said Niskayuna Street a distance of two hundred (200) feet. Said reserved public easement to be forty (40) feet wide, measured twenty (20) feet perpendicular to either side of the above described centerline along the entire length herein described from the apparent easterly sideline of said Turner Street.

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

No public rights are to be retained in and to that portion only of Niskayuna Street described as follows:

No Public Rights Reserved

Beginning at a point on the centerline of said Niskayuna Street, said point being two hundred (200) feet easterly, as measured along said centerline, from the intersection of said centerline with the apparent easterly sideline of Turner Street, thence running easterly along the centerline of said Niskayuna Street about five hundred and seventy-four (574) feet to the intersection of said centerline with the apparent westerly sideline of Center Street. Said area where no public rights are reserved is forty (40) feet wide, measured twenty (20) feet perpendicular to either side of the above described centerline along the entire length herein described to the apparent westerly sideline of said Center Street.

Suzanne M. Roy ("Roy") is the owner of the land and single-family residence thereon located at the intersection of the southerly line of Turner Street and the easterly line of Niskayuna Street as depicted on the Plan (8 Joline Drive – Book 2200, Page 153 of the Androscoggin County Registry of Deeds). James A. Pittman and Suzanne J. Pittman ("Pittman") are the owners of the land and single-family residence thereon located at the intersection of the southerly line of Turner Street and the westerly line of Niskayuna Street as depicted on the Plan (1079 Turner Street – Book 3214, Page 26). Quiz Kids, LLC is the owner of the remaining land and the commercial property developed thereon located on both sides of Niskayuna Street as depicted on the Plan (774

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

Center Street – Book 6230, Page 48, Book 6270, Page 238, Book 8108, Page 73), (786 Center Street – Book 8908, Page 220), (40 Niskayuna Street – Book 8885, Page 281), (20 Niskayuna Street – Book 9731, Page 182).

Having given best practicable notice to all abutting property owners, we further order damages to the abutting property owners as follows:

Name: <u>Suzanne M. Roy</u>	Amount: <u>\$0.00</u>
Name: <u>James A. Pittman and Suzanne J. Pittman</u>	Amount: <u>\$0.00</u>
Name: <u>Quiz Kids, LLC</u>	Amount: <u>\$0.00</u>

Date: _____

Susan Clements-Dallaire, City Clerk



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019 **Orders:** 19-02252019 through 22-02252019

Author: Jody Durisko, Executive Assistant to the City Manager

Subject: Disposition of Tax Acquired Property

Information: The Tax Acquired Committee is also recommending four(4) properties for disposition with a combined total \$27,551.13 in property taxes and CDBG balances owed to the City.

City Budgetary Impacts: There is not a negative impact to the city budget for the potential sale of tax acquired properties. The known positive impacts of selling tax acquired properties are recouping taxes owed, associated fees, and getting the property back on the tax role.

Staff Recommended Action: Staff recommends the disposition of the following properties by sealed bid: Garfield Road PID #245-011-001, Hackett Road PID #135-010, 120 Cook Street, and 77 Gill Street.

Previous Meetings and History: None.

City Manager Comments:

A handwritten signature in blue ink that reads "Peter J. Cusick".

I concur with the recommendation. Signature:

Attachments:

Memorandum Dated February 25, 2019 – Disposition of Tax Acquired Property
Tax Acquired Committee Recommendation Form for each property
Tax Statements for each property
Property Review Form for each property



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210
207.333.6601 | www.auburnmaine.gov

MEMORANDUM

TO: Mayor Levesque and Honorable Members of the Auburn City Council

CC: Peter Crichton, City Manager and Jill Eastman, Finance Director

FROM: Jody Durisko, Executive Assistant to the City Manager

RE: Disposition of Tax Acquired Property

DATE: February 25, 2019

Enclosed you will find the supporting documentation on four (4) tax acquired properties that the Tax Acquired Property Committee has recommended for disposition. The four (4) properties combined total \$27,551.13 in property taxes and CDBG balances owed to the City. Following below are brief summaries of each property being presented to Council for disposition:

Garfield Road (PID # 245-011-001) - The total due is \$632.64. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on August 8, 2016. This property is land only. It had a DHHS LIEN, which has been released. The property doesn't appear to have road access. The small piece of land would only have value to one abutter therefore the committee recommends selling it to the abutter.

Hackett Road (PID # 135-010) - The total due is \$661.57. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on November 4, 2014. This is a 5.31 house lot that abuts 428 Hackett Rd. The committee recommends selling by sealed bid.

120 Cook Street (PID # 211-059) - The total due is \$15,073.15. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on April 8, 2013. The committee recommends selling by sealed bid.

77 Gill Street (PID # 211-103) - The total due including CDBG balance due is \$11,183.77. Enclosed you will find the property details, committee recommendation, and tax acquired property review form. The last tax payment was on January 14, 2016. The committee recommends selling by sealed bid.

01/29/2019 14:39
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 1
txtaxstm

PARCEL: 245-011-001-000

LOCATION: GARFIELD RD

OWNER:
AUBURN CITY OF
BISSONETTE, PARTY IN POSSESSIO
C/O BROCH BISSONETTE
87 ALLEN AV

STATUS:
SQUARE FEET: 0
LAND VALUATION: 2,500
BUILDING VALUATION: 0
EXEMPTIONS: 0

AUBURN ME 04210

TAXABLE VALUATION: 2,500
INTEREST PER DIEM .04

LEGAL DESCRIPTION:

DEED DATE: 12/14/2005 BOOK/PAGE: 6646-40

INTEREST DATE: 01/29/2019

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
2018	RE-R	6238				
1	2018 REAL		29.60	29.60	.76	30.36
2	2018 REAL		29.60	29.60	.00	29.60
			59.20	59.20	.76	59.96
2017	LIEN	51				
1	RETAX TL		57.48	57.48	2.29	59.77
	DMD TL		3.00	3.00	.00	3.00
	CERTMA		6.67	6.67	.00	6.67
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		2.20	2.20	.00	2.20
			120.35	120.35	2.29	122.64
			120.35	120.35	2.29	122.64
2016	LIEN	279				
1	RETAX TL		55.88	55.88	6.13	62.01
	CERTMA		6.56	6.56	.00	6.56
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		2.23	2.23	.00	2.23
			118.67	118.67	6.13	124.80
			118.67	118.67	6.13	124.80
2015	LIEN	275				
1	RETAX TL		53.13	53.13	9.77	62.90
	CERTMA		6.47	6.47	.00	6.47
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		1.87	1.87	.00	1.87

01/29/2019 14:39
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 2
txtaxstm

YEAR TYPE INST CHARGE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
		115.47	115.47	9.77	125.24
		115.47	115.47	9.77	125.24
GRAND TOTALS		413.69	413.69	18.95	432.64

Legal 200.00
632.34

Last paid 08/08/2016



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

Tax Acquired Property Review Form

ADDRESS: Garfield Road

PID#: 245-011-001

DESCRIPTION: This parcel contains 0.070 AC of land mainly classified as UNDEVELOPED with a Building, having primarily Exterior

BALANCE DUE: \$632.64

1. Is the property either unfit or unnecessary for City use?

Yes.

2. Does the City wish to retain ownership for municipal purposes?

No.

3. Is the property adjacent to publicly owned land?

No.

4. Are there buildings on the property that should be demolished?

No.

5. Are there environmental liabilities or hazards present on the site?

None visible at the time of inspection.

6. Does the property have investment or marketable value?

No.

7. Are there are uses that the property is suited for which meet the requirements of the City's zoning and land use ordinance?

No.

8. Does the property only have value to an abutter (provides additional set back, off street parking, etc.)?

Yes. This is a land locked parcel that is only valuable to an abutter. There is no street access and it is not a buildable piece of land.

Other concerns:

Land locked parcel on Garfield





City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

Section 3.5 Committee Action/Recommendations. The committee will meet to review the comments received from each department. The Committee will then forward a recommendation to the City Manager for appropriate action. The Committee will meet in sufficient time before the foreclosure deadline in order for the City Manager and City Council to have sufficient time to take any action that may be necessary, including waiver of foreclosure.

PARCEL ID:	135-010	Location:	Hackett Road
Acreage	5.31	Zone:	Low Density Country Residential
Current Assessed Land Value:	\$8,800	Current Assessed Building Value:	\$0
Total Land & Bldg. Value:	\$8,800	Minimum Bid:	\$661.57

Retain for public use		Sell the property	x	Waive foreclosure	
-----------------------	--	-------------------	---	-------------------	--

Sell to prior owner		Sale to immediate heirs	
Sale by Sealed Bid	x	Request for proposals	
Real Estate Broker Contract			

The bid price for either process shall be determined by the Finance Director or his/her designee in no event being less than all outstanding property taxes, including the total amount of all delinquent taxes plus the total taxes for the current year (and the estimated taxes for the next year after commitment) plus accrued interest, lien costs and any other costs relating to the property and this process (including, but not limited to, insurance, attorney's fees, auction/bid or notice costs).

Notes: Last payment November 4, 2014.

01/29/2019 14:39
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 1
txtaxstm

PARCEL: 135-010-000-000

LOCATION: HACKETT RD

OWNER:
AUBURN CITY OF
60 COURT ST
AUBURN ME 04210

STATUS:
TOTAL ACRES: 5.310
DEFERRED ACRES: .000
LAND VALUATION: 8,800
BUILDING VALUATION: 0
EXEMPTIONS: 8,800
TAXABLE VALUATION: 0
INTEREST PER DIEM .07

LEGAL DESCRIPTION:

DEED DATE: 12/29/2010 BOOK/PAGE: 7732-85

INTEREST DATE: 01/29/2019

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
2015	LIEN	32				
1	RETAX TL		187.00	187.00	34.39	221.39
	CERTMA		6.47	6.47	.00	6.47
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		6.56	6.56	.00	6.56
			254.03	254.03	34.39	288.42
			254.03	254.03	34.39	288.42
2010	LIEN	20100326				
1	RETAX TL		167.91	133.53	39.62	173.15
	DMD TL		3.00	.00	.00	PAID
	CERFT TL		5.59	.00	.00	PAID
	CERTMA		5.59	.00	.00	PAID
	LNCST - TL		39.00	.00	.00	PAID
	INTTL		5.94	.00	.00	PAID
			227.03	133.53	39.62	173.15
			227.03	133.53	39.62	173.15
GRAND TOTALS			481.06	387.56	74.01	461.57

Yegre 200.00
rest paid 11/04/2014 \$ 661.57



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

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Tax Acquired Property Review Form

ADDRESS: Hackett Road

PID#: 135-010

DESCRIPTION: This is a 5.31 Acre house lot. It is located in a Low Density Country Residential zoning district.

BALANCE DUE: \$661.57

1. Is the property either unfit or unnecessary for City use?

Yes. We see no benefit in retaining ownership of this parcel.

2. Does the City wish to retain ownership for municipal purposes?

No.

3. Is the property adjacent to publicly owned land?

This property abuts the Maine Turnpike. I suggest approaching the MTPA to see if there is any interest in this property for their use prior to selling it.

4. Are there buildings on the property that should be demolished?

No.

5. Are there environmental liabilities or hazards present on the site?

None known.



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

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6. Does the property have investment or marketable value?

Yes. This is a residential buildable lot.

7. Are there are uses that the property is suited for which meet the requirements of the City's zoning and land use ordinance?

Yes. A house lot.

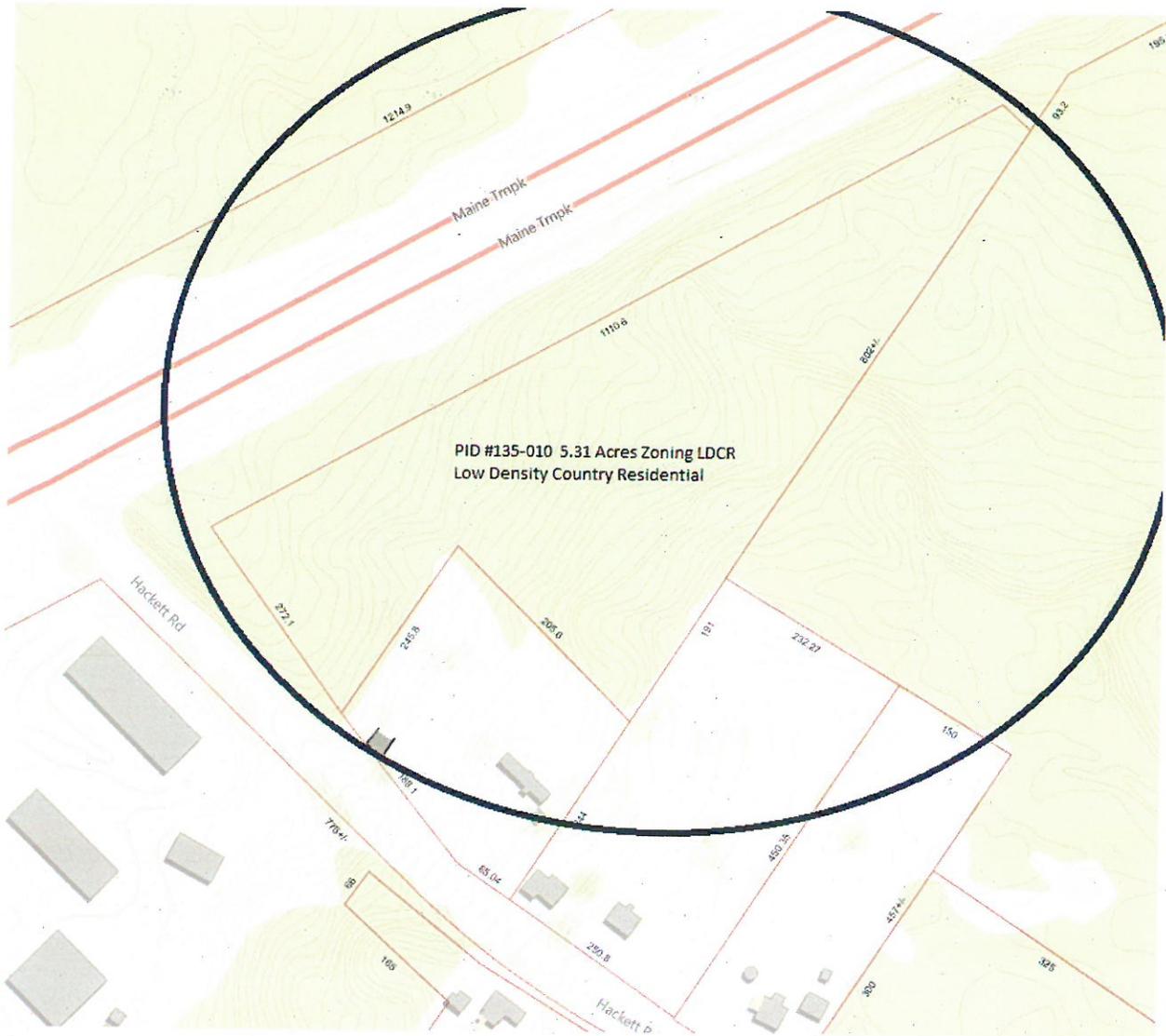
8. Does the property only have value to an abutter (provides additional set back, off street parking, etc.)?

No.

Other concerns:

Hackett Road
PID 135-010







City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

Section 3.5 Committee Action/Recommendations. The committee will meet to review the comments received from each department. The Committee will then forward a recommendation to the City Manager for appropriate action. The Committee will meet in sufficient time before the foreclosure deadline in order for the City Manager and City Council to have sufficient time to take any action that may be necessary, including waiver of foreclosure.

PARCEL ID:	211-059	Location:	120 Cook Street
Acreage	0.110	Zone:	Multi-Family Urban
Current Assessed Land Value:	\$21,500	Current Assessed Building Value:	\$70,500
Total Land & Bldg. Value:	\$92,000	Minimum Bid:	\$15,073.15

Retain for public use		Sell the property	x	Waive foreclosure	
-----------------------	--	-------------------	---	-------------------	--

Sell to prior owner		Sale to immediate heirs	
Sale by Sealed Bid	x	Request for proposals	
Real Estate Broker Contract			

The bid price for either process shall be determined by the Finance Director or his/her designee in no event being less than all outstanding property taxes, including the total amount of all delinquent taxes plus the total taxes for the current year (and the estimated taxes for the next year after commitment) plus accrued interest, lien costs and any other costs relating to the property and this process (including, but not limited to, insurance, attorney's fees, auction/bid or notice costs).

Notes: This property is a nuisance property. There is no plumbing, water, electricity, and a generator is currently in use as a power source. There could be conditions inside that may be of concern. The neighbors are constantly complaining about them and the Police Department is fielding a lot of those complaints. The last payment was made on April 8, 2013. The City recently completed the eviction process on this property.

01/29/2019 14:40
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 1
txtaxstm

PARCEL: 211-059-000-000

LOCATION: 120 COOK ST

OWNER:
AUBURN CITY OF
SMALL JOSHUA S, PARTY IN POSSE
120 COOK ST
AUBURN ME 04210

STATUS:
SQUARE FEET: 0
LAND VALUATION: 21,500
BUILDING VALUATION: 70,500
EXEMPTIONS: 0
TAXABLE VALUATION: 92,000
INTEREST PER DIEM: 2.11

LEGAL DESCRIPTION:

DEED DATE: 08/30/2013 BOOK/PAGE: 8779-283 INTEREST DATE: 01/29/2019

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
2018	RE-R	3473				
1	2018 REAL		1,089.28	1,089.28	27.99	1,117.27
2	2018 REAL		1,089.28	1,089.28	.00	1,089.28
			2,178.56	2,178.56	27.99	2,206.55
2017	LIEN	348				
1	RETAX TL		2,115.08	2,115.08	84.37	2,199.45
	DMD TL		3.00	3.00	.00	3.00
	CERTMA		6.67	6.67	.00	6.67
	LNCHG TL		51.00	51.00	.00	51.00
	INTTTL		80.92	80.92	.00	80.92
			2,256.67	2,256.67	84.37	2,341.04
			2,256.67	2,256.67	84.37	2,341.04
2016	LIEN	143				
1	RETAX TL		2,056.20	2,056.20	225.56	2,281.76
	CERTMA		6.56	6.56	.00	6.56
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTTL		81.83	81.83	.00	81.83
			2,198.59	2,198.59	225.56	2,424.15
			2,198.59	2,198.59	225.56	2,424.15
2015	LIEN	115				
1	RETAX TL		1,955.00	1,955.00	359.56	2,314.56
	CERTMA		6.47	6.47	.00	6.47
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTTL		68.62	68.62	.00	68.62

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4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 2
txtaxstm

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
INST	CHARGE					
			2,084.09	2,084.09	359.56	2,443.65
			2,084.09	2,084.09	359.56	2,443.65
2014	LIEN	123				
1	RETAX TL		1,927.40	1,927.40	489.40	2,416.80
	CERTMA		6.48	6.48	.00	6.48
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		67.64	67.64	.00	67.64
			2,055.52	2,055.52	489.40	2,544.92
			2,055.52	2,055.52	489.40	2,544.92
2013	LIEN	465				
1	RETAX TL		1,879.56	1,879.56	604.86	2,484.42
	CERTMA		6.48	6.48	.00	6.48
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		67.94	67.94	.00	67.94
			2,007.98	2,007.98	604.86	2,612.84
			2,007.98	2,007.98	604.86	2,612.84
GRAND TOTALS			12,781.41	12,781.41	1,791.74	14,573.15

Legal 500.00

Last paid 01/08/2013 15,073.15



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

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Tax Acquired Property Review Form

ADDRESS: 120 Cook Street

PID#: 211-059

DESCRIPTION: This parcel contains 0.110 AC of land mainly classified as SINGLEFAMILY with a CAPE Building built about 1947, having primarily VINYL Exterior and 780 Square Feet, with 1 Residential Unit, 1 Bath, 6 Rooms, and 3 Bdrms.

BALANCE DUE: \$15,073.15

1. Is the property either unfit or unnecessary for City use?

Yes. I do not see a suitable use for City functions. This property is not located in the CDBG area.

2. Does the City wish to retain ownership for municipal purposes?

No.

3. Is the property adjacent to publicly owned land?

No.

4. Are there buildings on the property that should be demolished?

No.

5. Are there environmental liabilities or hazards present on the site?

Unknown.



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

6. Does the property have investment or marketable value?

I would recommend selling this "As is, Where is" as a fixer upper.

7. Are there are uses that the property is suited for which meet the requirements of the City's zoning and land use ordinance?

There is currently a single family dwelling on the lot that could be rehabbed.

8. Does the property only have value to an abutter (provides additional set back, off street parking, etc.)?

No.

Other concerns:







City of Auburn, Maine

Office of the City Manager

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Section 3.5 Committee Action/Recommendations. The committee will meet to review the comments received from each department. The Committee will then forward a recommendation to the City Manager for appropriate action. The Committee will meet in sufficient time before the foreclosure deadline in order for the City Manager and City Council to have sufficient time to take any action that may be necessary, including waiver of foreclosure.

PARCEL ID:	211-103	Location:	77 Gill Street
Acreage	.30	Zone:	Multi-Family Urban
Current Assessed Land Value:	\$ 5,900	Current Assessed Building Value:	\$54,000
Total Land & Bldg. Value:	\$59,000	Minimum Bid:	\$11,183.77

Retain for public use		Sell the property	x	Waive foreclosure	
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Sell to prior owner		Sale to immediate heirs	
Sale by Sealed Bid	x	Request for proposals	
Real Estate Broker Contract			

The bid price for either process shall be determined by the Finance Director or his/her designee in no event being less than all outstanding property taxes, including the total amount of all delinquent taxes plus the total taxes for the current year (and the estimated taxes for the next year after commitment) plus accrued interest, lien costs and any other costs relating to the property and this process (including, but not limited to, insurance, attorney's fees, auction/bid or notice costs).

Notes: Owner lives in Florida, receives and signs for the certified copies at the FL. Address. The city recently completed the eviction process on this property. Last payment January 14, 2016.

01/29/2019 14:41
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 1
txtaxstm

PARCEL: 211-103-000-000

LOCATION: 77 GILL ST

OWNER:

AUBURN CITY OF
LACASE LESLIE A, PARTY IN POSS
77 GILL ST
AUBURN ME 04210

STATUS:

SQUARE FEET: 0
LAND VALUATION: 5,900
BUILDING VALUATION: 54,000
EXEMPTIONS: 0
TAXABLE VALUATION: 59,900
INTEREST PER DIEM .97

LEGAL DESCRIPTION:

DEED DATE: 05/29/2008 BOOK/PAGE: 7446-190

INTEREST DATE: 01/29/2019

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
INST	CHARGE					
2018	RE-R	3516				
1	2018 REAL		709.22	709.22	18.23	727.45
2	2018 REAL		709.21	709.21	.00	709.21
			1,418.43	1,418.43	18.23	1,436.66
2017	LIEN	226				
1	RETAX TL		1,377.10	1,377.10	54.93	1,432.03
	DMD TL		3.00	3.00	.00	3.00
	CERTMA		6.67	6.67	.00	6.67
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		52.69	52.69	.00	52.69
			1,490.46	1,490.46	54.93	1,545.39
			1,490.46	1,490.46	54.93	1,545.39
2016	LIEN	145				
1	RETAX TL		1,338.77	1,338.77	146.86	1,485.63
	CERTMA		6.56	6.56	.00	6.56
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		53.28	53.28	.00	53.28
			1,452.61	1,452.61	146.86	1,599.47
			1,452.61	1,452.61	146.86	1,599.47
2015	LIEN	117				
1	RETAX TL		1,060.38	1,060.38	195.02	1,255.40
	CERTMA		6.47	6.47	.00	6.47
	DMD TL		3.00	3.00	.00	3.00
	LNCHG TL		51.00	51.00	.00	51.00
	INTTL		37.21	37.21	.00	37.21

01/29/2019 14:41
4924nbosse

CITY OF AUBURN
Real Estate Tax Statement

P 2
txtaxstm

YEAR TYPE INST CHARGE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
		1,158.06	1,158.06	195.02	1,353.08
		1,158.06	1,158.06	195.02	1,353.08
2013 LIEN	349				
1 RETAX TL		1,019.46	591.55	126.04	717.59
CERTMA		6.48	.00	.00	PAID
DMD TL		3.00	.00	.00	PAID
LNCHG TL		51.00	.00	.00	PAID
INTTL		36.85	.00	.00	PAID
		1,116.79	591.55	126.04	717.59
		1,116.79	591.55	126.04	717.59
GRAND TOTALS		6,636.35	6,111.11	541.08	6,652.19

2014
1254.91

Just paid 01/14/2016

7907.10

C/CDBG
Joan

2776.67

10,683.77

Legal

500.00

\$ 11,183.77



City of Auburn, Maine

Office of the City Manager

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

Tax Acquired Property Review Form

ADDRESS: 77 Gill Street

PID#: 211-103

DESCRIPTION: This parcel contains 0.030 AC of land mainly classified as SINGLEFAMILY with a CAPE Building built about 1865, having primarily VINYL Exterior and 1,136 Square Feet, with 2 Residential Units, 1 Bath, 10 Rooms, and 6 Bdrms.

BALANCE DUE: \$11,183.77

1. Is the property either unfit or unnecessary for City use?

Yes.

2. Does the City wish to retain ownership for municipal purposes?

No. Although it is located in a CDBG designated area, the lot is very small and would not be suitable for a "Community Use".

3. Is the property adjacent to publicly owned land?

No.

4. Are there buildings on the property that should be demolished?

No.

5. Are there environmental liabilities or hazards present on the site?

Unknown. Based on the age of the building, it most likely contains asbestos and lead paint.



City of Auburn, Maine

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6. Does the property have investment or marketable value?

I recommend selling this "As is, Where is" as a building that needs to be rehabbed.

7. Are there are uses that the property is suited for which meet the requirements of the City's zoning and land use ordinance?

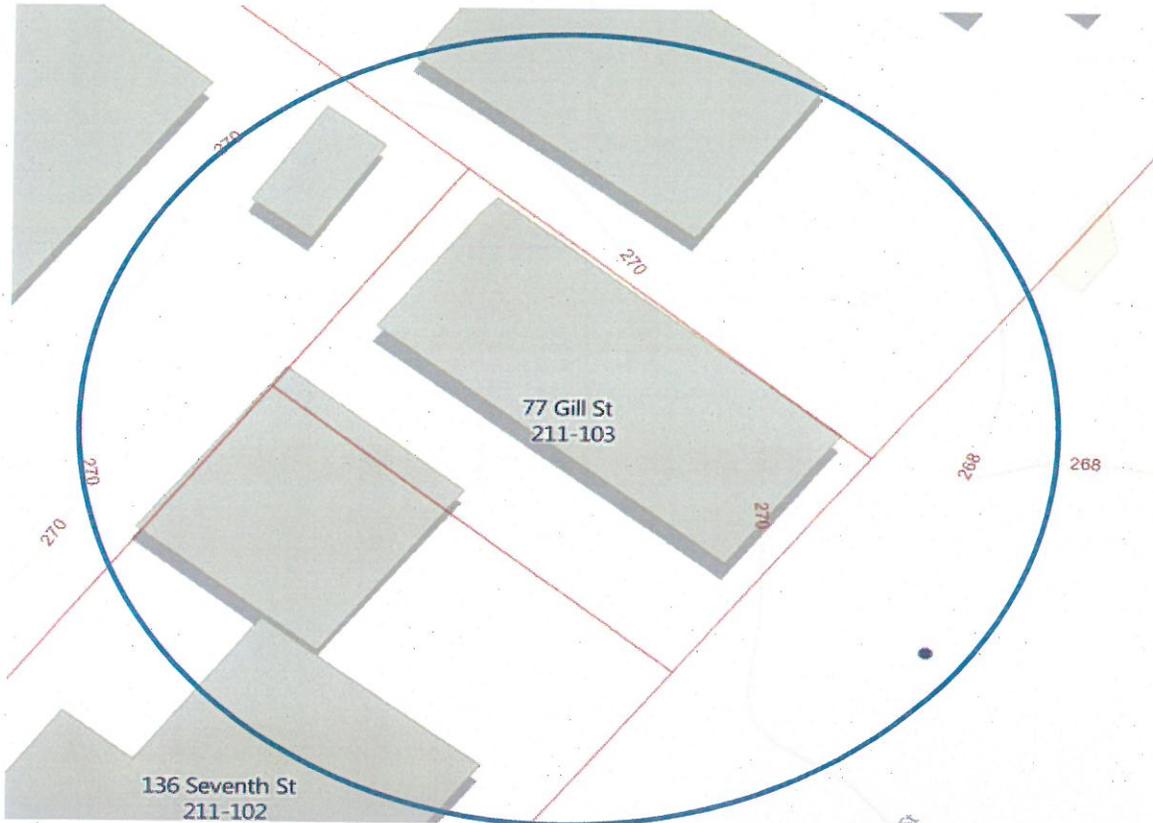
There is an existing single-family structure located on the property.

8. Does the property only have value to an abutter (provides additional set back, off street parking, etc.)?

No.

Other concerns:





Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 19-02252019

Ordered, that the City Council hereby authorizes the sale of tax acquired and city owned property at 77 Gill Street, Parcel ID 211-103 by sealed bid.

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 20-02252019

Ordered, that the City Council hereby authorizes the sale of tax acquired and city owned property at 120 Cook Street, Parcel ID 211-059 by sealed bid.

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 21-02252019

Ordered, that the City Council hereby authorizes the sale of tax acquired and city owned property at Garfield Road, Parcel ID 245-011-001 by sealed bid.

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 22-02252019

Ordered, that the City Council hereby authorizes the sale of tax acquired and city owned property at Hackett Road, Parcel ID 135-010 by sealed bid.



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019 **Order:** 23-02252019

Author: Jody Durisko, Executive Assistant to the City Manager

Subject: Sealer of Weights and Measures

Information: The city has received a request to be appointed as the city's local Sealer of Weights and Measures by Bryan Bachelder, of Readfield. He is a retired Maine State Trooper with a history of weights and measures. Mr. Bachelder has successfully passed the two national certification programs and is insured. The certifications are good for five years which would expire on August 22, 2023. There is no liability to the city. Below is the new state statute language regarding Local Sealers of Weights and Measures:

§2461. ELECTION BY MUNICIPAL OFFICERS

The municipal officers of a municipality may elect or appoint a sealer of weights and measures, and a deputy sealer if necessary, not necessarily a resident of that municipality, and the sealer and deputy sealer hold office during their efficiency and the faithful performance of their duties. The state sealer has final approval authority over a sealer or deputy sealer elected or appointed pursuant to this section. Prior to approval or assuming any duties, a sealer or deputy sealer elected or appointed pursuant to this section must successfully complete certification by the National Conference on Weights and Measures as a weights and measures professional in the National Conference on Weights and Measures professional certification program for the device types the sealer or deputy sealer wishes to seal. On complaint being made to the municipal officers of the inefficiency or neglect of duty of a sealer or deputy sealer, the municipal officers shall set a date for and give notice of a hearing to the complainant, the relevant sealer and the state sealer. If evidence satisfies the municipal officers that the sealer or deputy sealer has been inefficient or has neglected the sealer's or deputy sealer's duty, they may remove the sealer or deputy sealer from office and elect or appoint another in the sealer's or deputy sealer's stead. The state sealer has jurisdiction over a sealer or deputy sealer elected or appointed pursuant to this section, and any vacancy caused by death or resignation must be filled by election or appointment by the municipal officers within 30 days. Within 10 days after each such election or appointment, the clerk of each municipality shall communicate the name of the person so elected or appointed to the state sealer. A sealer of weights and measures in any municipality may be sealer for several municipalities, if such is the pleasure of the municipal officers of those municipalities, as long as this action receives the approval of the state sealer. The state sealer or the state sealer's designee shall test and certify annually municipal weights and measures equipment used by a sealer or deputy sealer elected or appointed pursuant to this section.[2017, c. 172, §1(NEW).]

§2462. MUNICIPALITIES THAT DO NOT CHOOSE A SEALER

If the municipal officers do not elect or appoint a sealer or fail to make a return to the state sealer of the election or appointment within 30 days after the election or appointment in accordance with section 2461, the state sealer retains sole authority to enforce this chapter in that municipality and the concurrent



authority provided under section 2411 does not apply in that municipality. Pursuant to section 2402, subsection 7, the state sealer may appoint a qualified person to carry out the state sealer's responsibilities in that municipality, and any person appointed under this section may serve in that capacity for more than one municipality. [2017, c. 172, §1 (NEW).]

§2463. POWERS AND DUTIES

A weights and measures official elected or appointed for a municipality has the duties enumerated in section 2402, subsections 2 to 9 and the powers enumerated in section 2403. These powers and duties extend to the official's jurisdiction. [2017, c. 172, §1 (NEW).]SECTION HISTORY 2017, c. 172, §1 (NEW).

§2464. RECORDS OF WEIGHTS AND MEASURES SEALED; ANNUAL REPORT

A sealer shall keep records of all weights and measures, balances and measuring devices inspected, sealed or condemned by that sealer, giving the name of the owner or agent, the place of business, the date of inspection and kind of apparatus inspected, sealed or condemned. The sealer shall make an annual report on July 1st for the 12 preceding months on forms prescribed by the state sealer and shall furnish such information as the state sealer may require. [2017, c. 172, §1 (NEW).]

City Budgetary Impacts: None. If a local sealer is appointed, the state allows some establishments with small weighing systems to pay the sealer directly. The reporting and payment for retail motor fuel dispensing systems are handled directly through the State of Maine.

Staff Recommended Action: To appoint Bryan Bachelder as the Sealer of Weights and Measures with a term expiration of December 31, 2019.

Previous Meetings and History: Council Workshop February 4, 2019.

City Manager Comments:

A handwritten signature in blue ink that reads "Peter J. Coakley".

I concur with the recommendation. Signature:

Attachments: Bryan Bachelder Letter and Certifications
Information Sheet dated February 4, 2019

Bryan Bachelder

August 28, 2018

P.O. Box 271

Readfield, Maine 04355

207 458 9388

Subject: Local Sealer

To whom it may concern,

I am a retired Maine State Trooper with a history of Weights and Measures. I would like to be the Local Sealer for your town/city. I have enclosed my qualifications from the National Conference on Weights and measures. This appointment/election to the position of Local Sealer is mandated by the state (see LD enclosure) and is of no cost to you. Consideration for this position is greatly appreciated.

Sincerely



Bryan Bachelder

Retired Maine State Trooper

Local Sealer

Enclosures:3

LOCAL SEALER

Checking local gas pumps
and retail scales for
calibration



BRYAN BACHELDER

P.O. Box 271
Readfield, ME 04355
bbach0167@aol.com
tel: 207 458-9388

Insured



National Conference on Weights and Measures Professional Certification Program



Bryan Bachelder

HAS SUCCESSFULLY PASSED THE NATIONAL CERTIFICATION PROGRAM EXAMINATION
IN THE CATEGORY OF

Retail Motor Fuel Dispensing Systems

THIS PROFESSIONAL CERTIFICATION STANDARD PROVIDES ASSURANCE THAT
AN INDIVIDUAL HAS A WORKING KNOWLEDGE OF APPLICABLE PORTIONS OF THE CURRENT STANDARDS ADOPTED BY THE
NATIONAL CONFERENCE ON WEIGHTS AND MEASURES AND OTHER RELEVANT NIST STANDARDS

Brett Gurney
BRETT GURNEY, CHAIRMAN
NATIONAL CONFERENCE ON WEIGHTS AND MEASURES

August 22, 2018

DATE OF CERTIFICATION

Don Onwiler

DON ONWILER, EXECUTIVE DIRECTOR
NATIONAL CONFERENCE ON WEIGHTS AND MEASURES

This certification will expire five years from the date of certification.

**National Conference on Weights and Measures
Professional Certification Program**



Bryan Bachelder

HAS SUCCESSFULLY PASSED THE NATIONAL CERTIFICATION PROGRAM EXAMINATION
IN THE CATEGORY OF

Small Capacity Weighing Systems Class III

THIS PROFESSIONAL CERTIFICATION STANDARD PROVIDES ASSURANCE THAT
AN INDIVIDUAL HAS A WORKING KNOWLEDGE OF APPLICABLE PORTIONS OF THE CURRENT STANDARDS ADOPTED BY THE
NATIONAL CONFERENCE ON WEIGHTS AND MEASURES AND OTHER RELEVANT NIST STANDARDS

Brett Gurney
BRETT GURNEY, CHAIRMAN
NATIONAL CONFERENCE ON WEIGHTS AND MEASURES

Don Onwiler
DON ONWILER, EXECUTIVE DIRECTOR
NATIONAL CONFERENCE ON WEIGHTS AND MEASURES

August 26, 2018

DATE OF CERTIFICATION

This certification will expire five years from the date of certification.



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 4, 2019

Author: Jody Durisko, Executive Assistant to the City Manager

Subject: Sealer of Weights and Measures

Information: The city has received a request to be appointed as the city's local Sealer of Weights and Measures. The request was made in August of 2018 which, in turn, led to a fair amount of research of how it was handled in the past. Sue Clements-Dallaire, City Clerk put together a great documentation packet outlining the most recent history on this matter.

Thomas Verrill was appointed on October 1992 as Auburn's local Sealer of Weights and Measures and served until he retired in June 2014. At that time, the City Clerk contacted the Division of Quality Assurance & Regulations to ask if the state would appoint a sealer if the municipality did not. The program manager sent an email stating they just learned the legislature repealed the authorizing statute that allowed municipalities to appoint a sealer in 2013 and the state sealers would perform the testing until it could be corrected by the legislature.

In 2017, the legislature passed 10 MRSA 501 §2461-2464 for local sealers. The new legislation restores the municipalities' authority to appoint a sealer of weights and measures. Another notable improvement to the statute is that it requires a locally appointed sealer of weights and measures pass two national certification programs by the National Conference on Weights and Measures. The state sealer has final approval authority over a sealer and has jurisdiction over an appointed sealer.

Since Mr. Verrill retired, state sealers have been responsible for inspections for the City. If an appointment is not made that will continue, however, the Division of Quality Assurance and Regulation is encouraging municipalities to make an appointment due to staffing levels they are currently responding to complaints and not able to cover inspections for the whole state as well.

If the Council decides to move forward with the appointment, I recommend an annual appointment which would give Council an opportunity to communicate with the local sealer at least once per year. It will also ensure the City can obtain a current certificate of insurance and certifications as needed.

Bryan Bachelder, of Readfield is seeking appointment as the city's local sealer of weights and measures. He is a retired Maine State Trooper with a history of weights and measures. Mr. Bachelder has successfully passed the two national certification programs and is insured. The certifications are good for five years which would expire on August 22, 2023.



City Budgetary Impacts: None. If a local sealer is appointed, the state allows some establishments with small weighing systems to pay the sealer directly. The reporting and payment for retail motor fuel dispensing systems are handled directly through the State of Maine.

Staff Recommended Action: Discussion for consideration to appoint a Sealer of Weights and Measures.

Previous Meetings and History: None.

City Manager Comments:

I concur with the recommendation. Signature: _____

A handwritten signature in blue ink, appearing to read "Peter J. Cusick", is written over a horizontal line.

Attachments: June 16, 2014 Thomas Verrill Retirement Letter
Email and attachment from Steve Giguere dated May 27, 2015
Copy of 10 MRSA 501 §2411-2413
Copy of 10 MRSA 501 §2451-2455 repealed
Copy of 10 MRSA 501 §2461-2464
Bryan Bachelder Letter and Certifications

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 23-02252019

ORDERED, that the City Council hereby appoints Bryan Bachelder as the Local Sealer of Weights and Measures with a term expiration of December 31, 2019.



City of Auburn, Maine

Community Development

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6600

January 25, 2019

**Substantial Amendment
2015-2019 Consolidated Plan &
FFY2018 Action Plan – City of Auburn**

The 2018 Action Plan was adopted by the City Council on May 7, 2018. A CDBG Entitlement grantee, in accordance with the CDBG regulations at 24 CFR 570.902, must have a balance no greater than one and one-half (1.5) times its annual grant remaining in the line-of-credit, 60 days prior to the end of the program year. HUD has a longstanding policy of reducing the future year's grant of a grantee that continues to be untimely. Several factors, including more than anticipated program income and budgeted projects encountering changes/delays, have put the city at risk of exceeding the balance allowed by HUD. A proposed expansion of the Senior Center in Pettengill Park is a project would meet HUD's eligibility requirements and is considered "shovel ready". This amendment will make \$300,000 of CDBG funds available for the expansion of the Senior Center which will help to avoid violating HUD regulations.

- 1) Add "I. Improve quality of life for seniors" as a high priority goal of the 2015-2019 Consolidated Plan.
- 2) Add a CDBG Activity to the FFY2018 Action Plan for the expansion of the Senior Center at Pettengill Park. Move CDBG funds of \$200,000 earmarked for Housing Rehabilitation and \$100,000 earmarked for Public Infrastructure to the new Senior Center. This project is listed under the new "Improve quality of life for seniors" high priority goal of the 2015-2019 Consolidated Plan. Activities that will be eligible under this project include design and construction for the expansion of the senior center. The City of Auburn is committed to providing its senior population with a high quality of life. The expansion of the senior center has been identified as a "shovel ready" project that meets that goal. The expansion will allow the existing center to offer more programming to better serve residents.
- 3) Remove "and to revitalize storefront spaces in the target areas" from the Program Objective of the Storefront Traffic Accelerates Revitalization (STAR) Business Loan program. Remove "must be located in one of the following CDBG target areas:



City of Auburn, Maine

Community Development

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6600

Downtown, New Auburn, and Union Street.” and replace with “must be located in Auburn.” This change recognizes that businesses throughout the municipality create economic opportunities for low- and moderate-income households and makes the program available to businesses city-wide.

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 24-02252019

ORDERED, that the Auburn City Council hereby approves a substantial amendment to the 2015-19 Consolidated Plan and 2018 Annual Action as recommended by Community Development staff.

CITY OF AUBURN, MAINE

SENIOR CENTER RENOVATIONS

48 Pettingill Park Road, Auburn, Maine

90% DESIGN DEVELOPMENT

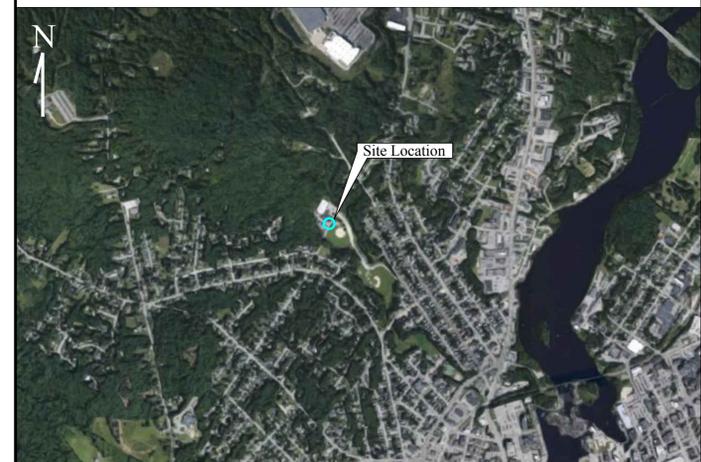
FEBRUARY 18, 2019

Drawing List

--	COVER SHEET
C-1	GENERAL CONSTRUCTION NOTES
C-100	EXISTING CONDITIONS AND REMOVALS PLAN
C-101	OVERALL SITE DEVELOPMENT PLAN
C-301	CIVIL DETAILS
S-000	STRUCTURAL - GENERAL INFORMATION
SD-100	STRUCTURAL - DEMOLITION PLANS
SB-100	STRUCTURAL - FOUNDATION PLAN
SB-500	STRUCTURAL - FOUNDATION DETAILS
SF-100	STRUCTURAL - FRAMING PLAN
SF-500	STRUCTURAL - DETAILS
A0.0	NOTES
A1.1	FLOOR PLAN
A1.2	CEILING PLAN
A2.1	SCHEDULES
A3.1	INTERIOR ELEVATIONS
A4.1	ELEVATIONS/SECTIONS
A5.1	DETAILS
A5.2	DETAILS
P1.1	PLUMBING MAIN LEVEL WEST DRAIN & VENT PLAN
P1.2	PLUMBING MAIN LEVEL EAST DRAIN & VENT PLAN
P1.3	PLUMBING MAIN LEVEL WEST WATER & GAS
P1.4	PLUMBING MAIN & MEZZANINE EAST WATER & GAS PLAN
P2.1	PLUMBING LEGENDS AND DETAILS
P3.1	PLUMBING SCHEDULES, NOTES & SPECIFICATIONS
M1.1	MECHANICAL MAIN LEVEL WEST PLAN
M1.2	MECHANICAL MAIN LEVEL EAST PLAN
M1.3	MECHANICAL MEZZANINE & ATTIC EAST PLAN
M2.1	MECHANICAL DETAILS
M3.1	MECHANICAL SCHEDULES & NOTES
E0.0	ELECTRICAL NOTES AND ABBREVIATIONS
E0.1	ELECTRICAL LEGENDS
EL1.1	LIGHTING PLAN
EL5.1	LIGHTING FIXTURE SCHEDULE, NOTES AND DETAILS
EP1.1	POWER PLAN
EP6.1	ELECTRICAL SCHEDULES AND DETAILS
EY1.1	SYSTEMS PLAN

Location Map

No Scale



Camden, ME | Portland, ME | York, ME
207.236.9970 | www.cordjiacapitalprojects.com

PROJECT NOTES:

DEMOLITION NOTES

1. PROVIDE NOT LESS THAN 72 HOURS' NOTICE OF ACTIVITIES THAT WILL AFFECT OPERATIONS OF ADJACENT OCCUPIED BUILDINGS.
2. MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER FACILITIES USED BY OCCUPANTS OF ADJACENT BUILDINGS.
3. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY OWNER, OWNER'S REP AND ENGINEER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
4. TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF STRUCTURES ADJACENT TO THE WORK AREA.

UTILITIES

1. EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND PROTECT EXISTING UTILITIES WITHIN THE WORK AREA. NOTE THAT EXISTING UTILITIES INFORMATION HAS BEEN TAKEN FROM RECORD DRAWINGS AND INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MARKING AND PROTECTING EXISTING UTILITIES.

ITEMS TO BE REMOVED AND RE-INSTALLED OR RE-LOCATED:

1. CLEAN ITEMS OF DIRT AND DEMOLITION DEBRIS.
2. STORE ITEMS IN A SECURE AREA UNTIL RE-INSTALLATION.
3. PROTECT ITEMS FROM DAMAGE DURING STORAGE.
4. COORDINATE RE-LOCATION OF ITEMS WITH OWNER.

PROTECTION

1. EXISTING FACILITIES: PROTECT ADJACENT WALKWAYS, BUILDING ENTRIES, AND OTHER BUILDING FACILITIES DURING DEMOLITION OPERATIONS. MAINTAIN EXITS FROM EXISTING BUILDINGS, AS REQUIRED BY OWNER.
2. EXISTING UTILITIES: MAINTAIN UTILITY SERVICES TO REMAIN AND PROTECT FROM DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
3. TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, WHERE REQUIRED TO MAINTAIN OWNER USE OF PROPERTY AND AS INDICATED.
4. PROTECT ADJACENT BUILDINGS AND FACILITIES FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
5. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
6. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
7. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.
8. PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS.
9. REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST. WHERE OPEN EXCAVATIONS OR OTHER HAZARDOUS CONDITIONS REMAIN, LEAVE TEMPORARY BARRIERS AND PROTECTIONS IN PLACE.

DEMOLITION

1. GENERAL: DEMOLISH INDICATED SITE IMPROVEMENTS COMPLETELY. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
2. LOCATE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON BUILDING WALLS, OR FOUNDATIONS.
3. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT BUILDING DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
4. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
5. USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL-PROTECTION REGULATIONS.
6. EXPLOSIVES: USE OF EXPLOSIVES IS NOT PERMITTED.
7. SITE GRADING: UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES AND SUITABLE FOR ACCEPTANCE OF NEW SURFACE MATERIALS. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
8. EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED IN WRITING BY ENGINEER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES ACCORDING TO REQUIREMENTS INDICATED. A PRIVATE UTILITY DETECTION SERVICE WILL BE REQUIRED TO IDENTIFY UTILITIES ON PRIVATE PROPERTY. THIS WORK IS CONSIDERED INCIDENTAL AND THE COST SHALL BE INCLUDED IN THE BASE BID CONTRACT SUM.

EARTHWORK NOTES

PRODUCTS

1. GENERAL: THE ON-SITE SOILS ARE NOT SUITABLE FOR RE-USE UNDER NEW IMPROVEMENTS. EXCAVATED ON-SITE SOILS CLASSIFIED AS SATISFACTORY SOILS ACCORDING TO THE DEFINITION BELOW, AND SUITABLY CONDITIONED MAY BE USED TO RAISE GRADES IN LANDSCAPED AREAS TEN OR MORE FEET FROM NEW BUILDINGS OR STRUCTURES ONLY.
2. SATISFACTORY SOILS: MATERIALS FOR BACKFILL IN LANDSCAPED AREAS AND EMBANKMENTS SHALL MEET ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, Gmd, SW, SP, AND Smd, OR A COMBINATION OF THESE GROUP SYMBOLS; FREE OF ROCK FRAGMENTS LARGER THAN 3 INCHES (75 MM) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
3. UNSATISFACTORY SOILS: ASTM D 2487 SOIL CLASSIFICATION GROUPS GC, SC, ML, GMu, SMu, MH, CL, CH, OL, OH, AND PT, OR A COMBINATION OF THESE GROUP SYMBOLS, AND SATISFACTORY SOILS NOT MAINTAINED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.
4. STRUCTURAL FILL: CLEAN NON FROST-SUSCEPTIBLE SAND AND GRAVEL MEETING THE GRADATION REQUIREMENTS BELOW.

SIEVE	PERCENT PASSING
4-INCH	100
3-INCH	90-100
1/4-INCH	25-90
#40	0-30
#200	0-6
5. GRANULAR BORROW: SAND OR GRAVEL MEETING MAINE DOT SPECIFICATION 703.19.
6. ACCESSORIES: WARNING TAPE: ACID- AND ALKALI-RESISTANT POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES, 6 INCHES WIDE AND 4 MILS THICK, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF THE UTILITY WITH A SEPARATE METALLIC "TRACER". THIS IS REQUIRED FOR ALL NON-METALLIC UTILITY LINES EXCEPT "STRAIGHT RUNS" OF SEWER LINES AND STORM DRAINS BETWEEN MANHOLES.

PREPARATION

1. ALL COST FOR MOISTURE CONDITIONING AND COMPLYING WITH THE CONTRACT DOCUMENTS IS PART OF THE BASE BID.
2. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.

3. PREPARATION OF SUBGRADE FOR EARTHWORK OPERATIONS: ALL TOPSOIL, PEAT, ORGANIC MATERIAL, DEBRIS, RUBBISH, FROZEN SOILS, MUCK, LOOSE, OR DISTURBED SOILS AND OTHER DISTURBED MATERIALS SHALL BE REMOVED FROM THE AREA OF NEW CONSTRUCTION. TOPSOIL MAY BE STOCKPILED OUTSIDE THE CONSTRUCTION AREA FOR REUSE IN LANDSCAPED AREAS, OR DISPOSAL OFF-SITE. UNSUITABLE MATERIALS INCLUDE UNCONTROLLED FILLS (I.E. FILLS PLACED WITHOUT SYSTEMATIC DENSIFICATION AND MOISTURE CONTROL TO AN ACCEPTABLE COMPACTION PERCENTAGE), ASPHALTIC PAVEMENT, AND DELETERIOUS SUBSTANCES.
4. ANY EXISTING FILL BENEATH THE PROPOSED PAVEMENT AND BUILDING FOOTPRINTS SHALL BE EXCAVATED TO THE TOP OF INORGANIC NATURALLY DEPOSITED SOILS.
5. EXCAVATIONS WILL GENERALLY ENCOUNTER UNCONTROLLED FILLS, NATIVE CLAYS, SILTS AND SANDS. EXCAVATION IN SOILS SHALL BE COMPLETED WITH A SMOOTH-EDGED BUCKET TO LESSEN SUBGRADE DISTURBANCE.
6. PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS, WHICH ARE SHOWN ON THE DRAWINGS AND DETAILS DURING EARTHWORK OPERATIONS.
7. DUE TO THE PREVIOUSLY DEVELOPED NATURE OF THE SITE, THE PROJECT CONTRACTOR AND THEIR SUBCONTRACTORS SHOULD BE SENSITIVE TO THE POTENTIAL OF ENCOUNTERING OBSTRUCTIONS SUCH AS REMNANTS FROM PRIOR STRUCTURES AND BUILDINGS, ASSOCIATED FOUNDATIONS, AND UNDERGROUND UTILITIES (NOTE: BOTH ACTIVE AND ABANDONED) DURING SITE AND EARTHWORK ACTIVITIES. WHERE SUCH ITEMS ARE ENCOUNTERED BENEATH THE PROPOSED CONSTRUCTION LIMITS, THEY SHOULD BE EXCAVATED TO THEIR FULL EXTENT, REMOVED, AND REPLACED WITH COMPACTED STRUCTURAL FILL, PLACED IN LIFTS NOT EXCEEDING TWELVE INCHES AND COMPACTED TO 95% MAXIMUM DRY DENSITY (ASTM D 1557).
8. EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
9. THE INTEGRITY OF NATURAL SOILS AND FILL MUST BE MAINTAINED DURING COLD WEATHER CONDITIONS. PAVEMENT SUBGRADES SHOULD NOT BE ALLOWED TO FREEZE. THE NATURALLY DEPOSITED SOILS ARE CONSIDERED HIGHLY FROST SUSCEPTIBLE. FREEZING OF SUBGRADE SOILS BENEATH IMPROVEMENTS MIGHT RESULT IN HEAVING AND POST-CONSTRUCTION SETTLEMENT. THE CONTRACTOR SHOULD MAKE EVERY EFFORT TO PREVENT FREEZING OF SUBGRADE SOILS. IN THE EVENT FROST PENETRATION OCCURS, ALL FROZEN AND PREVIOUSLY FROZEN SOILS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STRUCTURAL FILL. AT NO TIME SHOULD FROZEN MATERIAL BE PLACED AS FILL.

EXCAVATION FOR WALKS AND PAVEMENTS

1. EXCAVATE SURFACES UNDER WALKS AND PAVEMENTS TO INDICATED LINES, CROSS SECTIONS, ELEVATIONS, AND SUBGRADES.
2. REMOVE ALL MAN PLACED FILL, TOPSOIL, ORGANIC MATTER, AND DEBRIS ENCOUNTERED WITHIN THE FOOTPRINT OF SITE IMPROVEMENTS AND STRUCTURES.

EXCAVATION FOR UTILITY, STORM DRAIN AND UNDERDRAIN TRENCHES

1. EXCAVATE TRENCHES TO INDICATED GRADIENTS, LINES, DEPTHS, AND ELEVATIONS.
2. EXCAVATE TRENCHES TO UNIFORM WIDTHS TO PROVIDE THE FOLLOWING TRENCH WIDTH. EXCAVATE TRENCH WALLS VERTICALLY FROM TRENCH BOTTOM TO 12 INCHES HIGHER THAN TOP OF PIPE OR CONDUIT, UNLESS OTHERWISE INDICATED.
3. A MINIMUM AND PAY WIDTH OF 2'-6" FOR CONDUITS UP TO 6" DIAMETER.
4. A MINIMUM OF 3'-0" OR 4/3 THE PIPE INSIDE DIAMETER PLUS 1'-6" FOR CONDUITS OVER 18".
5. TRENCH BOTTOMS: EXCAVATE AND SHAPE TRENCH BOTTOMS TO PROVIDE UNIFORM BEARING AND SUPPORT OF PIPES AND CONDUIT. SHAPE SUBGRADE TO PROVIDE CONTINUOUS SUPPORT FOR BELLS, JOINTS, AND BARRELS OF PIPES AND FOR JOINTS, FITTINGS, AND BODIES OF CONDUITS. REMOVE PROJECTING STONES AND SHARP OBJECTS ALONG TRENCH SUBGRADE.
6. EXCAVATE TRENCHES 6 INCHES DEEPER THAN ELEVATION REQUIRED IN ROCK OR OTHER UNYIELDING BEARING MATERIAL, 4 INCHES DEEPER ELSEWHERE, TO ALLOW FOR BEDDING COURSE.

SUBGRADE INSPECTION

1. PROOF-ROLL SUBGRADE CONSISTING OF GRANULAR SOILS (GRANULAR FILL, STRUCTURAL FILL OR GLACIAL TILL) BELOW SLABS AND UNDER PAVEMENT WITH AT LEAST 3 PASSES OF A 10 TON SMOOTH DRUM ROLLER.
2. ANY SOFT POCKETS, AREAS OF EXCESS YIELDING, OR AREAS DISTURBED DURING EXCAVATION AND CONSTRUCTION SHALL BE OVER EXCAVATED AND REPLACED WITH STRUCTURAL FILL. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES OR SUBGRADES CONSISTING OF SILT/CLAY SOILS (MARINE DEPOSITS).
3. THE EXPOSED SUBGRADE WILL BE EXAMINED IN THE FIELD BY THE ENGINEER TO OBSERVE THE STRENGTH AND BEARING CAPACITY OF THE SOILS. DISTURBED OR SOFT SOILS, AS JUDGED BY THE ENGINEER, SHALL BE EXCAVATED AND REPLACED WITH SUITABLE MATERIAL WITHOUT ADDITIONAL COMPENSATION.
4. RECONSTRUCT SUBGRADES DAMAGED BY FREEZING TEMPERATURES, FROST, RAIN, OR ACCUMULATED WATER, AS DIRECTED BY ENGINEER, WITHOUT ADDITIONAL COMPENSATION.
5. OVEREXCAVATE SUBGRADES DISTURBED/DAMAGED BY CONSTRUCTION VEHICLE TRAFFIC TO THE DEPTH AND PLAN LIMITS DIRECTED BY THE ENGINEER. REPLACE DISTURBED SOIL WITH SUITABLE MATERIAL WITHOUT ADDITIONAL COMPENSATION.

UTILITY, STORM DRAIN AND UNDERDRAIN TRENCH BACKFILL

1. PLACE BACKFILL ON SUBGRADES FREE OF MUD, FROST, SNOW, OR ICE.
2. PLACE AND COMPACT BEDDING COURSE ON TRENCH BOTTOMS AND WHERE INDICATED. SHAPE BEDDING COURSE TO PROVIDE CONTINUOUS SUPPORT FOR BELLS, JOINTS, AND BARRELS OF PIPES AND FOR JOINTS, FITTINGS, AND BODIES OF CONDUITS.
3. BACKFILL TRENCHES WITH ENGINEERED FILL, GRAVEL BORROW, OR GRANULAR BACKFILL, OR CRUSHED STONE.
4. PROVIDE 4-INCH THICK CONCRETE-BASE SLAB SUPPORT FOR PIPING OR CONDUIT LESS THAN 30 INCHES BELOW SURFACE OF ROADWAYS. AFTER INSTALLING AND TESTING, COMPLETELY ENCASE PIPING OR CONDUIT IN A MINIMUM OF 4 INCHES OF CONCRETE BEFORE BACKFILLING OR PLACING ROADWAY SUBBASE.
5. PLACE AND COMPACT PIPE ZONE BACKFILL TO A HEIGHT OF 6 INCHES OVER THE UTILITY PIPE OR CONDUIT.
6. CAREFULLY COMPACT PIPE ZONE BACKFILL UNDER PIPE HAUNCHES AND COMPACT EVENLY UP ON BOTH SIDES AND ALONG THE FULL LENGTH OF UTILITY PIPING OR CONDUIT TO AVOID DAMAGE OR DISPLACEMENT OF PIPING OR CONDUIT. COORDINATE BACKFILLING WITH UTILITIES TESTING.
7. PLACE AND COMPACT TRENCH GRANULAR BACKFILL OF SATISFACTORY SOIL TO FINAL SUBGRADE ELEVATION.
8. INSTALL WARNING TAPE DIRECTLY ABOVE UTILITIES AS NOTED IN SECTION 2.2, 12 INCHES BELOW FINISHED GRADE, EXCEPT 6 INCHES BELOW SUBGRADE UNDER PAVEMENTS AND SLABS.

SOIL FILL

1. PLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
2. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS AS FOLLOWS:
 - a. UNDER GRASS AND PLANTED AREAS, USE SATISFACTORY SOIL MATERIAL.
 - b. UNDER WALKS AND PAVEMENTS, USE GRANULAR BORROW, OR STRUCTURAL FILL, AS SHOWN ON THE DRAWINGS AND DETAILS, BELOW BASE AND SUBBASE GRAVELS.
3. IN OPEN AREAS, STRUCTURAL FILL SHOULD BE PLACED IN LEVEL, UNIFORM LIFTS NOT EXCEEDING 12 INCHES IN UNCOMPACTED THICKNESS AND BE COMPACTED WITH SELF-PROPELLED COMPACTION EQUIPMENT. IN CONFINED AREAS AND WITHIN 4 FEET OF FOUNDATION WALLS, STRUCTURAL FILL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 6 INCHES IN UNCOMPACTED THICKNESS AND BE COMPACTED WITH HAND-OPERATED COMPACTION EQUIPMENT. ALL FILL PLACED FOR FOOTING AND SLAB SUPPORT SHOULD BE STRUCTURAL FILL COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM STANDARD D1557.

SOIL MOISTURE CONTROL

1. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL SOIL LAYER BEFORE COMPACTION TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT.
2. DO NOT PLACE BACKFILL OR FILL SOIL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.
3. REMOVE AND REPLACE, AERATE OR CHEMICALLY TREAT OTHERWISE SATISFACTORY SOIL MATERIAL THAT EXCEEDS OPTIMUM MOISTURE CONTENT BY 2 PERCENT AND IS TOO WET TO COMPACT TO SPECIFIED DRY UNIT WEIGHT.

COMPACTION OF SOIL, BACKFILLS AND FILLS

1. GRANULAR BORROW, STRUCTURAL FILL AND PAVEMENT BASE AND SUBBASE MATERIALS: PLACE IN LAYERS NOT MORE THAN 12 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT AND NOT MORE THAN 8 INCHES FOR MATERIAL COMPACTED WITH HAND-GUIDED EQUIPMENT.
2. PLACE BACKFILL AND FILL SOIL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE.
3. COMPACT SOIL MATERIALS TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 1557:
 - a. STRUCTURES AND WALKWAYS - 95 PERCENT
 - b. TRENCHES - 95 PERCENT
 - c. PAVEMENT BASE AND SUBBASE AREAS - 95 PERCENT
 - d. LANDSCAPED AREAS - 90 PERCENT NOMINAL COMPACTION

GRADING

1. GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
2. SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
 - a. LAWN OR UNPAVED AREAS: PLUS OR MINUS 1 INCH.
 - b. WALKS: PLUS OR MINUS 1/4" WITH NO "BIRD BATHS".
 - c. PAVEMENTS: PLUS OR MINUS 1/2" WITH NO "BIRD BATHS".

SUBBASE AND BASE COURSES

1. PLACE SUBBASE AND BASE COURSE ON STABLE, FIRM SUBGRADES FREE OF MUD, FROST, SNOW, OR ICE.
2. ON PREPARED SUBGRADE, PLACE SUBBASE AND BASE COURSE UNDER PAVEMENTS AND WALKS AS FOLLOWS:
3. SHAPE SUBBASE AND BASE COURSE TO REQUIRED CROWN ELEVATIONS AND CROSS-SLOPE GRADES.
4. COMPACT SUBBASE AND BASE COURSE IN MAXIMUM 8 INCH LIFTS IN UNCOMPACTED THICKNESS AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS SECTIONS, AND THICKNESS TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 1557.

PROTECTION

1. PROTECTING GRADED AREAS: PROTECT NEWLY GRADED AREAS FROM TRAFFIC, FREEZING, AND EROSION. KEEP FREE OF TRASH AND DEBRIS.
2. REPAIR AND REESTABLISH GRADES TO SPECIFIED TOLERANCES WHERE COMPLETED OR PARTIALLY COMPLETED SURFACES BECOME ERODED, RUTTED, SETTLED, OR WHERE THEY LOSE COMPACTION DUE TO SUBSEQUENT CONSTRUCTION OPERATIONS OR WEATHER CONDITIONS WITHOUT ADDITIONAL COMPENSATION.
3. WHERE SETTLING OCCURS BEFORE PROJECT CORRECTION PERIOD ELAPSES, REMOVE FINISHED SURFACING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACING.
4. RESTORE APPEARANCE, QUALITY, AND CONDITION OF FINISHED SURFACING TO MATCH ADJACENT WORK, AND ELIMINATE EVIDENCE OF RESTORATION TO GREATEST EXTENT POSSIBLE.
5. ALL AREAS WHERE SOIL IS PLACED SHALL NOT HAVE STANDING WATER. THE CONTRACTOR SHALL KEEP WATER OUT OF THE WORK AREAS UNTIL BACKFILL IS COMPLETE OR ADEQUATE PROVISIONS TO PROTECT THE WORK HAVE BEEN TAKEN BY THE CONTRACTOR.

DISPOSAL OF SURPLUS AND WASTE MATERIALS

1. DISPOSAL: REMOVE SURPLUS SATISFACTORY SOIL EXCEPT LOAM AND MATERIALS OTHERWISE SHOWN ON THE CONTRACT DRAWINGS, WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.

AS-BUILT DRAWINGS

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING CERTIFIED AS-BUILT DRAWINGS SHOWING THE LOCATION OF ABOVE-GROUND AND BELOW GROUND IMPROVEMENTS, WITH MEASURED OR MARKED DISTANCES FROM IDENTIFIED REFERENCE POINTS. AS-BUILT DRAWINGS SHALL INCLUDE THE LOCATION OF BENDS AND FITTINGS ON UNDERGROUND UTILITY LINES.

PAVING NOTES

PROJECT CONDITIONS

1. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF SUBSTRATE IS WET OR EXCESSIVELY DAMP OR IF AMBIENT TEMPERATURE IS LESS THAN SPECIFIED IN MAINE DOT SPECIFICATIONS.
2. REGULATORY REQUIREMENTS: COMPLY WITH MATERIALS, WORKMANSHIP, AND OTHER APPLICABLE REQUIREMENTS OF MAINE DOT FOR ASPHALT PAVING WORK.

AGGREGATES

1. AGGREGATES SHALL CONSIST OF CRUSHED STONE, CRUSHED GRAVEL, CRUSHED SLAG, SCREENINGS, NATURAL SAND AND MINERAL FILLER AS REQUIRED. COARSE AGGREGATE: ASTM D 692/D 692M, SOUND; ANGULAR CRUSHED STONE, CRUSHED GRAVEL, OR CURED, CRUSHED BLAST-FURNACE SLAG.
2. FINE AGGREGATE: ASTM D 1073, SHARP-EDGED NATURAL SAND OR SAND PREPARED FROM STONE, GRAVEL, CURED BLAST-FURNACE SLAG, OR COMBINATIONS THEREOF.
3. MINERAL FILLER: ASTM D 242/D 242M, ROCK OR SLAG DUST, HYDRAULIC CEMENT, OR OTHER INERT MATERIAL.
4. ASPHALT MATERIALS
5. ASPHALT BINDER: AASHTO M 320, PG 64-28.
6. TACK COAT: AASHTO M 140 EMULSIFIED ASPHALT, OR AASHTO M 208 CATIONIC EMULSIFIED ASPHALT, SLOW SETTING, DILUTED IN WATER, OF SUITABLE GRADE AND CONSISTENCY FOR APPLICATION.

MIXES

1. HOT-MIX ASPHALT: DENSE-GRADED, HOT-LAID, HOT-MIX ASPHALT PLANT AND COMPLYING WITH THE FOLLOWING REQUIREMENTS:
2. PROVIDE MIXES WITH A HISTORY OF SATISFACTORY PERFORMANCE IN GEOGRAPHICAL AREA WHERE PROJECT IS LOCATED.
3. BASE COURSE: MAINE DOT 703.09 GRADING TYPE 19mm.
4. SURFACE COURSE: MAINE DOT 703.09 GRADING TYPE 9.5mm.

SURFACE PREPARATION

1. GENERAL: IMMEDIATELY BEFORE PLACING ASPHALT MATERIALS, REMOVE LOOSE AND DELETERIOUS MATERIAL FROM SUBSTRATE SURFACES. ENSURE THAT PREPARED SUBGRADE IS READY TO RECEIVE PAVING.
2. PROOF-ROLL SUBGRADE BELOW PAVEMENTS WITH HEAVY PNEUMATIC-TIRED EQUIPMENT TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES.

PLACING HOT-MIX ASPHALT

1. MACHINE PLACE HOT-MIX ASPHALT ON PREPARED SURFACE, SPREAD UNIFORMLY, AND STRIKE OFF. PLACE ASPHALT MIX BY HAND IN AREAS INACCESSIBLE TO EQUIPMENT IN A MANNER THAT PREVENTS SEGREGATION OF MIX. PLACE EACH COURSE TO REQUIRED GRADE, CROSS SECTION, AND THICKNESS WHEN COMPACTED.
2. SPREAD MIX AT A MINIMUM TEMPERATURE OF 275 DEG F.
3. REGULATE PAVER MACHINE SPEED TO OBTAIN SMOOTH, CONTINUOUS SURFACE FREE OF PULLS AND TEARS IN ASPHALT-PAVING MAT.
4. PLACE PAVING IN CONSECUTIVE STRIPS NOT LESS THAN 10 FEET WIDE UNLESS INFILL EDGE STRIPS OF A LESSER WIDTH ARE REQUIRED.
5. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.

Project:

AUBURN SENIOR CENTER RENOVATION
48 Pettingill Park Road, Auburn, Maine

Client:

City of Auburn, Maine
60 Court Street
Auburn, Maine 04210

Legend:

Consultant Name and Address:



541 U.S. Route One Suite: 21
Freeport, Maine 04032
207.869.9050

Firm Name and Address:



Portland, ME | Portland, ME | York, ME
207.236.9970 | www.cordjiacapitalprojects.com

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- 60% DESIGN DEVELOPMENT
- 90% DESIGN DEVELOPMENT
- 100% BID DOCUMENT
- 100% CONSTRUCTION DOCUMENT
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Sheet Title:

GENERAL CONSTRUCTION NOTES

No.	Revision/Issue	Date
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Design by:	ADJ	Checked by:	MAD
Drawn by:	MPV	Approved by:	BMB

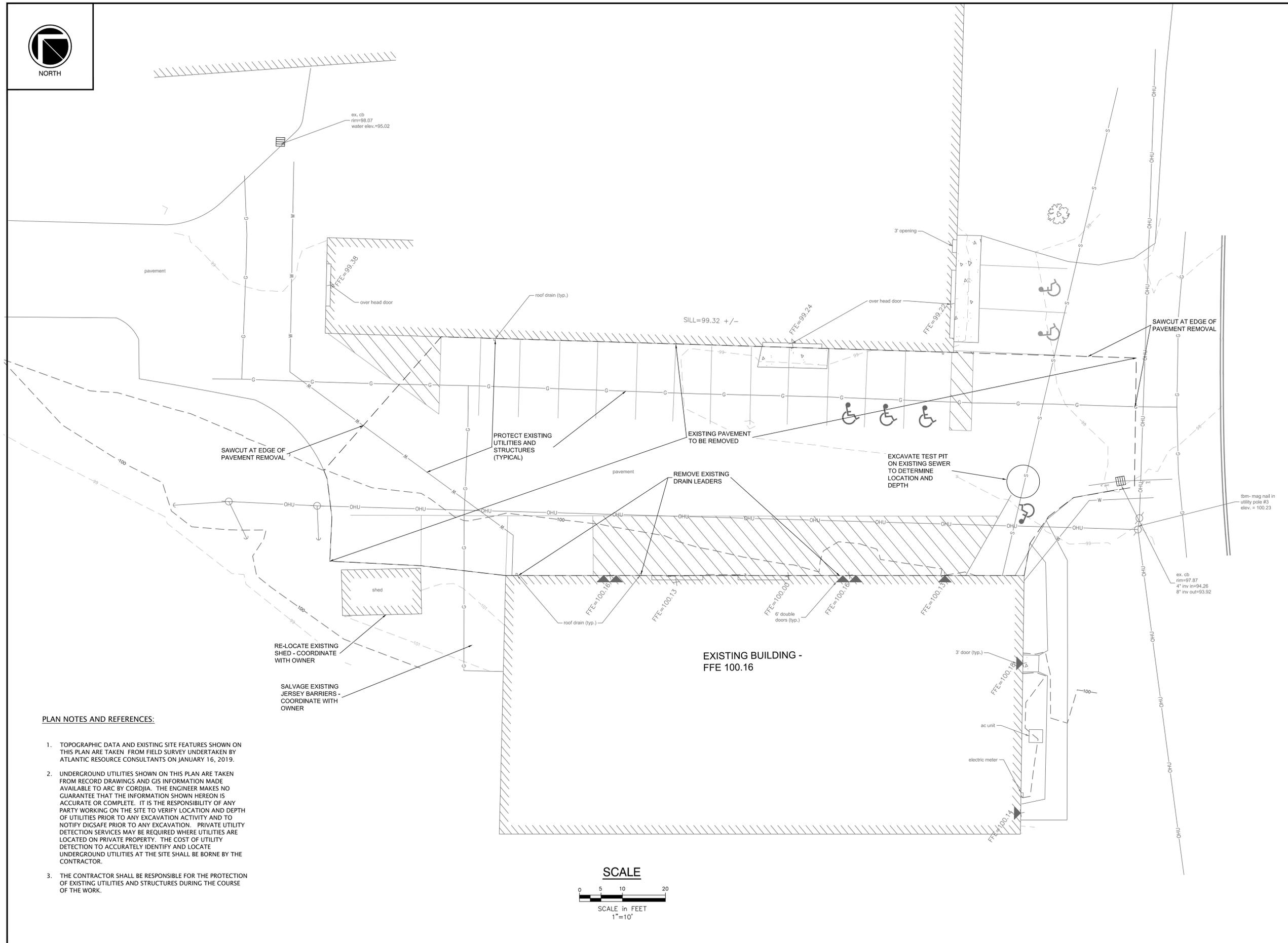
Project No:	1001	Date:	FEBRUARY 14, 2019
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Sheet Number:

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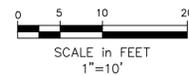
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PLAN NOTES AND REFERENCES:

1. TOPOGRAPHIC DATA AND EXISTING SITE FEATURES SHOWN ON THIS PLAN ARE TAKEN FROM FIELD SURVEY UNDERTAKEN BY ATLANTIC RESOURCE CONSULTANTS ON JANUARY 16, 2019.
2. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE TAKEN FROM RECORD DRAWINGS AND GIS INFORMATION MADE AVAILABLE TO ARC BY CORDJIA. THE ENGINEER MAKES NO GUARANTEE THAT THE INFORMATION SHOWN HEREON IS ACCURATE OR COMPLETE. IT IS THE RESPONSIBILITY OF ANY PARTY WORKING ON THE SITE TO VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO ANY EXCAVATION ACTIVITY AND TO NOTIFY DIGSAFE PRIOR TO ANY EXCAVATION. PRIVATE UTILITY DETECTION SERVICES MAY BE REQUIRED WHERE UTILITIES ARE LOCATED ON PRIVATE PROPERTY. THE COST OF UTILITY DETECTION TO ACCURATELY IDENTIFY AND LOCATE UNDERGROUND UTILITIES AT THE SITE SHALL BE BORNE BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES DURING THE COURSE OF THE WORK.

SCALE



Project:
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Client:
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 Auburn, Maine 04210

Legend:

EXIST. BUILDING	
EDGE PAVEMENT	
EDGE CONCRETE	
PAVEMENT PAINT	
CONTOURS	
SPOT GRADE	
BOLLARD	
SEWER	
SEWER MH	
UNDERDRAIN	

Consultant Name and Address:

Atlantic Resource Consultants
 Engineering Strategies and Solutions
 541 U.S. Route One Suite 21
 Freeport, Maine 04032
 207.869.9050

Firm Name and Address:

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 CAPITAL PROJECTS GROUP
 Camden, ME | Portland, ME | York, ME
 207.236.9970 | www.cordjia.com

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Sheet Title:
EXISTING CONDITIONS AND REMOVALS PLAN

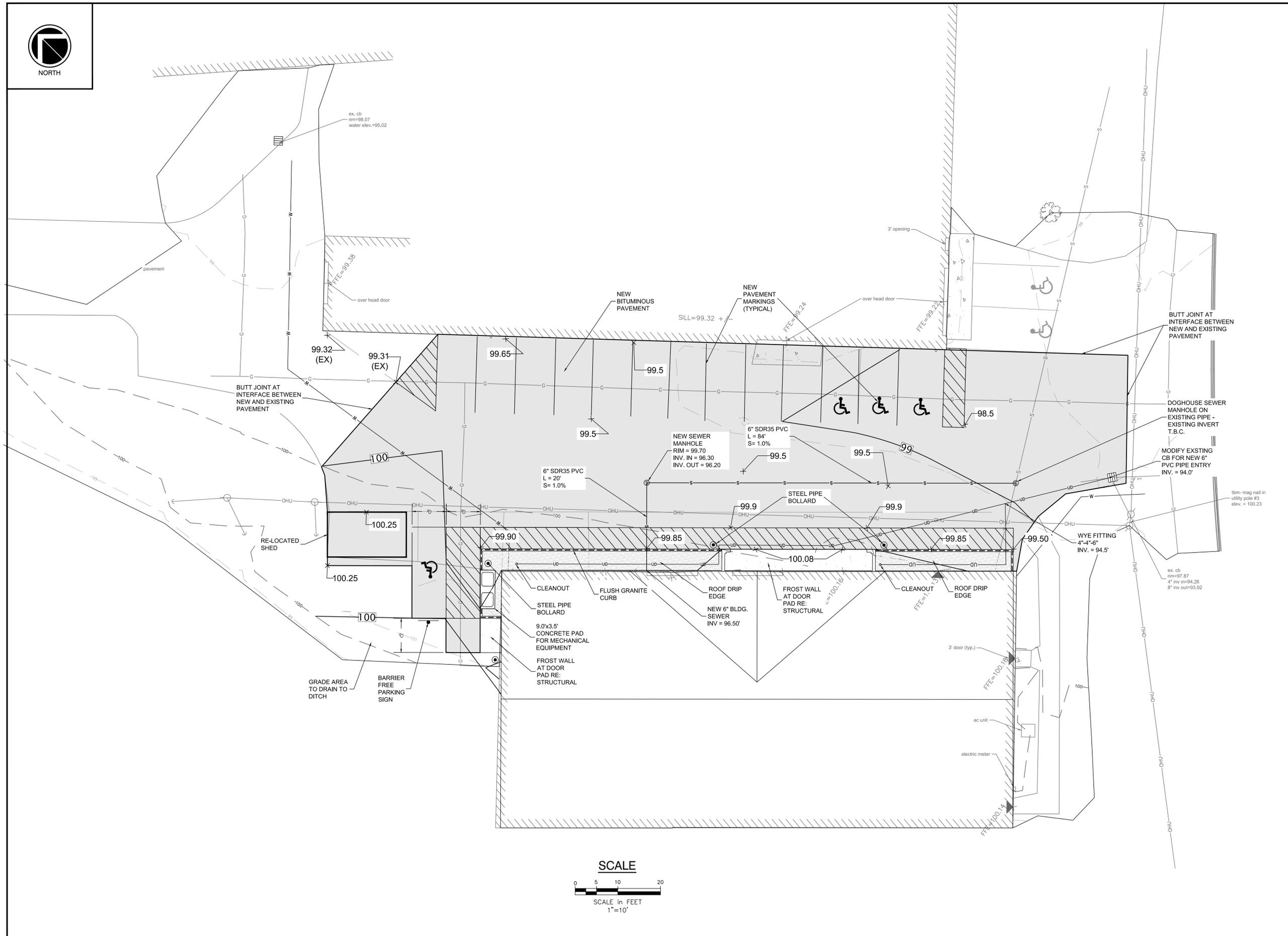
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Design by: ADJ	Checked by: MAD
Drawn by: MPV	Approved by: BMB
Project No: 1001	Date: FEBRUARY 18, 2019

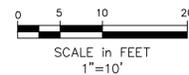
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SCALE



Project:
AUBURN SENIOR CENTER RENOVATION
 48 Pettingill Park Road, Auburn, Maine

Client:
 City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

EXIST. BUILDING	
EDGE PAVEMENT	
EDGE CONCRETE	
PAVEMENT PAINT	
CONTOURS	
SPOT GRADE	
BOLLARD	
SEWER	
SEWER MH	
UNDERDRAIN	

Consultant Name and Address:

Atlantic Resource Consultants
 Engineering Strategies and Solutions
 541 U.S. Route One Suite 21
 Freeport, Maine 04032
 207.869.9050

Firm Name and Address:

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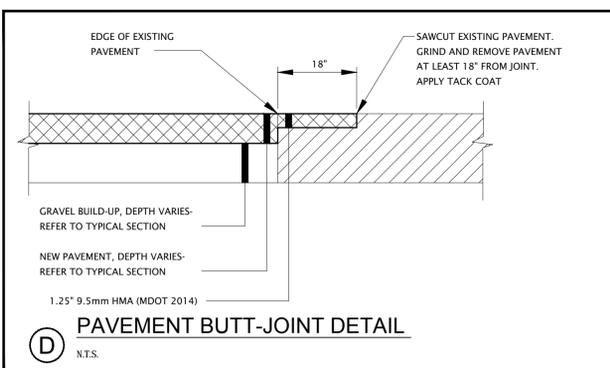
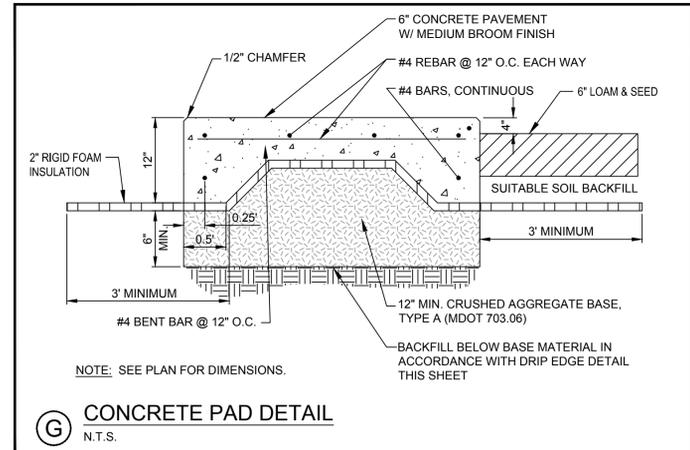
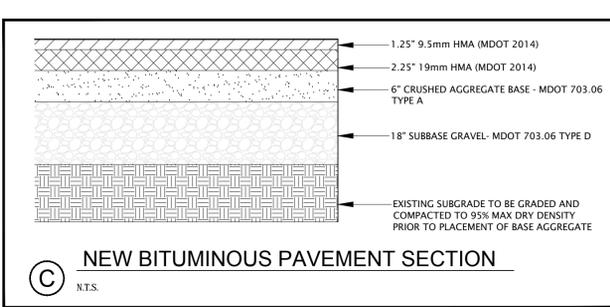
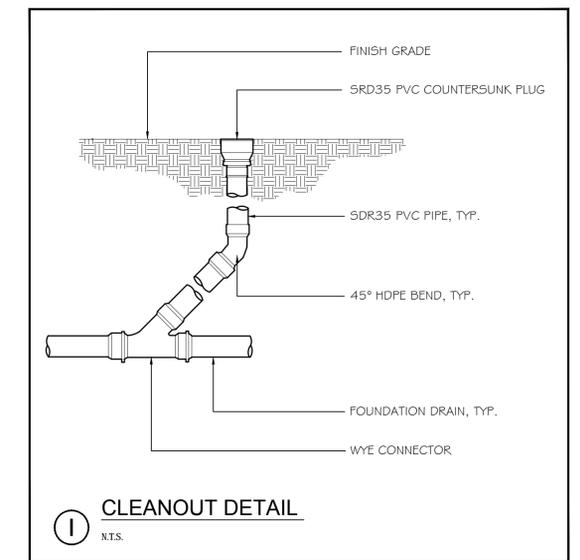
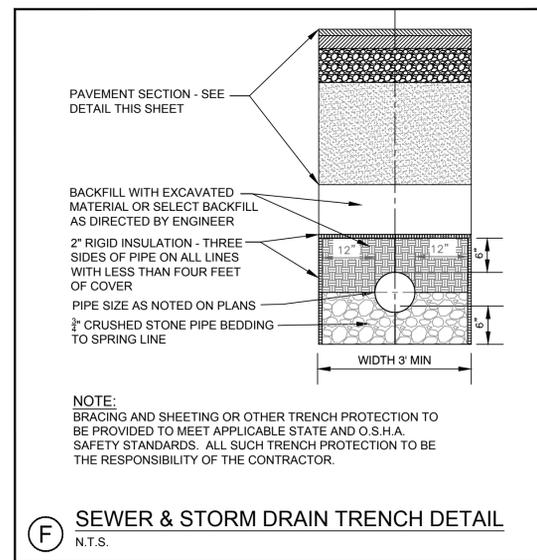
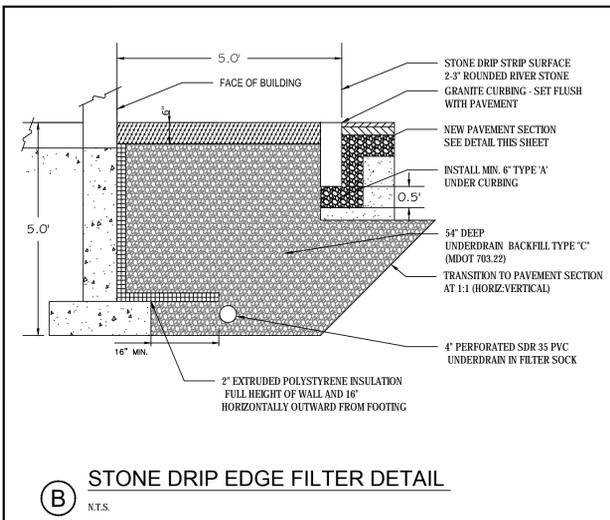
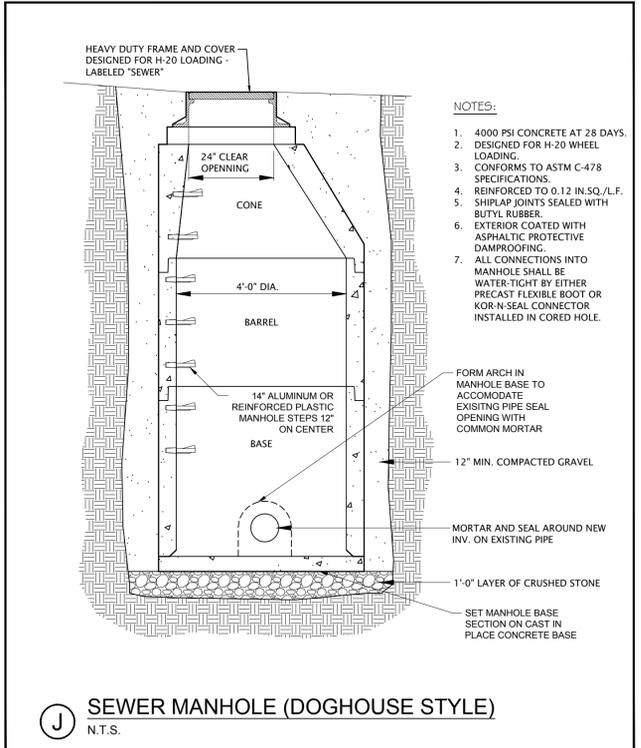
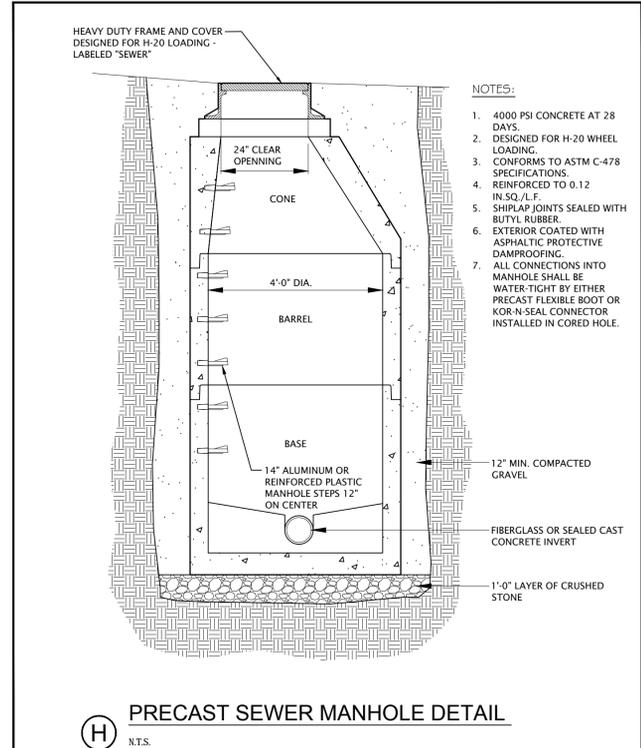
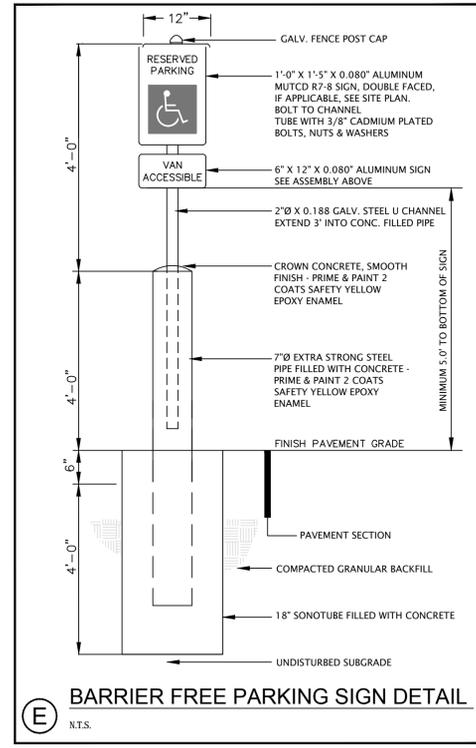
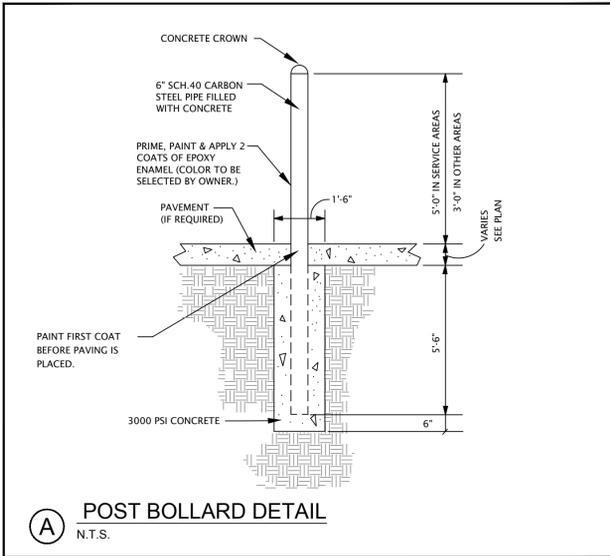
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Sheet Title:
OVERALL SITE DEVELOPMENT PLAN

No.	Revision/Issue	Date

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Drawn by:	MPV	Approved by:	BMB
Project No:	1001	Date:	FEBRUARY 18, 2019

Sheet Number:
C-101



Project:
AUBURN SENIOR CENTER RENOVATION
 48 Pettingill Park Road, Auburn, Maine

Client:
City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

Consultant Name and Address:
Atlantic Resource Consultants
 Engineering Strategies and Solutions
 541 U.S. Route One Suite 21
 Freeport, Maine 04032
 207.869.9050

Firm Name and Address:
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 Camden, ME | Portland, ME | York, ME
 207.236.9970 | www.cordjiacapitalprojects.com

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Sheet Title:
CIVIL DETAILS

No.	Revision/Issue	Date

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 Project No: 1001
 Date: FEBRUARY 18, 2019

Sheet Number:
C-301

WOOD CONSTRUCTIONS:

- LUMBER USED SHALL CONFORM TO THE FOLLOWING SPECIES:
 - LUMBER FOR TRUSSES SHALL BE AS REQUIRED BY THE TRUSS SUPPLIER.
 - LAMINATED VENEER LUMBER (LVL) SHALL HAVE AN ALLOWABLE BENDING STRESS F 2800 PSI, AN ALLOWABLE SHEAR STRESS OF 285 PSI, AND A MODULUS OF ELASTICITY OF 1,900,000 PSI.
 - OTHER LUMBER SHALL BE NO. 2 SPRUCE-PINE-FIR AS FOLLOWS:
FB = 875 PSI;
FV = 135 PSI;
E = 1,400,000 PSI
 - PRESSURE TREATED WOOD SHALL BE SYP #2 OR BETTER AND TREATED WITH ACQ-C OR ACQ-D CARBONATE PRESERVATIVE.
- METAL STRAPS SHALL CONFORM TO THE TRUSS PLATE INSTITUTE.
- WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- MECHANICAL CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT-DIP GALVANIZED CONNECTORS. ALL HOT-DIP GALVANIZED CONNECTORS SHALL MEET ASTM 653, CLASS G185 WITH 1.85 OUNCES OF ZINC PER SQUARE FOOT MINIMUM OR TYPE 304 AND 316 STAINLESS STEEL PRODUCTS.
- FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE (E.G. HOT-DIP NAILS WITH HOT-DIP JOIST HANGERS).
- MECHANICAL CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD AND NOT MEETING THE ABOVE CORROSION PROTECTION REQUIREMENTS SHALL BE ISOLATED FROM CONTACT WITH THE PRESSURE TREATED WOOD BY MEANS OF THREE LAYERS OF 15-LBS FELT PAPER.
- FOR INTERIOR BEARING WALLS, PROVIDE 2X WOOD BLOCKING BETWEEN STUDS AT ALL PANEL EDGES. INSTALL BLOCKING PRIOR TO INSTALLING FLOOR FRAMING BEARING ON THE WALL.

PREFABRICATED WOOD TRUSSES:

- LUMBER FOR TRUSSES SHALL BE AS REQUIRED BY THE TRUSS SUPPLIER.
- TRUSS DESIGN SHALL BE PREPARED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE AND UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED IN THE PROJECT STATE. ALL TRUSS DESIGN DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND SHALL BE SIGNED AND SEALED BY THE TRUSS DESIGN ENGINEER.
- SHOP DRAWINGS SHALL INCLUDE ERECTIONS DRAWINGS, DETAILS, BRIDGING AND OTHER CUSTOMARY INFORMATION REQUIRED TO PROPERLY CONSTRUCT THE ROOF TRUSSES. THE TRUSS SUPPLIER SHALL PROVIDE ALL HANGERS FOR LVLs AND TRUSSES. THE HANGER MARKS SHALL BE SHOWN AND MARKED ON THE ERECTION PLANS. THE TRUSS SUPPLIER SHALL COORDINATE SUPPORTS FOR HANGING PIPES, MECHANICAL UNITS AND OTHER EQUIPMENT.
- THE CONFIGURATION OF THE TRUSS WEB MEMBERS SHALL BE DETERMINED BY THE TRUSS MANUFACTURER UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS.
- ROOF TRUSSES ARE TO BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED IN PLANS.
- THE MAXIMUM TRUSS LIVE LOAD DEFLECTION SHALL BE SPAN/240 FOR ROOF TRUSSES AND SPAN/480 FOR FLOOR TRUSSES.
- TRUSS BRIDGING SHALL BE INSTALLED AS REQUIRED BY THE TRUSS MANUFACTURER'S DESIGN IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE SPECIFICATION AND RECOMMENDATIONS.
- TRUSS MANUFACTURER SHALL PROVIDE TEMPORARY AND PERMANENT LATERAL AND DIAGONAL TRUSS BRACING. TRUSS MANUFACTURER SHALL ALSO PROVIDE CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROJECT STATE. FOR THE DESIGN OF ALL TEMPORARY AND PERMANENT LATERAL AND DIAGONAL BRACING REQUIRED DESIGNED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE SPECIFICATION & RECOMMENDATIONS.
- CONTRACTOR SHALL ADEQUATELY BRACE WOOD TRUSSES DURING ERECTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY AND PERMANENT TRUSS BRACING TO WEB AND CHORD MEMBERS AND AS REQUIRED BY TRUSS MANUFACTURER.
- ROOF TRUSSES SHALL BE DESIGNED TO WITHSTAND ALL APPLIED WIND LOADS AT SITE IN COMBINATION WITH LOADS INDICATED ABOVE AND IN ACCORDANCE WITH SPECIFIED BUILDING CODE. WINDWARD, LEEWARD AND SUCTION WIND PRESSURES SHALL BE CONSIDERED IN THE DESIGN.
- ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO FABRICATION.
- TRUSSES SHALL BE STORED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- ROOF TRUSSES WITH SPANS GREATER THAN 5'-0" SHALL BE CONNECTED AT THE BEARING LOCATIONS AT EACH END AS NOTED BELOW:
 - WHERE THE ROOF TRUSS BEARS ON A DOUBLE 2X PLATE, THE TRUSS SHALL BE CONNECTED WITH A MINIMUM 2-12D TOENAILS AND A SIMPSON H2.5 HURRICANE ANCHOR AT EACH END OF TRUSS. THE DOUBLE 2X PLATE SHALL BE ANCHORED AT 4'-0" O.C. MAX TO THE STUDS WITH SIMPSON H2.5 HURRICANE ANCHOR.
 - WHERE THE ROOF TRUSS CONNECTS TO ANOTHER TRUSS OR BEAM, IT SHALL BE CONNECTED WITH A GALVANIZED METAL TRUSS ANCHOR OR HANGER CAPABLE OF RESISTING GRAVITY AND WIND LOADS.
- TRUSS AND CONNECTION DESIGN IS TO CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, NFPA, AND TRUSS PLATE INSTITUTE (TPI) SPECIFICATIONS.
- TRUSS CONNECTOR PLATES SHALL BE AT LEAST 20 GA GALVANIZED STEEL. NO INCREASE IN ALLOWABLE STRESS DUE TO DURATION OF LOAD SHALL BE USED IN CONNECTOR PLATE DESIGN.
- PROVIDE CONTINUOUS BRIDGING AS REQUIRED BY TPI RECOMMENDATIONS AND FOR NET WIND UPLIFT.
- TRUSSES ARE LATERALLY UNSTABLE UNTIL PROPERLY BRACED. TEMPORARY ERECTION BRACING SHALL BE PROVIDED DURING INSTALLATION, AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ERECTION SHALL BE IN ACCORDANCE WITH STRUCTURAL BUILDING COMPONENTS ASSOCIATION "BUILDING COMPONENT SAFETY INFORMATION" GUIDELINES.

WOOD STRUCTURAL PANELS:

- ROOF SHEATHING SHALL BE 19/32" APA EXPOSURE 1 (40/20) PLYWOOD OR OSB (UNLESS NOTED OTHERWISE). PROVIDE PLYWOOD EDGE CLIPS, RIDGE CLIPS AND HIP CLIPS. FASTEN WITH 8D COMMON NAILS 12" O.C. IN FIELD, 6" O.C. AT EDGES.
- WALL SHEATHING SHALL BE 7/16" APA EXTERIOR GRADE, EXPOSURE 1 (24/16) PLYWOOD OR OSB PANELS (UNLESS NOTED OTHERWISE). FASTEN WITH MINIMUM 8D COMMON NAILS 12" O.C. IN FIELD, 6" O.C. AT EDGES. INCREASE EDGE NAILING WHERE NOTED ON DRAWINGS. PROVIDE 2X BLOCKING AT ALL EDGES.

STRUCTURAL NOTES:

- BUILDING CODE:**
 - INTERNATIONAL BUILDING CODE – 2015 EDITION
 - ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- MINIMUM LOADING REQUIREMENTS:**
 - RISK CATEGORY II**
 - ROOF SNOW LOADS:** LOADS (EXCEPT AT DRIFTING SNOW LOCATIONS AND THOSE LISTED BELOW)
 - GROUND SNOW LOAD: $P_g = 80.0$ PSF
 - IMPORTANCE FACTOR: $I = 1.0$
 - COLD ROOF SLOPE FACTOR: $C_s = 1.0$
 - THERMAL FACTOR: $C_t = 1.1$
 - EXPOSURE FACTOR: $C_e = 1.0$
 - TERRAIN CATEGORY: B
 - FLAT ROOF SNOW LOAD: $P_f = 56.0$ PSF
 - DRIFT – AS INDICATED ON THE DRAWINGS.
 - ROOF DEAD LOAD:** 15.0 PSF
 - TYPICAL
 - WIND:**
 - FACTORS:**
 - BASIC WIND SPEED: 120 MPH
 - EXPOSURE CATEGORY: "B"
 - WIND DESIGN PRESSURE**
 - MWFRS
 - END ZONE WIDTH: 15 FEET
 - TRANSVERSE: 20 PSF
 - INTERIOR ZONE: 24 PSF
 - END ZONE: 24 PSF
 - LONGITUDINAL
 - INTERIOR ZONE: 20 PSF
 - END ZONE: 24 PSF
 - COMPONENTS AND CLADDING
 - END ZONE WIDTH: 12 FEET
 - WALLS
 - FIELD: 22 PSF
 - END ZONES: 26 PSF
 - ROOF UPLIFT (IBC 2015)
 - FIELD: 19 PSF
 - PERIMETER: 38 PSF
 - CORNERS: 42 PSF
 - STRIP WIDTH: 6 FEET
 - SEISMIC:**
 - COEFFICIENTS:**
 - RESPONSE SPECTRAL ACC. (0.2 SEC.) $S_s = 0.231G$
 - RESPONSE SPECTRAL ACC. (1.0 SEC.) $S_1 = 0.078G$
 - SOIL CLASSIFICATION: D
 - MAX. CONSIDERED EARTHQUAKE ACC @ 5% DAMPED DESIGN: $S_{0s} = 0.245$; $S_{01} = 0.124$
 - BUILDING CATEGORY: II
 - IMPORTANCE FACTOR: 1.00
 - SEISMIC DESIGN CATEGORY FOR 0.1 AND 1.0 SECONDS: B
 - DESIGN COEFFICIENTS AND FACTORS FOR SEISMIC FORCE RESISTING SYSTEMS**
 - BUILDING FRAME SYSTEM**
 - LIGHT-FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS**
 - RESPONSE MODIFICATION FACTOR: $R = 6-1/2$
 - SYSTEM OVERSTRENGTH FACTOR: $\Omega_o = 3$
 - DEFLECTION AMPLIFICATION FACTOR**: $C_D = 4$
 - LIGHT-FRAMED WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS**
 - RESPONSE MODIFICATION FACTOR: $R = 2$
 - SYSTEM OVERSTRENGTH FACTOR: $\Omega_o = 2 \frac{1}{2}$
 - DEFLECTION AMPLIFICATION FACTOR: $C_D = 2$
- STRUCTURAL STEEL SHALL BE DESIGNED USING THE 13TH EDITION OF THE AISC STEEL CONSTRUCTION MANUAL. STEEL BEAMS SHALL CONFORM TO ASTM A992, FY = 50KSI; MISCELLANEOUS PLATES, SHAPES, CHANNELS, ANGLES ETC. SHALL CONFORM TO ASTM A36, FY = 36KSI; STEEL TUBING: COLD-FORMED STEEL TUBING COMPLYING WITH ASTM A500, STEEL PIPE: ASTM A53, STANDARD WEIGHT (SCHEDULE 40), UNLESS ANOTHER WEIGHT IS INDICATED OR REQUIRED BY STRUCTURAL LOADS.
- UNLESS NOTED OTHERWISE, BASE PLATE ANCHOR BOLTS IN NEW CONSTRUCTION SHALL BE
 - ANCHOR RODS: 3/4" Ø ASTM F1554 GRADE 36
 - NUTS: ASTM A563, GRADE A
 - WASHERS: ASTM F4367
- INSPECTION REPORTS SHALL BE FURNISHED TO THE OWNER, BUILDING OFFICIAL, ARCHITECT AND SER. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND IF NOT CORRECTED, SHALL BE REPORTED TO THE OWNER, BUILDING OFFICIAL, ARCHITECT AND STRUCTURAL ENGINEER OF RECORD.

GENERAL NOTES:

- CONTRACTORS SHALL CONFORM TO SAFETY REQUIREMENTS OF THE OWNER, AIA DOCUMENT A201, OSHA SAFETY AND HEALTH STANDARDS, AND OTHER LOCAL AUTHORITIES IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
- WORK SHALL BE DONE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION AND ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- REFERENCED STANDARDS OR PUBLICATIONS SHALL PERTAIN TO THE MOST CURRENT DATA, STANDARD OR PUBLICATION, UNLESS NOTED OTHERWISE.
- NOTES ON THESE DRAWINGS SHALL NOT SUPERSEDE OR REPLACE INFORMATION PROVIDED IN THE SPECIFICATIONS. ANY INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PORTIONS OF THE WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, AS WELL AS THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL DRAWINGS. ALL DIMENSIONS AND ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS, WITH THE EXCEPTION OF STRUCTURAL MEMBER SIZES, ARE GENERATED BY OTHER DISCIPLINES. ANY DIMENSIONS OR ELEVATIONS OMITTED OR NOT SHOWN ON THE STRUCTURAL DRAWINGS SHOULD BE OBTAINED FROM THE DRAWINGS OF THE OTHER DISCIPLINES. ANY INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PORTIONS OF THE WORK.
- IF DIFFERENCES OCCUR WITHIN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS REGARDING MATERIALS, STRENGTHS OR QUANTITIES, THE BETTER, HIGHER STRENGTH, AND GREATER QUANTITY INDICATED, SPECIFIED OR NOTED SHALL BE PROVIDED.
- THE CONTRACTOR SHALL VISIT THE SITE AT A DESIGNATED TIME APPROVED BY THE OWNER, TO VERIFY EXISTING CONDITIONS, DIMENSIONS, LOCATION OF EXISTING UTILITIES, ETC. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITHOUT EXCEPTION.
- THE STRUCTURE HAS BEEN DESIGNED AS A SELF-SUPPORTING SYSTEM ONCE ALL WORK CONTAINED ON THESE DRAWINGS HAS BEEN COMPLETED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCE OF INSTALLATION TO ENSURE SAFETY OF THE BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS AND TEMPORARY SHORING, PRECAUTIONS DURING BUILDING OPERATIONS, PROTECTION OF PUBLIC AND WORKERS, REMOVAL OF WASTE MATERIAL, PROTECTION OF ADJACENT PROPERTY, PROTECTION OF HAZARDOUS OPENINGS, SAFETY PRECAUTIONS, AND SANITARY PROVISIONS OF EMPLOYEES AND SUBCONTRACTORS AS REQUIRED FOR THE DURATION OF THE CONTRACT.
- WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK TO BE DONE BY SUBCONTRACTORS, LOCAL AUTHORITIES, STATE AGENCIES AND/OR UTILITY COMPANIES WHICH MAY HAVE JURISDICTION OVER THIS PROJECT.
- UTILITY EXTENSIONS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES OR AS INDICATED BY THE SPECIFICATIONS.
- CONTRACTOR SHALL REVIEW AND SUBMIT COMPLETE SHOP DRAWINGS FOR ALL SPECIFIED PARTS OF THE WORK, INCLUDING SHORING AND CONSTRUCTION METHODS/SEQUENCING WHERE APPLICABLE. NO PORTION OF THE WORK COVERED BY THESE SHOP DRAWINGS SHALL COMMENCE UNTIL RETURNED APPROVED SHOPS ARE RECEIVED BY THE CONTRACTOR. SEE SPECIFICATIONS FOR SPECIFIC SHOP SUBMITTAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY EXISTING ITEMS DAMAGED BY NEW CONSTRUCTION, AND FOR ANY INCIDENTAL REPAIRS OF EXISTING FINISHED SURFACES DISTURBED BY NEW CONSTRUCTION; SUCH REPAIRS SHALL MATCH EXISTING TO THE OWNER'S SATISFACTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING, HANDLING, AND STORAGE OF ITEMS/MATERIALS TO REMAIN THE PROPERTY OF THE OWNER WITH THE OWNER'S REPRESENTATIVE.
- SPECIAL INSPECTIONS AS REQUIRED BY IBC 2015 SHALL BE PERFORMED BY AN INSPECTION AGENCY CONTRACTED BY THE OWNER FOR ALL WOOD, STEEL, CONCRETE, MASONRY AND SOIL ACTIVITIES.

FOUNDATIONS:

- INTERIOR SPREAD FOOTINGS AND EXTERIOR STRIP FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATIVE SOIL OR COMPACTED STRUCTURAL FILL.
- EXTERIOR STRIP AND SPREAD FOOTINGS SHALL HAVE MINIMUM 5'-0" GRADE COVER TO BOTTOM OF FOOTING ELEVATIONS.
- EXTERIOR CONCRETE SLABS ON GRADE SHALL BE UNDERLAIN BY AT LEAST 5'-0" OF CRUSHED STONE, UNLESS OTHERWISE NOTED, REINFORCE SLABS WITH #4 @ 12" EACH WAY AT CENTER OF SLAB.
- FOUNDATION WALL REINFORCING WILL BE ADJUSTED AS REQUIRED NOT TO INTERFERE WITH BASE PLATE ANCHOR BOLTS
- EXCAVATIONS FOR BUILDING FOUNDATIONS AND STRUCTURES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS. BRACED EXCAVATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROJECT STATE. DO NOT UNDERMINE EXISTING ADJACENT FOUNDATIONS.

CONCRETE:

- CONCRETE WORK SHALL COMPLY WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS"; ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"; AND ACI 315 "ACI DETAIL MANUAL", AND CRSI "MANUAL OF STANDARD PRACTICE".
- CONTRACTOR SHALL PROVIDE TIES AND BRACING WHERE NECESSARY DURING CONSTRUCTION, TO REMAIN IN PLACE UNTIL THE STRUCTURES ARE COMPLETE.
- CONCRETE SHALL BE:
 - FOOTING AND FOUNDATION WALLS: 3500 PSI AT (28) DAYS (W/C = 0.49) AIR ENTRAINED.
 - INTERIOR SLABS ON-GRADE: 4,000 PSI CONCRETE AT (28) DAYS. SLUMP SHALL NOT EXCEED 4-INCHES +/- 1-INCH (W/C = 0.52). NO AIR.
 - EXTERIOR SLABS ON GRADE SIDEWALKS, AND STAIRS SHALL BE 4000 PSI AT (28) DAYS. SLUMP SHALL NOT EXCEED 4-INCHES +/- 1-INCH (W/C = 0.45). AIR-ENTRAINED.
- CONCRETE MATERIALS:
 - PORTLAND CEMENT: ASTM C150, TYPE I OR II. USE ONE TYPE THROUGHOUT PROJECT.
 - NORMAL WEIGHT AGGREGATE: ASTM C33. PROVIDE FROM SINGLE SOURCE FOR ENTIRE PROJECT. NO AGGREGATE CONTAINING SOLUBLE SALTS, IRON SULFIDES, PYRITE, MARCASITE OR OCHRE WHICH CAN CAUSE STAINS ON EXPOSED CONCRETE SURFACE.
 - LIGHTWEIGHT AGGREGATES: ASTM C330.
 - WATER: POTABLE.
 - AIR-ENTRAINING ADMIXTURE: ASTM C260.
 - HIGH-RANGE WATER REDUCING ADMIXTURES (SUPER PLASTICIZER): ASTM C494 TYPE F OR G CONTAINING NOT MORE THAN 1% CHLORIDE IONS.
 - NORMAL RANGE WATER REDUCING ADMIXTURES: ASTM C494 TYPE A CONTAINING NO CALCIUM CHLORIDE.
 - ACCELERATING ADMIXTURES: ASTM C494, TYPE C OR E.
- PROVIDE PVC SLEEVES WHERE PIPES PASS THROUGH CONCRETE WALLS OR SLABS.
- CONCRETE SHALL NOT BE PLACED ON FROZEN GROUND OR IN WATER.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS, AND SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH ACI 315-LATEST EDITION.
- COMPLETE SHOP DRAWINGS AND SCHEDULES OF ALL REINFORCING STEEL SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF THAT PORTION OF THE WORK. ACCESSORIES SHALL BE SHOWN ON THE SHOP DRAWINGS.
- UNLESS OTHERWISE NOTED, 5-INCH SLABS ON GRADE SHALL BE REINFORCED WITH 6 X 6 X W2.9 X W2.9 WWM.
- CONTRACTOR SHALL CHECK WITH EACH TRADE TO ASSURE CORRECT LOCATION, SIZE, LINE AND ELEVATION OF SLEEVES, BOND-OUTS, ETC. REQUIRED IN CONCRETE FLOORS AND WALLS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FLOOR DRAIN SETTING AND EXTENTS OF AREA SLOPE TO DRAIN DEVELOPMENT. SEE ARCHITECTURAL AND PLUMBING PLANS TO ENSURE COMPLETE AREA DRAINAGE.
- WELDING OF REINFORCEMENT IS NOT PERMITTED.
- EXPOSED CONCRETE SHALL BE NEATLY FINISH-RUBBED.
- STRUCTURAL STEEL BELOW FINISH FLOOR SHALL RECEIVE (2) COATS OF BITUMINOUS MASTIC.
- ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED. CONCRETE SHALL NOT BE IN DIRECT CONTACT WITH ALUMINUM.
- PROVIDE IN SLABS ON GRADE (2) BARS 4'-0" LONG AT EACH REENTRANT CORNER AND BOTH SIDES OF DOOR OPENING.
- REFER TO ACI 318 (LATEST EDITION) FOR MINIMUM CONCRETE COVER FOR REINFORCING STEEL.
- UNLESS OTHERWISE NOTED, REINFORCING LAP SPLICES SHALL BE ACI CLASS B SPLICES USING THE FOLLOWING LAP LENGTHS:

BAR SIZE:	3	4	5	6	7	8	9	10	11
LAP (IN):	22	29	36	43	63	72	80	89	98
- COORDINATE SLAB DEPRESSIONS AND INTERIOR FLOOR SLOPES TO DRAIN LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- SLAB THICKNESSES INDICATED ON THE DRAWINGS ARE MINIMUMS. PROVIDE SUFFICIENT CONCRETE TO ACCOUNT FOR STRUCTURE DEFLECTION AND/OR SUBGRADE FLUCTUATIONS IN ORDER TO OBTAIN SPECIFIED SLAB ELEVATIONS AT THE FLATNESS AND LEVELNESS INDICATED IN THE SPECIFICATION.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A1554, GRADE 36 HOT-DIPPED GALVANIZED UNLESS NOTED OTHERWISE ON PLAN.

Project: **AUBURN SENIOR CENTER RENOVATION**
48 Pettingill Park Road, Auburn, Maine

Client: **City of Auburn, Maine**
60 Court Street
Auburn, Maine 04210

Legend:

Consultant Name and Address:



Firm Name and Address:



Drawing Status:

- CONCEPT DESIGN
- 30% DESIGN DEVELOPMENT
- 60% DESIGN DEVELOPMENT
- 90% DESIGN DEVELOPMENT
- 100% BID DOCUMENT
- 100% CONSTRUCTION DOCUMENT
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Sheet Title:

STRUCTURAL - GENERAL INFORMATION

No.	Revision/Issue	Date
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Design by:	JPC	Checked by:	
Drawn by:	PED	Approved by:	

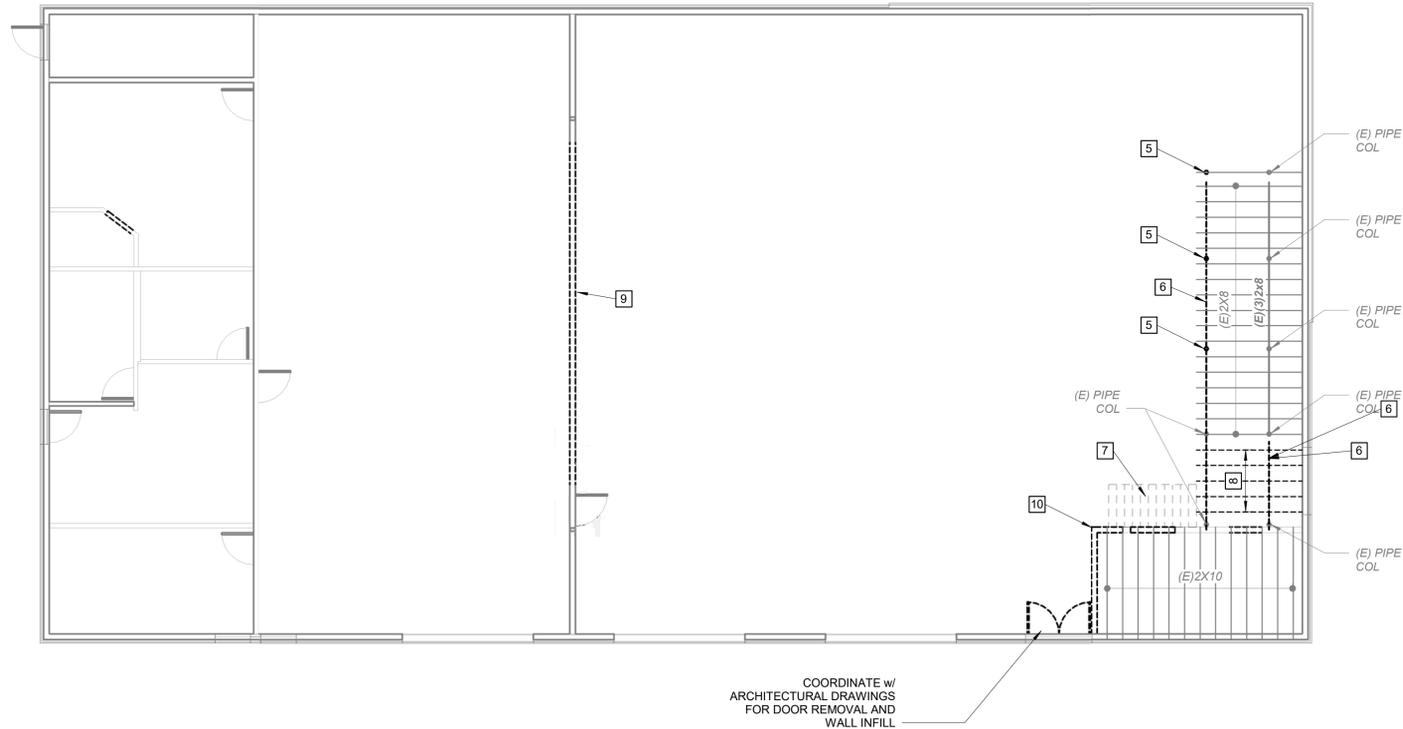
Project No.:	C.C.P.G. #1185	Date:	02/18/19
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Sheet Number:

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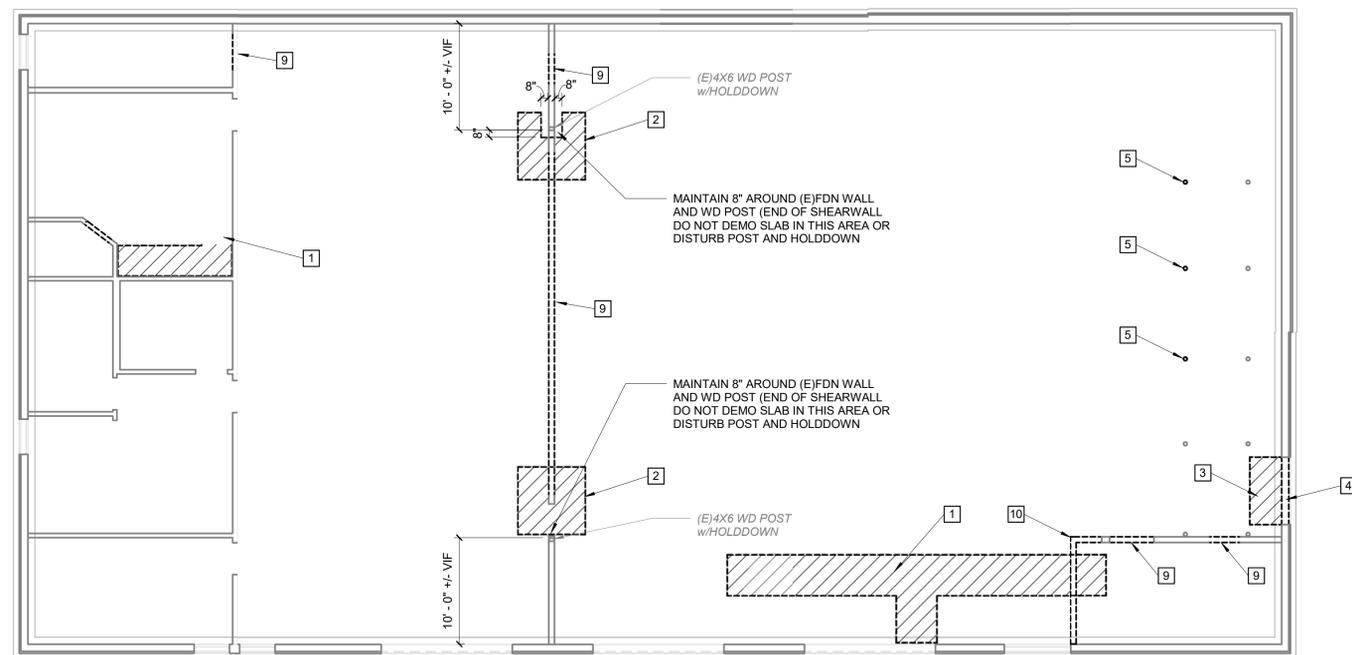
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Design by: JPC	Checked by: Checker
Drawn by: PED	Approved by: Approver
Project No: CCPG #1185	Date: 02/18/19



D1 STRUCTURAL ~ MEZZANINE LEVEL DEMOLITION PLAN

1/8" = 1'-0"



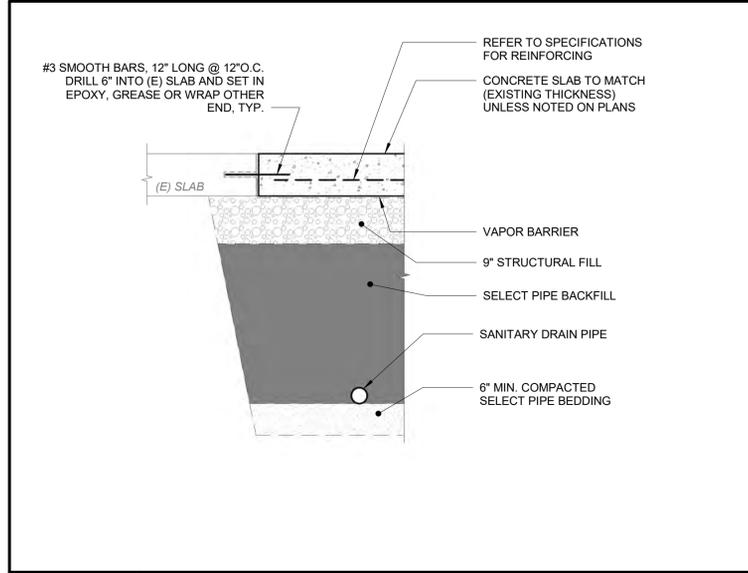
A1 STRUCTURAL ~ FOUNDATION DEMOLITION PLAN

1/8" = 1'-0"

DEMOLITION KEYED NOTES:

- 1 REMOVE SLAB AS REQUIRED TO INSTALL UTILITIES
- 2 REMOVE SLAB AT PROPOSED COLUMN FOOTING LOCATIONS
- 3 REMOVE SLAB AT PROPOSED ENTRY
- 4 REMOVE TOP OF FOUNDATION WALL AT PROPOSED ENTRY TO 12" BELOW TOP OF EXISTING SLAB ELEVATION
- 5 REMOVE EXISTING STEEL PIPE COLUMN
- 6 REMOVE EXISTING (3)2X8 BEAM
- 7 REMOVE EXISTING WOOD STAIR
- 8 REMOVE EXISTING FLOOR JOISTS AND FLOOR SHEATHING
- 9 REMOVE EXISTING WALL FOR PROPOSED OPENING - COORDINATE WITH ARCHITECTURAL DRAWINGS
- 10 REMOVE WALL - COORDINATE WITH ARCHITECTURAL DRAWINGS

A7 DEMOLITION KEYED NOTES

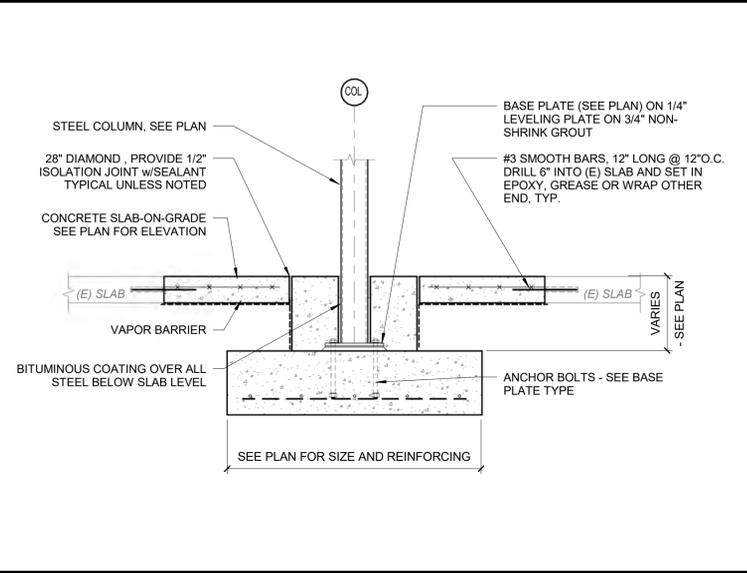


STRUCTURAL FILL	
SIEVE SIZE	PERCENT FINER
4 INCH	100
1/2 INCH	35 TO 70
1/4 INCH	25 TO 60
NO. 40	0 TO 25
NO. 200	0 TO 5

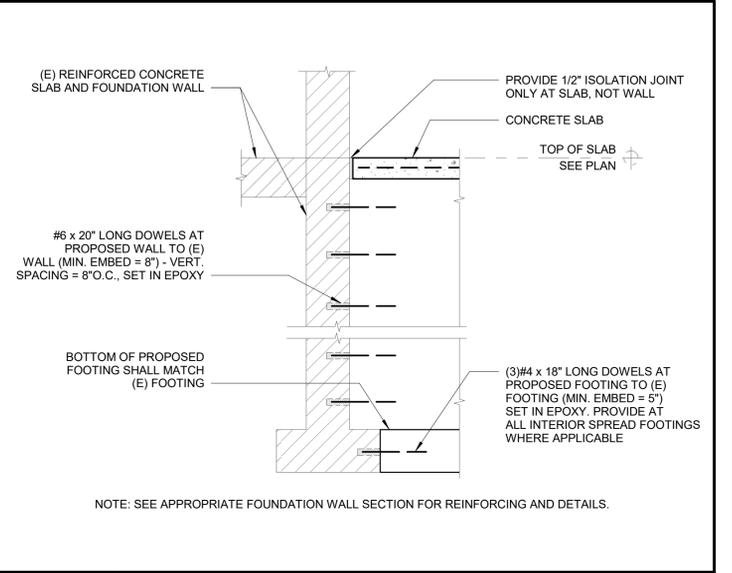
SELECT PIPE BACKFILL	
SIEVE SIZE	PERCENT FINER
3/8 INCH	80 TO 100
NO. 40	0 TO 5

STRUCTURAL FILL	
SIEVE SIZE	PERCENT FINER
1 INCH	100
3/4 INCH	90 TO 100
1/4 INCH	25 TO 55
NO. 4	0 TO 10
NO. 10	0 TO 5

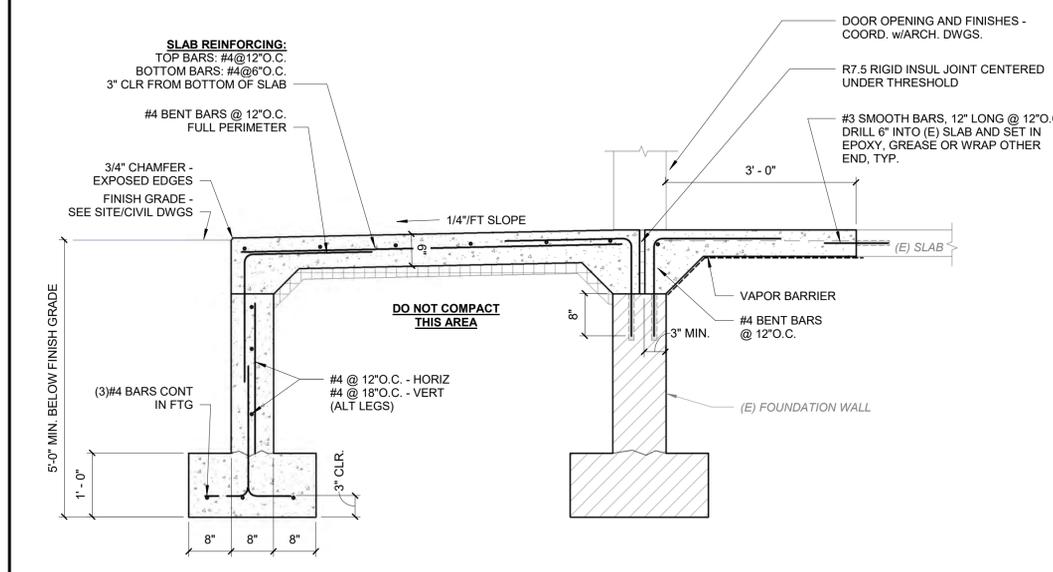
D1 TYPICAL PIPE TRENCH DETAIL
3/4" = 1'-0"



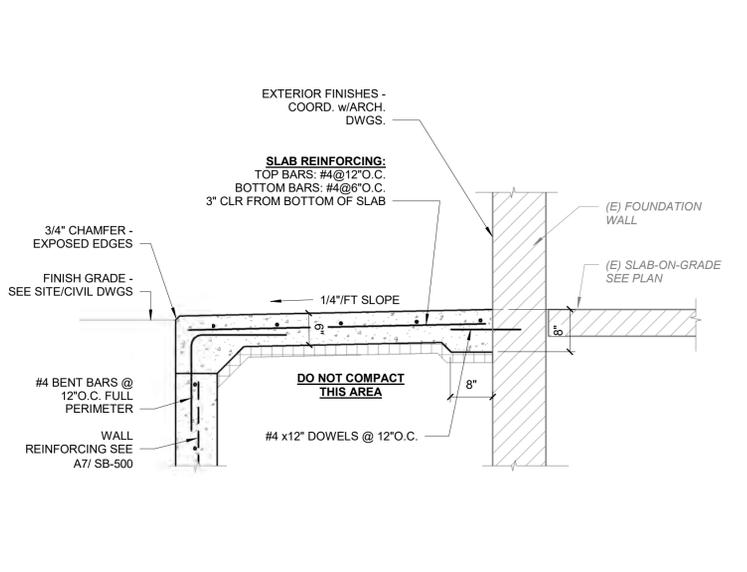
D4 TYPICAL INTERIOR SPREAD FOOTING DETAIL
3/4" = 1'-0"



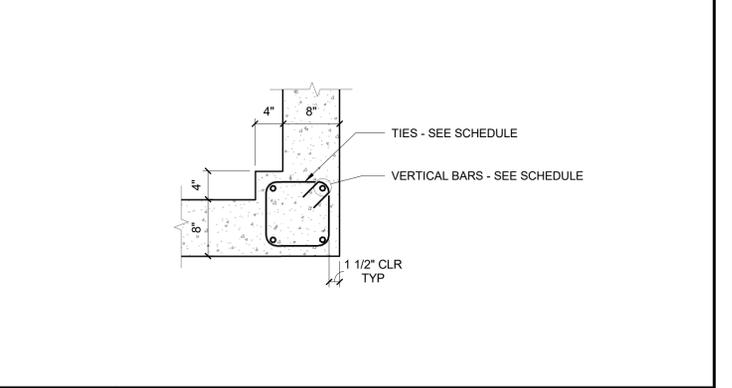
D7 PROPOSED WALL TIE-IN TO EXISTING
3/4" = 1'-0"



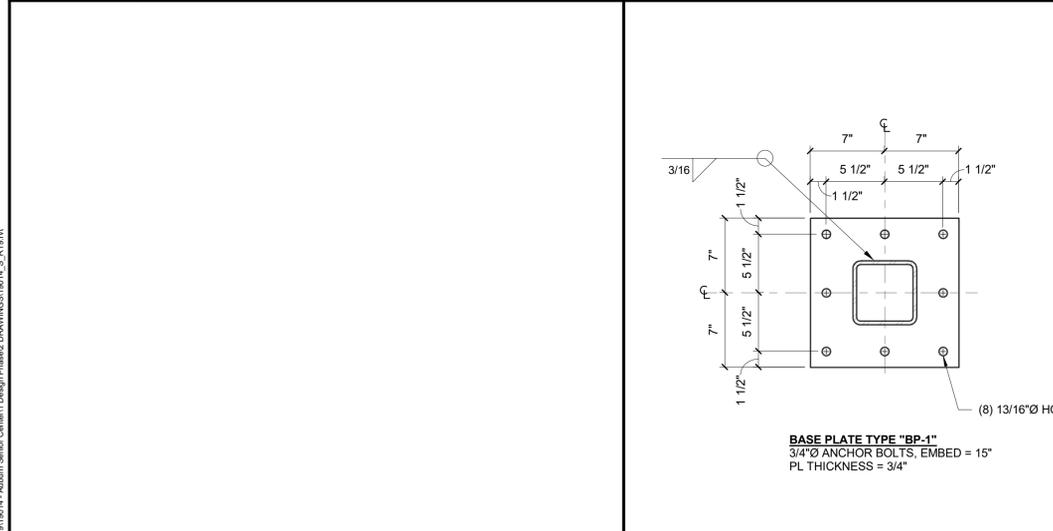
C1 TYPICAL SLAB ENTRY DETAIL
3/4" = 1'-0"



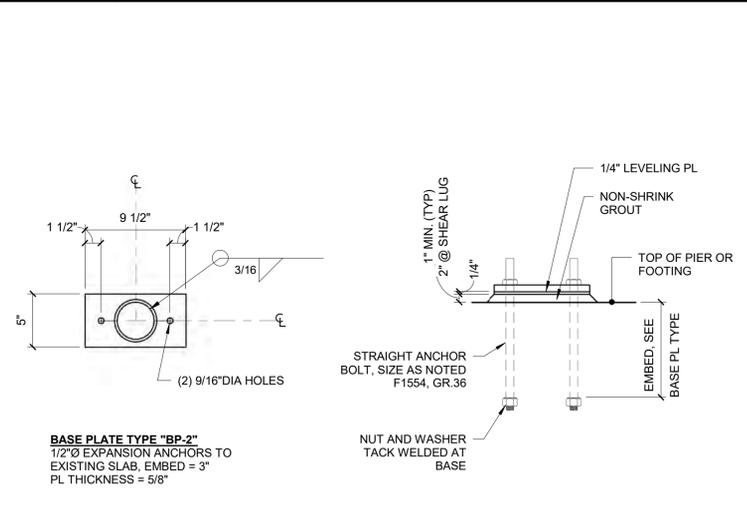
C4 TYPICAL EXTERIOR SLAB DETAIL AT WALL
3/4" = 1'-0"



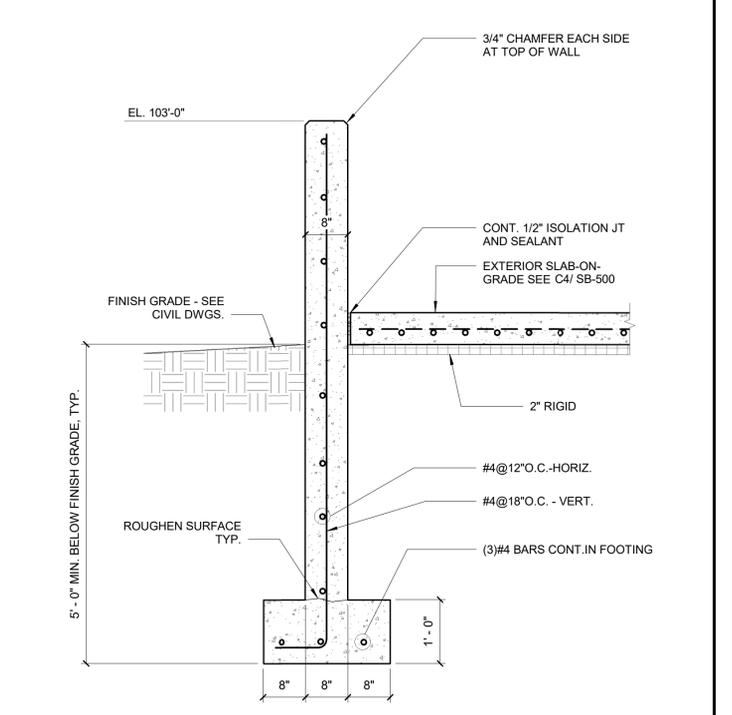
C7 SECTION THRU P-1 PIER
1" = 1'-0"



A3 BASE PLATE TYPES
1 1/2" = 1'-0"



A7 8" WALL
3/4" = 1'-0"



A7 8" WALL
3/4" = 1'-0"

Project: AUBURN SENIOR CENTER RENOVATION
48 Pettingill Park Road, Auburn, Maine

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60 Court Street
Auburn, Maine 04210

Legend:

Consultant Name and Address:
Allied Engineering
160 Veranda Street
Portland, Maine 04103
R: 207.231.2366
F: 207.231.2366
Web: www.allied-eng.com

Firm Name and Address:
CORDJIA
CAPITAL PROJECTS GROUP
Camden, ME | Portland, ME | York, ME
207.236.9970 | www.cordjia.com

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Sheet Title: **STRUCTURAL - FOUNDATION DETAILS**

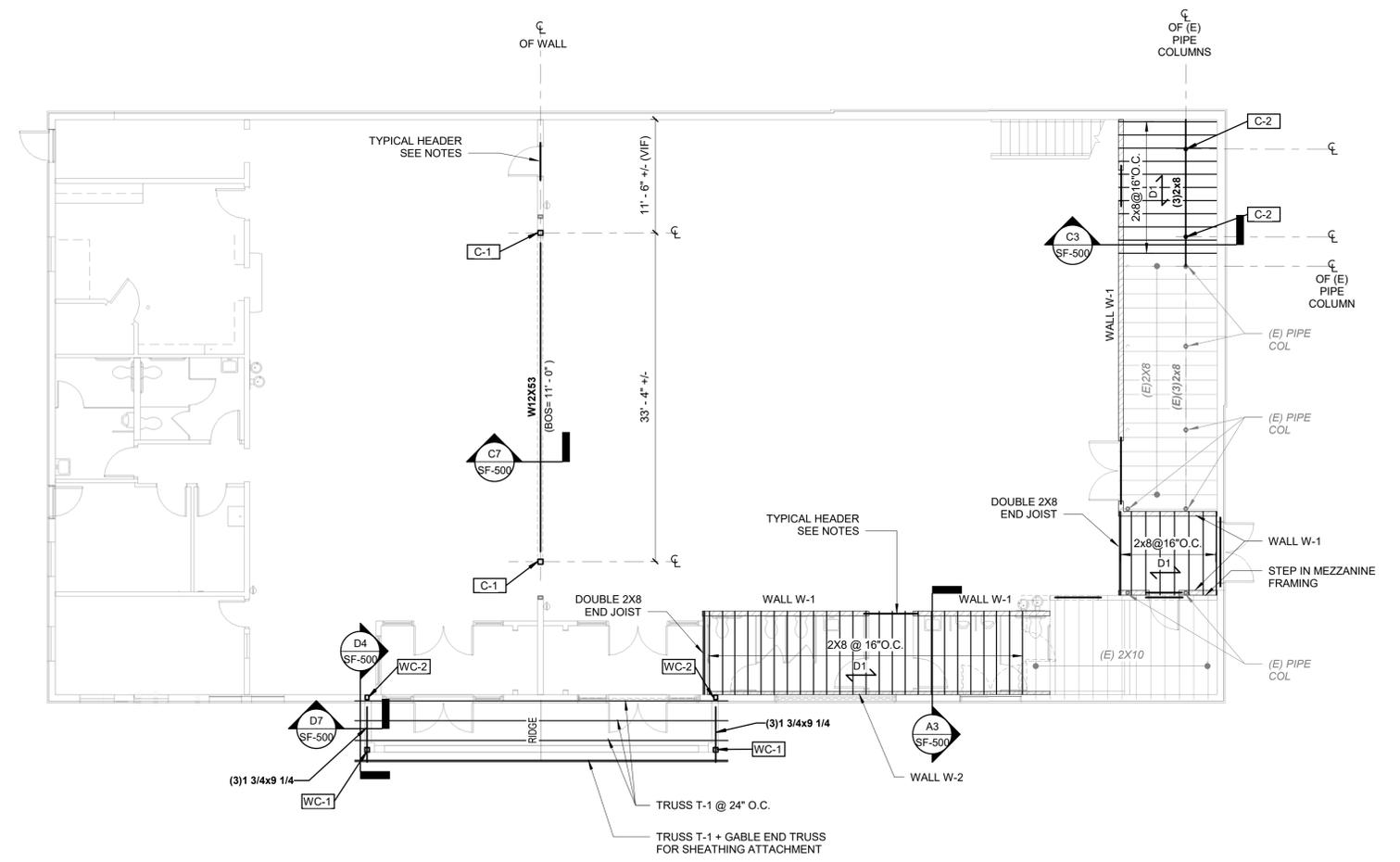
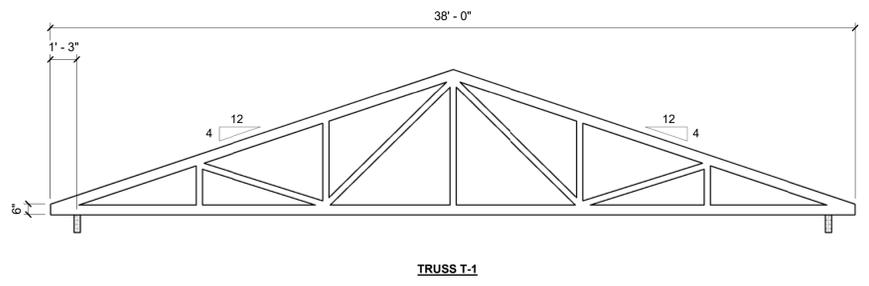
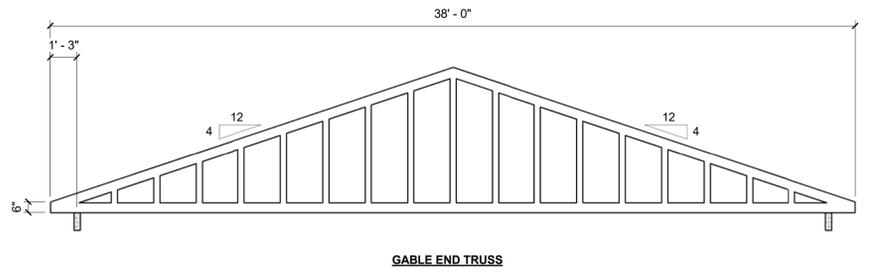
No.	Revision/Issue	Date

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Approved by: Approver
Project No.: C.C.P.G. #1185
Date: 02/18/19

Sheet Number: **SB-500**

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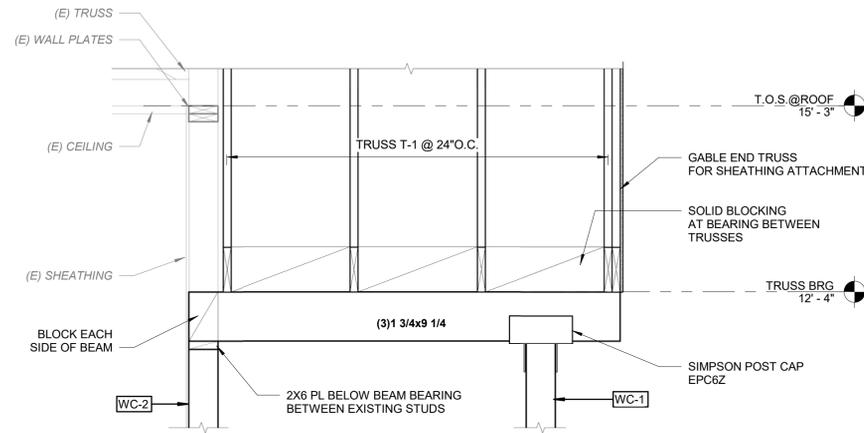


FRAMING PLAN NOTES:

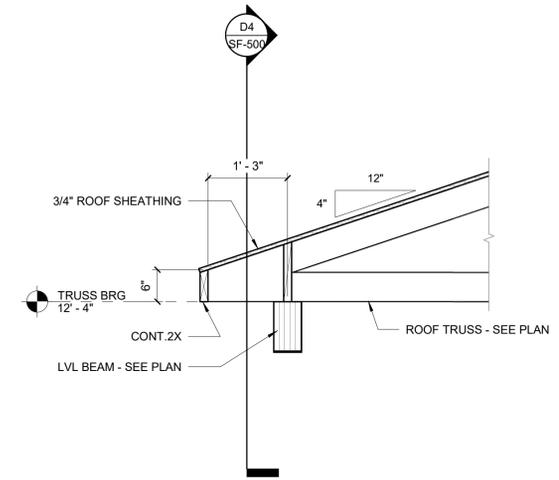
- TOP OF STEEL (TOS) ELEVATION AS NOTED ON PLAN
 - SEE ARCHITECTURAL ROOF PLAN FOR PROPOSED AND REVISED OPENINGS - PROVIDE (3)2X8 HEADER TYPICAL
- WALL W-1 INDICATES 2X6 STUD WALL, STUD SPACING = 16" (ALIGN WITH JOIST), PROVIDE CONT 2X6 P.T. SILL PLATE, (2)2X6 TOP PLATE AND 2X6 BLOCKING AT MID-HEIGHT. SHEATHING SHALL BE GWB (ONE-SIDE ONLY) ANCHOR P.T. SILL PLATE TO SLAB w/1/2"Ø EXPANSION ANCHORS, 3" EMBED @ 4'-0"O.C.
- WALL W-2 INDICATES 2X4 STUD WALL, STUD SPACING = 16" (ALIGN WITH JOIST), PROVIDE CONT 2X4 P.T. SILL PLATE, (2)2X4 TOP PLATE AND 2X4 BLOCKING AT MID-HEIGHT. SHEATHING SHALL BE GWB (ONE-SIDE ONLY) ANCHOR P.T. SILL PLATE TO SLAB w/1/2"Ø EXPANSION ANCHORS, 3" EMBED @ 4'-0"O.C.
- D1 ← INDICATES DECK SPAN OF 3/4" PLYWOOD SHEATHING

COLUMN SCHEDULE	
MARK	SIZE
C-1	HSS6X6X3/8
C-2	Pipe3-1/2STD
WC-1	6x6 P.T. SYP WOOD POST
WC-2	(3)2x6

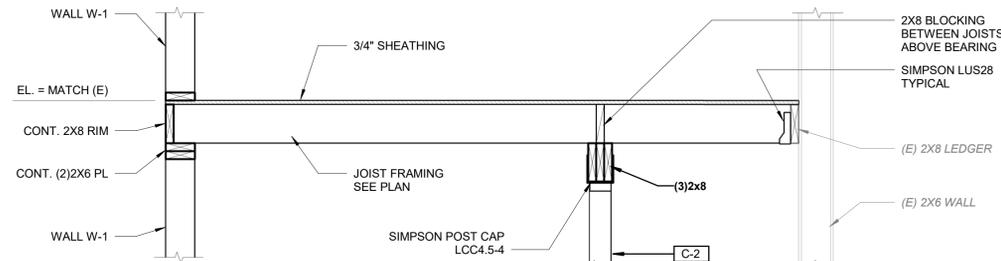
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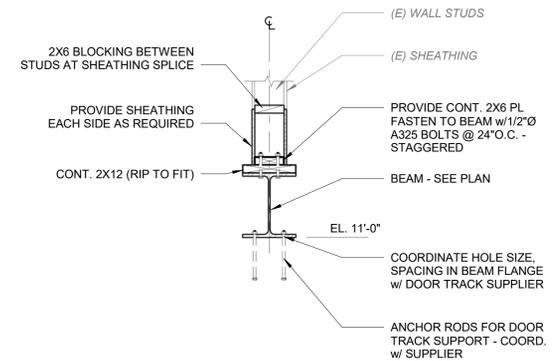
D4 SECTION
3/4" = 1'-0"



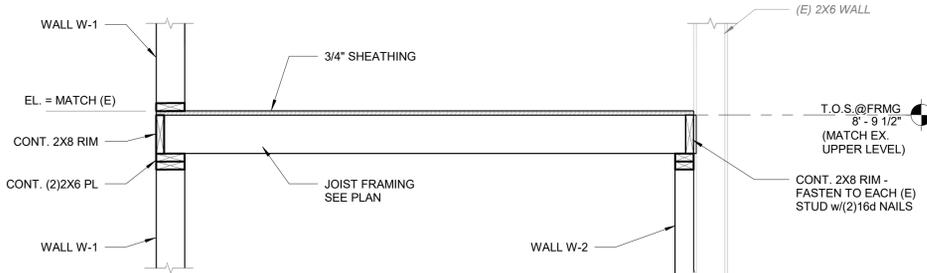
D7 SECTION AT TRUSS BEARING
3/4" = 1'-0"



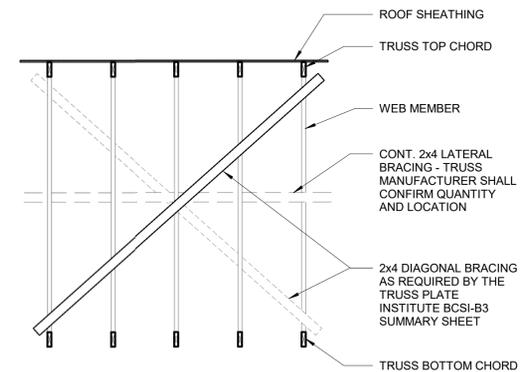
C3 SECTION THRU MEZZANINE
3/4" = 1'-0"



C7 SECTION
3/4" = 1'-0"



A3 SECTION THRU MEZZANINE
3/4" = 1'-0"



NOTE:
CROSS BRACING REPEATED AT EACH END OF THE BUILDING AND AT 20' INTERVALS. DIAGONAL WEB BRACING IS REQUIRED ON END VERTICALS. (SEE BCSI-B3 SUMMARY SHEET FOR SPACING OF DIAGONAL WEB BRACING) - TRUSS MANUFACTURER SHALL CONFIRM QUANTITY, SIZE AND LOCATION OF BRACING.

A7 TYPICAL TRUSS BRACING DETAIL1
3/8" = 1'-0"

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Consultant Name and Address:
Allied Engineering
160 Veranda Street
Portland, Maine 04103
R: 207.231.2366
F: 207.231.2366
Web: www.allied-eng.com

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STRUCTURAL - DETAILS

No.	Revision/Issue	Date

Design by: JPC
Checked by: Checker
Drawn by: PED
Approved by: Approver
Project No.: C.C.P.G. #1185
Date: 02/18/19

Sheet Number:
SF-500

ACCESSIBILITY NOTES

EXTERIOR ROUTE:

1. ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE IN EXCESS OF 1:20, EXCEPT AT A RAMP.
2. AN ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE IN EXCESS OF 1:50.
3. ACCESSIBLE ROUTE TO BE PROVIDED FROM DROP OFF AND PARKING AREA TO BUILDING ENTRANCES.

BUILDING ENTRANCES:

1. ACCESSIBLE BUILDING ENTRANCES SHALL EQUAL THE NUMBER OF REQUIRED MEANS OF EGRESS OR 50% OF THE PUBLIC ENTRANCES, WHICHEVER IS GREATER.
2. WHERE ALL PUBLIC ENTRANCES ARE NOT ACCESSIBLE, ACCESSIBLE ENTRANCES SHALL BE DESIGNATED BY THE ACCESS SYMBOL. DIRECTIONAL SIGNAGE IS REQUIRED AT INACCESSIBLE PUBLIC ENTRANCES. SIGNAGE SHOULD BE LOCATED TO MINIMIZE BACKTRACKING.

INTERIOR ROUTE:

1. AN ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE IN EXCESS OF 1:20, EXCEPT AT A RAMP.
2. AN ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE IN EXCESS OF 1:50.
3. ALL NEW FLOOR CONSTRUCTION AND FLOORING MATERIALS SHALL NOT HAVE AN ABRUPT VERTICAL CHANGE IN FINISH SURFACE IN EXCESS OF ¼" WHEN ABUTTING EITHER EXISTING OR NEW SURFACES.
4. THE EXPOSED EDGE OF ALL FLOORING MATERIALS SHALL BE SECURELY ATTACHED TO THE FLOOR SURFACE, AND WHEN RAISED ABOVE THE FLOOR SURFACE, SHALL HAVE A SLOPED EDGE TRIM, NOT TO EXCEED 1:2, INSTALLED CONTINUOUSLY ALONG THE EDGE.

PROTRUDING OBJECTS:

1. OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH.

DOORS

1. NO THRESHOLD SHALL EXCEED ½" IN HEIGHT OR 1:2 SLOPE.
2. ALL ACCESSIBLE HARDWARE SHALL NOT EXCEED 4'-0" AFF AND SHALL BE EASILY OPERATED WITH ONE HAND WITHOUT GRASPING, PINCHING OR TWISTING OF THE WRIST.
3. ACCESSIBLE LATCHING HARDWARE SHALL BE LEVER TYPE.
4. ALL ACCESSIBLE DOORS WITH CLOSERS SHALL HAVE THE CLOSER ADJUSTED SO THAT THE CLOSING TIME, FROM 70° OPEN ANGLE TO 3" FROM THE JAMB, IS NOT LESS THAN 3 SECONDS.
5. THE OPENING FORCE OF ALL ACCESSIBLE DOORS SHALL NOT EXCEED 5 POUNDS IN THE DIRECTION OF TRAVEL FOR EXITING.
6. THE OPERABLE HARDWARE ON A DOOR LEADING TO A HAZARDOUS AREA (E.G. BOILER ROOMS, MECHANICAL ROOMS, ELECTRIC ROOMS, OTHER EQUIPMENT ROOMS, AND LOADING DOCKS, SHALL HAVE A TEXTURED SURFACE ON THE TOUCHABLE AREA.

TOILET ROOMS

1. THE FLUSH CONTROL FOR ALL ACCESSIBLE TOILETS/URINALS SHALL NOT EXCEED 3'-8" AFF, AND SHALL BE ON THE WIDE (APPROACH) SIDE OF THE TOILET.
2. THE OPERATING FORCE FOR ALL ACCESSIBLE TOILET ROOM CONTROLS SHALL NOT EXCEED 5 POUNDS AND THE CONTROLS SHALL BE OPERABLE WITH ONE HAND WITHOUT GRASPING, PINCHING OR TWISTING OF THE WRIST.
3. THE OPENING FORCE OF ALL TOILET STALL DOORS SHALL NOT EXCEED 5 POUNDS. BOLT TYPE LOCKING HARDWARE SHALL BE OPERABLE WITH ONE HAND WITHOUT GRASPING PINCHING OR TWISTING OF THE WRIST.
4. ACCESSIBLE TOILET PAPER DISPENSERS SHALL NOT RESTRICT THE FLOW OF PAPER.
5. THE TOP OF ALL LAVATORIES SHALL NOT EXCEED 34" AFF.
6. ACCESSIBLE LAVATORIES SHALL HAVE ALL EXPOSED HOT WATER PIPING AND DRAIN PIPES EITHER INSULATED OR CONFIGURED TO PROTECT AGAINST SKIN CONTACT. THE UNDERSIDE OF THE LAVATORY SHALL NOT HAVE ANY SHARP OR ABRASIVE SURFACES.
7. ANY GRAB BAR INSTALLATION SHALL BE ABLE TO SUPPORT 250 POUNDS APPLIED IN ANY DIRECTION.

SIGNAGE

1. ALL ACCESSIBLE PERMANENT ROOMS AND SPACES, EXITWAYS AND EXIT STAIRS, SHALL HAVE SIGNAGE THAT MEETS ACCESSIBLE SIGNAGE REQUIREMENTS FOR LETTER SIZE, LETTER AND NUMBER TYPESTYLE, RAISED LETTERS, GRADE 2 BRAILLE, COLOR/CONTRAST, AND LOCATION. THE SIGNAGE AT EXITS, WHICH ARE REQUIRED TO MEET THESE REQUIREMENTS ARE AT THE DOOR LOCATIONS ONLY, AND DOES NOT INCLUDE THE LIT EXIT SIGNAGE.
2. ALL ACCESSIBLE TOILET ROOMS SHALL BE DESIGNATED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ACCESSIBLE TEXT SIGNAGE FOR A PERMANENT ROOM, PLACED DIRECTLY BELOW THE PICTOGRAM SYMBOL. THE SIGNAGE SHALL MEET THE ACCESSIBLE SIGNAGE REQUIREMENTS FOR LETTER SIZE, LETTER AND NUMBER TYPE STYLE, RAISED LETTERS, GRADE 2 BRAILLE, COLOR/CONTRAST, AND LOCATION. IT IS SUGGESTED THAT THE INTERNATIONAL SYMBOL BE RAISED. THE SURROUNDING BORDER, 6" MINIMUM IN HEIGHT AROUND THE PICTOGRAM, SHOULD NOT BE RAISED, BUT MAY BE RAISED AS LONG AS IT DOES NOT SURROUND THE RAISED LETTERS AND BRAILLE.
3. ALL ACCESSIBLE PARKING SPACES AND PUBLIC ENTRANCES SHALL BE DESIGNATED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE IN ADDITION TO ANY OTHER SIGNAGE REQUIRED FOR ACCESSIBILITY.
4. ALL OTHER SIGNAGE ALONG THE ACCESSIBLE ROUTE THAT PROVIDES EMERGENCY INFORMATION, DIRECTIONS, OR INFORMATION ABOUT FUNCTIONAL SPACES, SHALL MEET THE ACCESSIBLE SIGNAGE REQUIREMENTS FOR LETTER SIZE, LETTER AND NUMBER TYPE STYLE, COLOR/CONTRAST, AND LOCATION, AND RAISED LETTERS AND GRADE 2 BRAILLE WHEN PROVIDED. IT IS SUGGESTED THAT SIGNAGE USED FOR THIS PURPOSE, IN INTERIOR SPACES AND WITHIN REACH, SHOULD HAVE RAISED LETTERS; AND MAY HAVE GRADE 2 BRAILLE(OPTIONAL). RAISED LETTERS AND GRADE 2 BRAILLE IS NOT REQUIRED FOR EXTERIOR SIGNAGE AND INTERIOR SIGNAGE NOT WITHIN REACH. PICTOGRAMS OTHER THAN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, ARE NOT REQUIRED. HOWEVER, WHEN THEY ARE PROVIDED, TEXT OF THE EQUIVALENT VERBAL DESCRIPTION SHOULD BE PLACED DIRECTLY BELOW THE PICTOGRAM. THE TEXT SHALL MEET ACCESSIBLE SIGNAGE REQUIREMENTS FOR LETTER SIZE, LETTER AND NUMBER TYPESTYLE, COLOR AND CONTRAST, AND LOCATION. IT IS SUGGESTED THAT PICTOGRAMS, WHEN PROVIDED WITHIN REACH, ALSO SHOULD MEET ACCESSIBLE SIGNAGE REQUIREMENTS FOR RAISED LETTERS, RAISED SYMBOLS, GRADE 2 BRAILLE, AND ARE NOT TO HAVE ANY RAISED BORDERS (IF PROVIDED) SURROUNDING THE RAISED LETTERS AND BRAILLE. ACCESSIBILITY STANDARDS DO NOT REQUIRE PICTOGRAMS IN ANY LOCATION, TO HAVE RAISED PICTURES, SYMBOLS, OR BORDERS, BUT DOES REQUIRE RAISED LETTERS AND GRADE 2 BRAILLE WHEN THE PICTOGRAM IS PART OF OR ACCOMPANIES ACCESSIBLE SIGNAGE FOR PERMANENT ROOMS AND SPACES.
5. INSTALLATION HEIGHT: SIGNS WITH TACTILE CHARACTERS SHALL BE LOCATED 48" MINIMUM ABOVE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 80" MAXIMUM ABOVE FINISH FLOOR MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER.
6. INSTALLATION LOCATION: WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT A DOUBLE DOOR WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT A DOUBLE DOOR WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR TO THE RIGHT OF A DOUBLE DOOR, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL.
NOTE: SIGNS WITH TACTILE CHARACTERS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.

CONTROLS AND OPERATING MECHANISMS.

1. ALL NEW AND ALTERED CONTROLS AND OPERATING MECHANISMS REQUIRED TO BE ACCESSIBLE, SHALL COMPLY WITH THE HEIGHT RANGE AND CLEAR FLOOR AREA REQUIREMENTS OF THE (ADA GUIDELINES). ACCESSIBLE HEIGHTS ARE AS FOLLOWS.
2. ELECTRICAL, TELEPHONE, COMPUTER, AND CATV OUTLETS. CENTERLINE AT 16 ½" ABOVE FINISH FLOOR (LOWEST REACH) AS STANDARD, AND NOT TO EXCEED 46 ½" ABOVE FINISH FLOOR (HIGHEST REACH) WHEN NOTED TO BE HIGHER AT A PARTICULAR LOCATION.
3. LIGHT SWITCHES. CENTERLINE AT 46 ½" (HIGH REACH).
4. THERMOSTATS. TOP OF OPERATING MECHANISM NOT TO EXCEED 48" ABOVE FINISH FLOOR (HIGH REACH).
5. FIRE ALARM PULL STATIONS. TOP OF OPERATING MECHANISM NOT TO EXCEED 48" ABOVE FINISH FLOOR (HIGH REACH).
6. FIRE EXTINGUISHER CABINETS. OPENING LEVER NOT TO EXCEED 48" ABOVE FINISH FLOOR (HIGH REACH).

WORK SURFACES:

1. CLEAR FLOOR OR GROUND SPACE 30"x48" SHALL BE PROVIDED.
2. KNEE AND TOE CLEARANCE. PROVIDE KNEE AND TOE CLEARANCE, TOE CLEARANCE SHALL EXTEND 25" AND 17" MINIMUM UNDER AN ELEMENT.
3. HEIGHT. TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28" MINIMUM AND 34" MAXIMUM ABOVE THE FINISH FLOOR.

GENERAL NOTES

1. GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD
2. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER IS RESPONSIBLE FOR COORDINATION AND THOROUGH UNDERSTANDING OF ALL DRAWINGS AND SPECIFICATIONS. GENERAL CONTRACTOR OR CONSTRUCTION MANAGER MUST REPORT ALL CONFLICTS BETWEEN SEPARATE ADJACENT TRADES PRIOR TO THE INSTALLATION OF ANY CONFLICTING WORK.
3. ALL GENERAL NOTES APPLY UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
4. INSTALL WORK READILY ACCESSIBLE FOR OPERATION, MAINTENANCE, AND REPAIRS. PROVIDE ACCESS DOORS IN WALLS AND CEILINGS AS NEEDED TO ACCESS CONCEALED ITEMS.
5. COORDINATE STAGING AREAS WITH OWNER AND ARCHITECT AND ANY OTHER CONTRACTORS EMPLOYED BY OWNER PRIOR TO COMMENCEMENT OF WORK.
6. ALL NOTES AND DETAILS MARKED TYPICAL APPLY TO SIMILAR CONDITIONS THROUGHOUT THE PROJECT WHETHER SPECIFICALLY NOTED OR NOT.
7. DRAWINGS ARE PREPARED TO SCALE UNLESS NOTED NTS (NOT TO SCALE)
8. THE CONTRACTOR SHALL FURNISH AND INSTALL ADEQUATE TEMPORARY VERTICAL & LATERAL BRACING AT ALL TIMES DURING CONSTRUCTION UNTIL STRUCTURE IS COMPLETELY TIED TOGETHER.
9. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL BLOCKING NECESSARY TO MOUNT GRAB BARS, TOILET ACCESSORIES, ETC.
10. ALL FRAMING LUMBER SHALL BE NELMA SPF NO. 1 OR APPROVED EQUAL.
11. PROVIDE ALL NECESSARY WOOD FRAMING, BRACING, BLOCKING, NAILERS AND SHIMS REQUIRED TO INSTALL ALL DOORS, WINDOWS, MEP WORK, MILLWORK, MOLDINGS, ACCESSORIES, CABINETS, FIXTURES AND FITTINGS.
12. MAKE MINOR RELOCATIONS OR ADJUSTMENTS AS REQUIRED BY FIELD CONDITIONS. FOR WALL LOCATIONS NOT DIMENSIONED, ADVISE THE ARCHITECT IF LAYOUT LOCATIONS DIFFER FROM THE SCALED LOCATIONS BY MORE THAN 3".
13. PROVIDE TRANSITION STRIPS AT ALL FLOORING TRANSITIONS AND DIFFERING FLOOR MATERIAL THICKNESSES.
14. PROVIDE SIGNAGE AT MENS, WOMENS . USE A 6"x12" SIGN. SIGNS SHALL BE ADA COMPLIANT.
15. EXISTING SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED FOR NEW PARTITIONS.
16. SECURITY SYSTEM TO BE MODIFIED AS REQUIRED.
17. ALL NEW INTERIOR FINISH TO BE CLASS C FINISH

Project:
**AUBURN
SENIOR CENTER
RENOVATIONS**
48 Pettingill Park Road, Auburn, Maine

Client:
**City of Auburn, Maine
60 Court Street
Auburn, Maine 04210**

Legend:

Consultant Name and Address:

ARCHITECT
JOHN E. HANSEN, ARCHITECT
632 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04558
PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Firm Name and Address:


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 100% CONSTRUCTION DOCUMENT
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Sheet Title:

NOTES

No.	Revision/Issue	Date

Design by:	JEH	Checked by:	MAD
Drawn by:	CMC	Approved by:	BMB

Project No:	CPCG #1185	Date:	FEBRUARY 18, 2019
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Sheet Number:

A0.0

Project:
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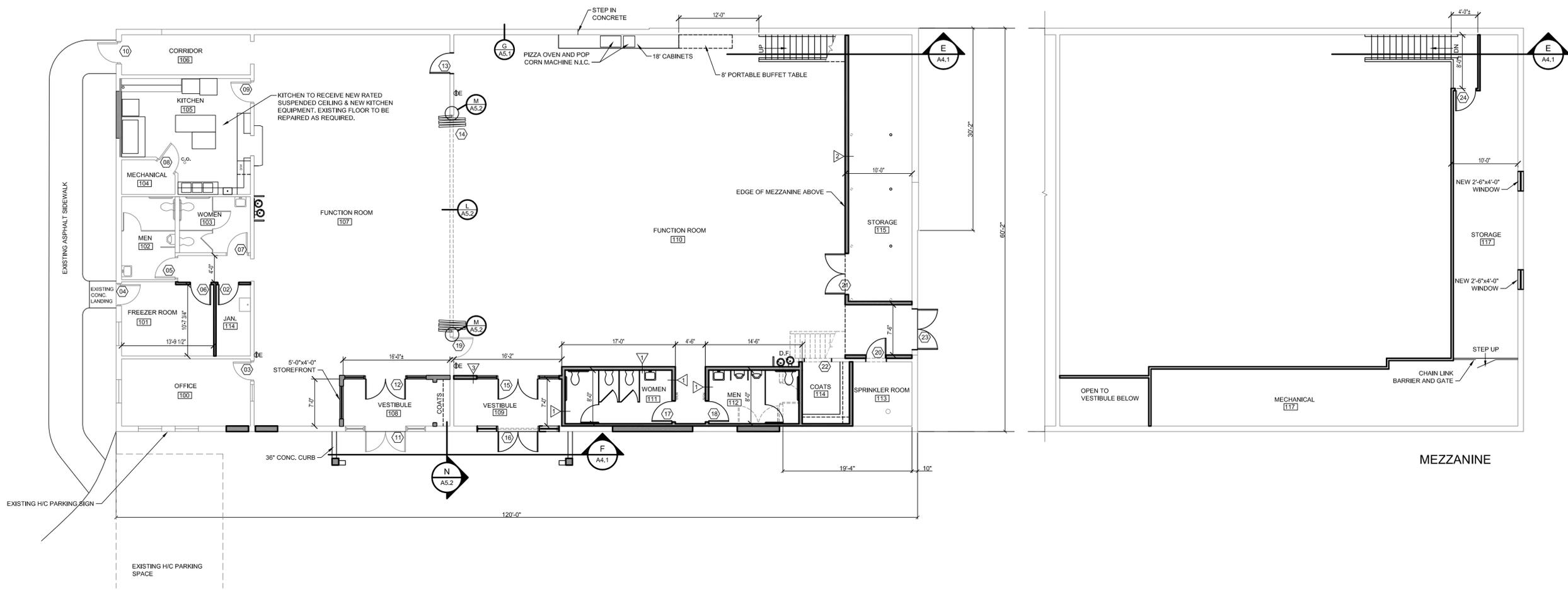
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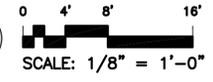
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FLOOR PLAN

No.	Revision/Issue	Date
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Project No:	CCPG #1185	Date: FEBRUARY 18, 2019

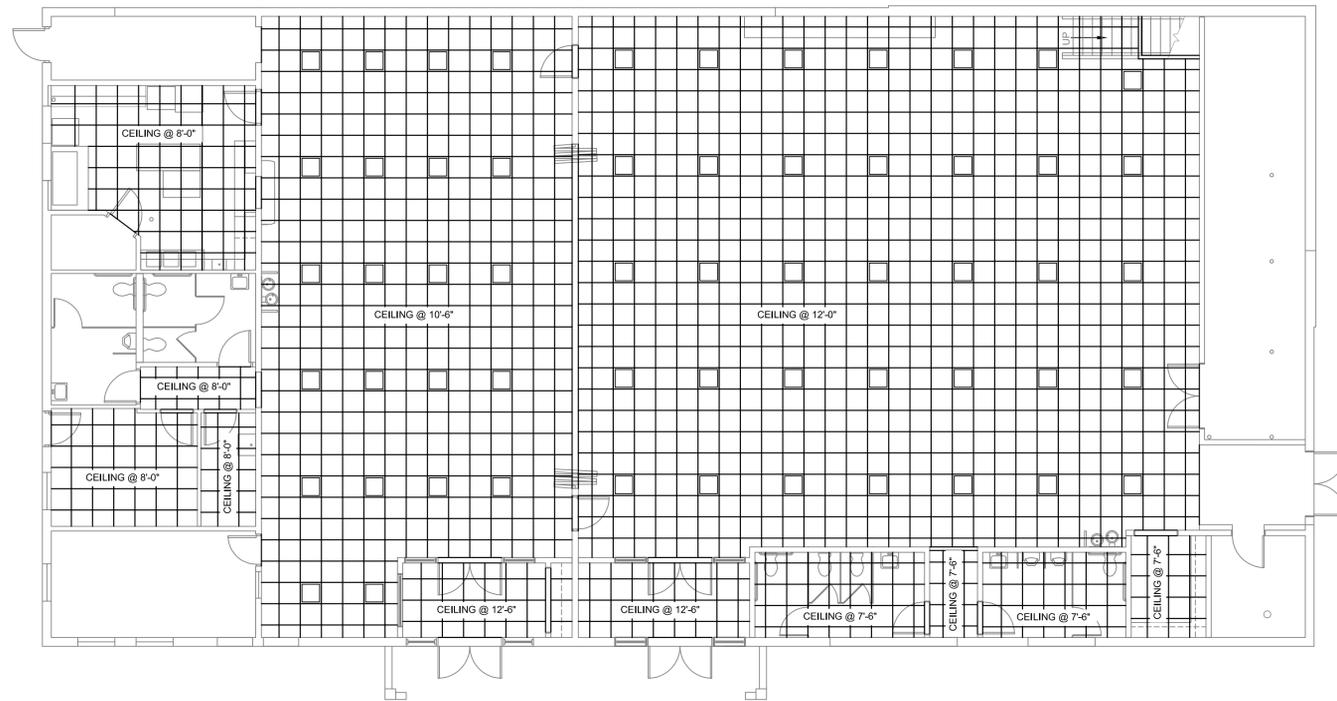
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A1.1



FLOOR PLAN



ELEVATION KEY



CEILING PLAN

0 4' 8' 16'
 SCALE: 1/8" = 1'-0"

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CEILING PLAN

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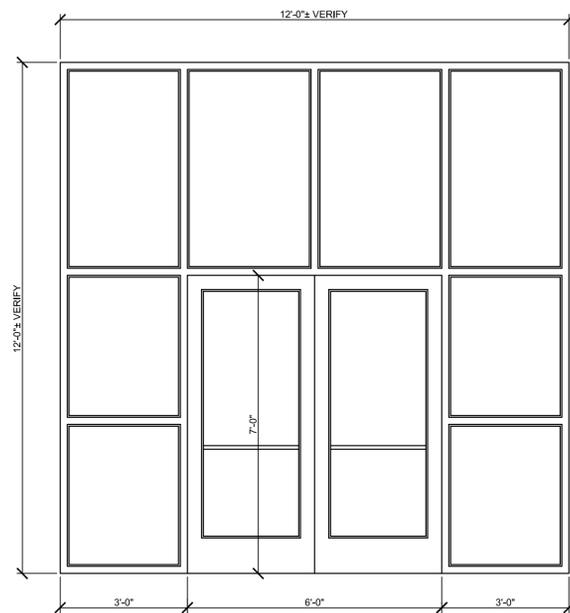
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ROOM FINISH SCHEDULE

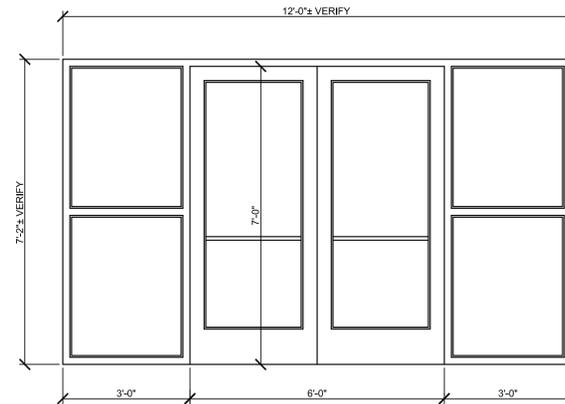
NO.	ROOM	FLOOR	BASE	WALLS	CEILING	REMARKS
100	OFFICE	EXISTING	EXISTING	EXISTING	EXISTING	
101	DAY ROOM	EXISTING	EXISTING	EXISTING	EXISTING	
102	MEN	EXISTING	EXISTING	EXISTING	EXISTING	
103	WOMEN	EXISTING	EXISTING	EXISTING	EXISTING	
104	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	
105	KITCHEN	EXISTING REPAIR AS REQUIRED	EXISTING	EXISTING	EXISTING	
106	CORRIDOR	EXISTING	EXISTING	EXISTING	EXISTING	
107	FUNCTION ROOM	EXISTING	EXISTING	EXISTING	EXISTING	
108	VESTIBULE	EXISTING	EXISTING	EXISTING	EXISTING	
109	VESTIBULE	EXISTING	EXISTING	EXISTING	EXISTING	
110	FUNCTION ROOM					
111	WOMEN					
112	MEN					
113	SPRINKLER	EXISTING	EXISTING	EXISTING	EXISTING	

DOOR SCHEDULE

NO.	SIZE	TYPE	HARDWARE	FRAME	REMARKS
01					
02	3'-0" x 6'-8"	SOLID CORE BIRCH	LATCH, LOCK, LEVER HANDLE 10" KICK PLATE ON PUSH SIDE		
03	EXISTING	EXISTING	EXISTING	EXISTING	
04	EXISTING	EXISTING	EXISTING	EXISTING	
05	EXISTING	EXISTING	EXISTING	EXISTING	
06	3'-0" x 6'-8"	SOLID CORE BIRCH	LATCH, LOCK, LEVER HANDLE 10" KICK PLATE ON PUSH SIDE	EXISTING	
07	EXISTING	EXISTING	EXISTING	EXISTING	
08	EXISTING	EXISTING	EXISTING	EXISTING	
09	EXISTING	EXISTING	EXISTING	EXISTING	
10	EXISTING	EXISTING	EXISTING	EXISTING	
11	EXISTING	EXISTING	EXISTING	EXISTING	
12	6'-0" x 7'-0"	ALUMINUM STOREFRONT - PAIR	LATCH, LEVER HANDLE, CLOSER, PANIC DEVICE	ALUMINUM	SEE STOREFRONT ELEVATIONS FOR SIDE LIGHTS AND TRANSOMS
13	EXISTING	EXISTING	EXISTING	EXISTING	
14	32'-0" x 10'-0"	FOLDING PARTITION			MODERNFOLD ACOUSTI-SEAL® ENCORE® - 56 STC RATING
15	6'-0" x 7'-0"	ALUMINUM STOREFRONT - PAIR	LATCH, LEVER HANDLE, CLOSER, PANIC DEVICE		
16	6'-0" x 7'-0"	ALUMINUM STOREFRONT - PAIR	LATCH, LOCK, LEVER HANDLE, CLOSER, PANIC DEVICE		
17	3'-0" x 6'-8"	SOLID CORE BIRCH	PUSH, PULL, CLOSER, 10" KICK PLATE ON PUSH SIDE	ALUMINUM	SEE STOREFRONT ELEVATIONS FOR SIDE LIGHTS AND TRANSOMS
18	3'-0" x 6'-8"	SOLID CORE BIRCH	PUSH, PULL, CLOSER, 10" KICK PLATE ON PUSH SIDE	ALUMINUM	
19	EXISTING	EXISTING	EXISTING	EXISTING	
20	3'-0" x 6'-8"	SOLID CORE BIRCH	LATCH, LOCK, LEVER HANDLE 10" KICK PLATE ON PUSH SIDE		
21	6'-0" x 6'-8"	SOLID CORE BIRCH	LATCH, LOCK, LEVER HANDLE 10" KICK PLATE ON PUSH SIDE		
22	4'-0" x 6'-8"	CASED OPENING			
23	6'-0" x 6'-8"	INS. FLUSH STEEL - PAIR MAXIMUM U FACTOR OF .70	LATCH, LOCK, LEVER HANDLE, CLOSER, PANIC DEVICE	STEEL WRAP AROUND	
24	3'-0" x 6'-8"	SOLID CORE BIRCH			

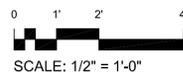


DOOR 16



DOORS 12 & 15

STOREFRONT ELEVATIONS



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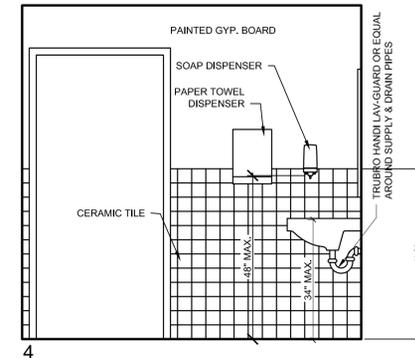
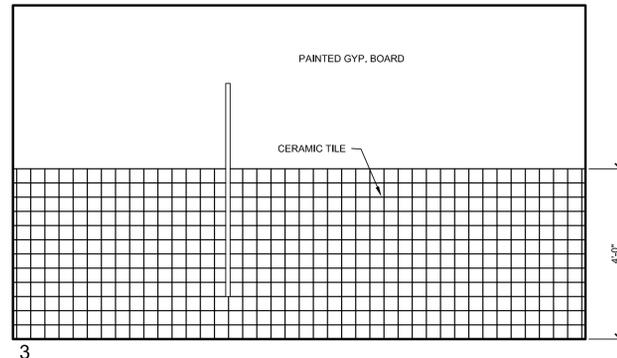
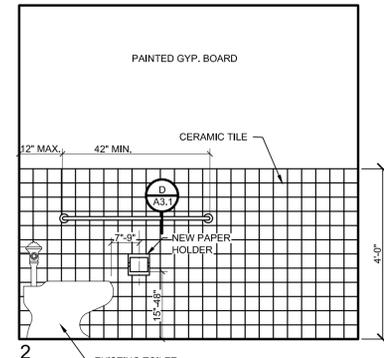
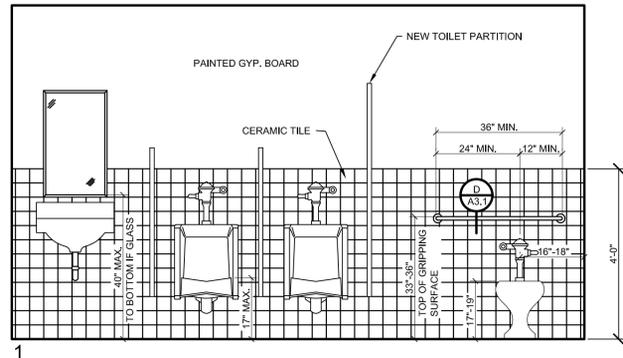
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SCHEDULES

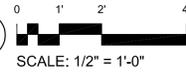
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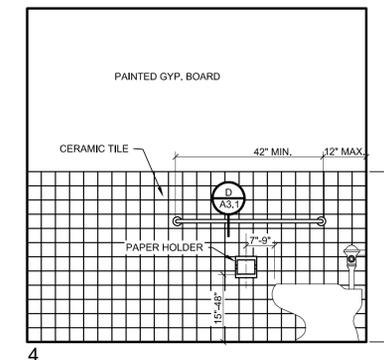
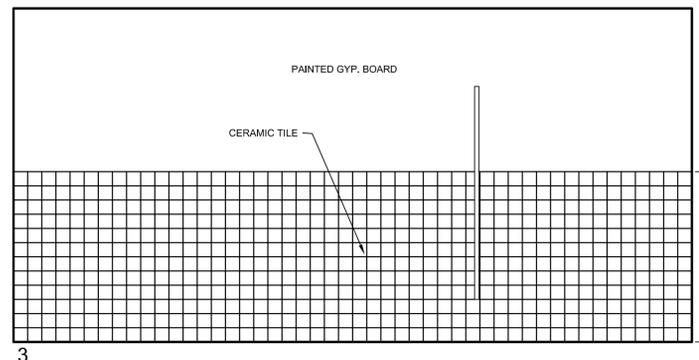
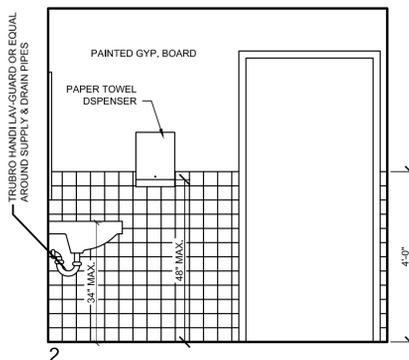
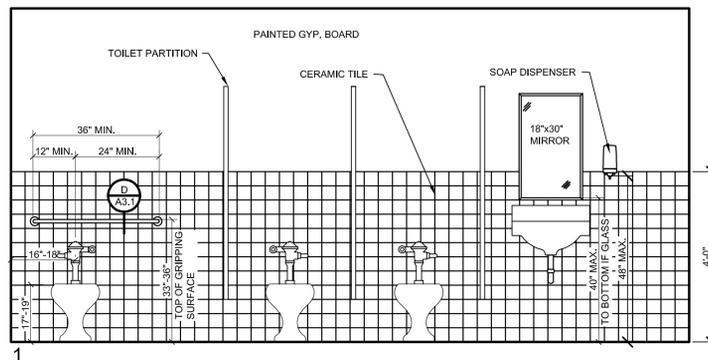
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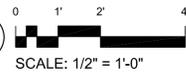
MEN 112 ELEVATIONS



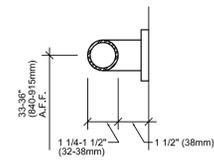
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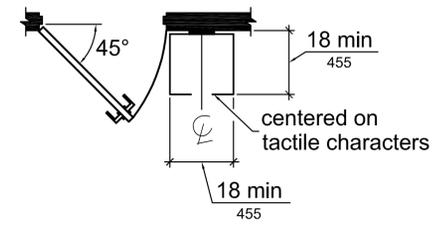
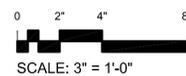
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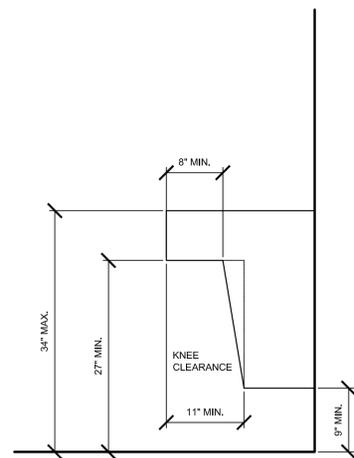
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GRAB BAR

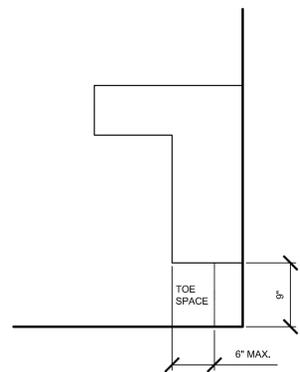


ROOM SIGN



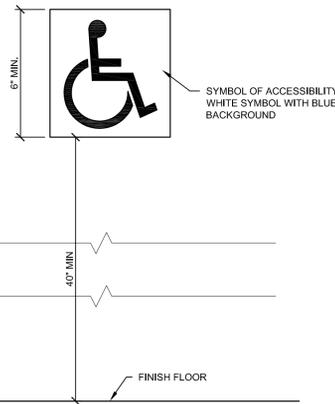
KNEE CLEARANCE

N.T.S.

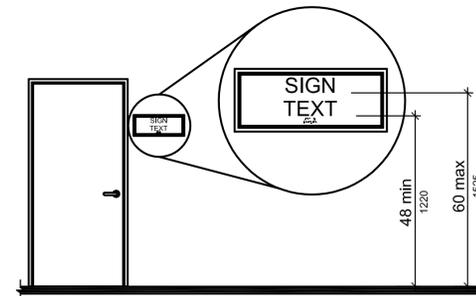
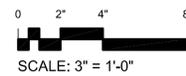


TOE CLEARANCE

N.T.S.



SYMBOL OF ACCESSIBILITY



ROOM SIGN

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INTERIOR ELEVATIONS

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Project No: CCPG #1185 Date: FEBRUARY 18, 2019

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Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04558
 PHONE: (207) 594-5310 FAX: (207) 594-5370

Firm Name and Address:

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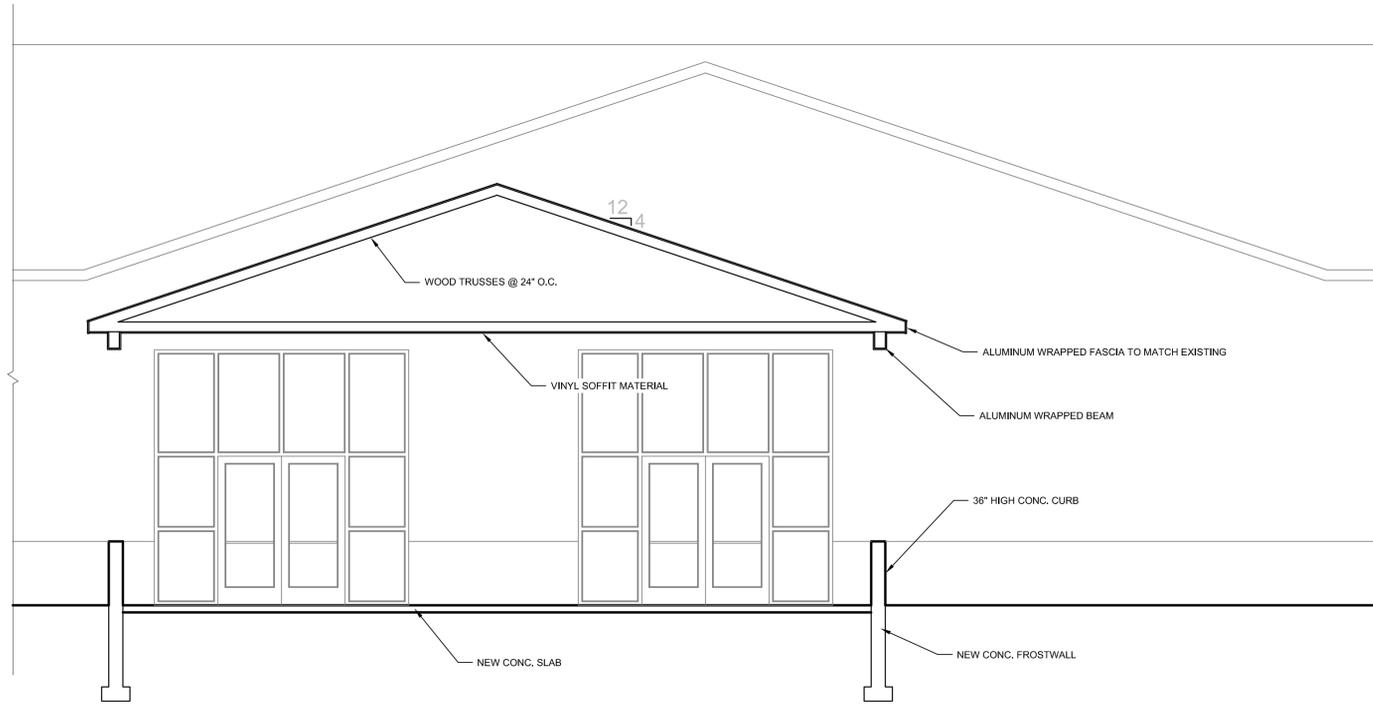
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 - RECORD DOCUMENT
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Sheet Title:
ELEVATIONS/ SECTIONS

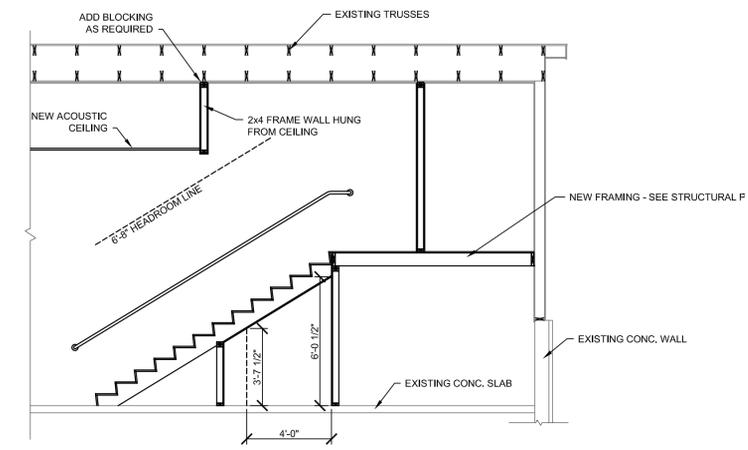
No.	Revision/Issue	Date

Design by:	JEH	Checked by:	MAD
Drawn by:	CMC	Approved by:	BMB
Project No.:	CCPG #1185	Date:	FEBRUARY 18, 2019

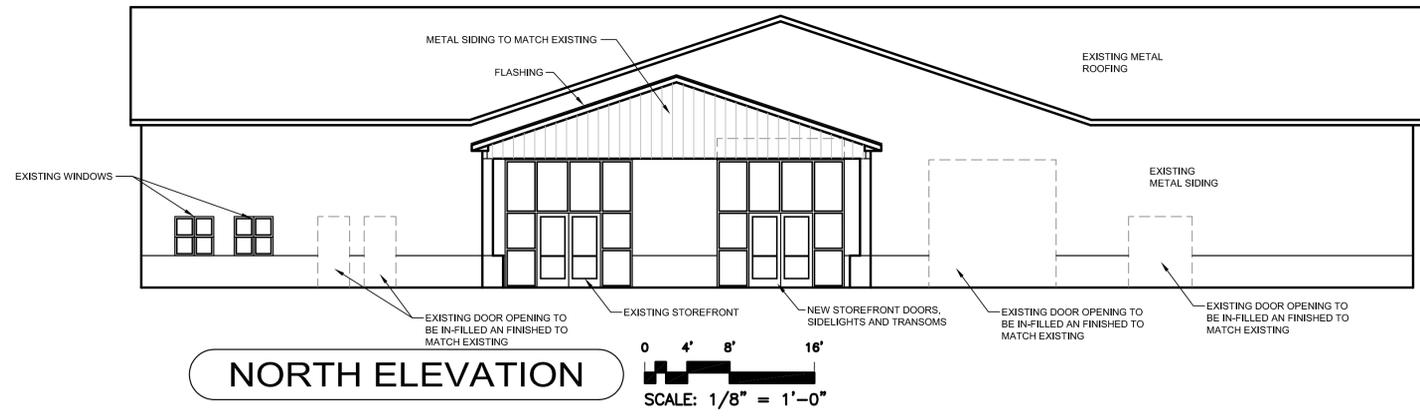
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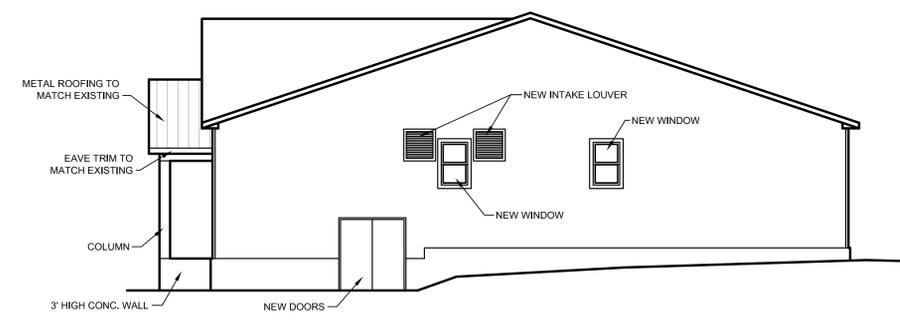
F A4.1 SECTION
 SCALE: 1/4" = 1'-0"



E A4.1 SECTION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

Legend:

Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
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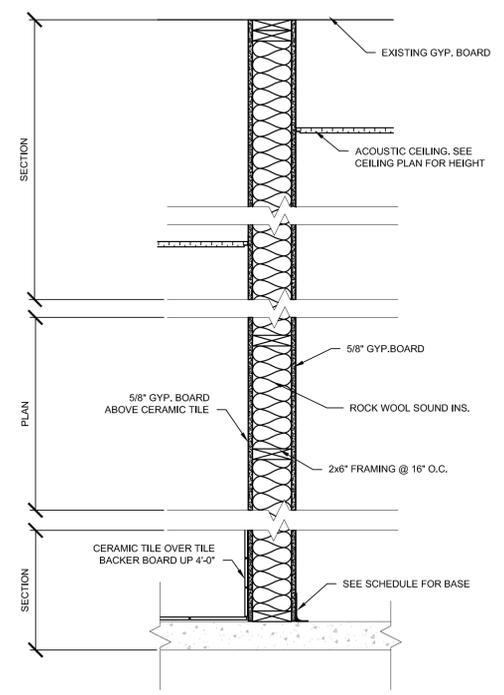
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Sheet Title:
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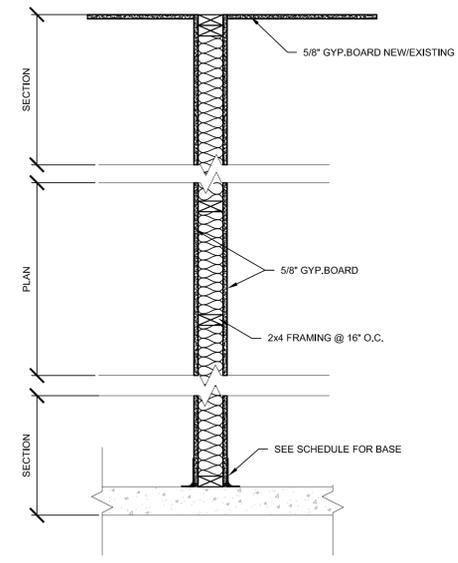
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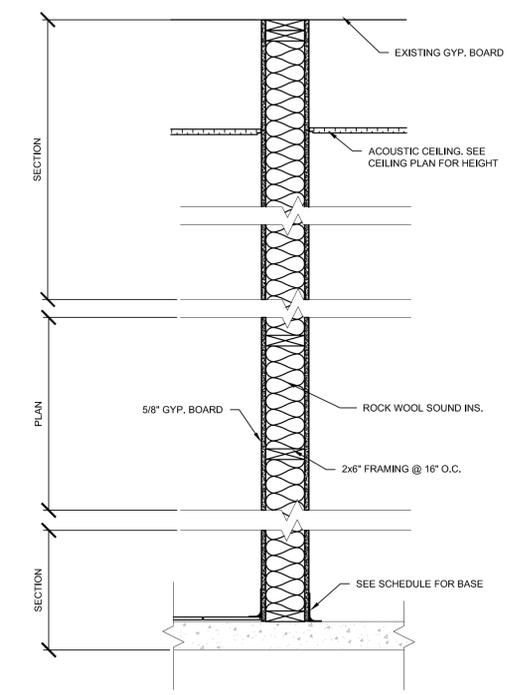
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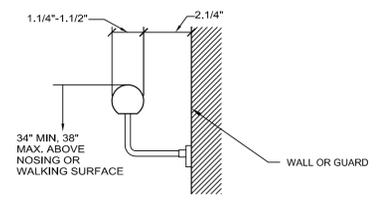


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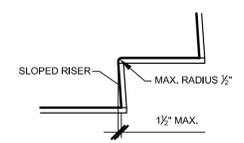


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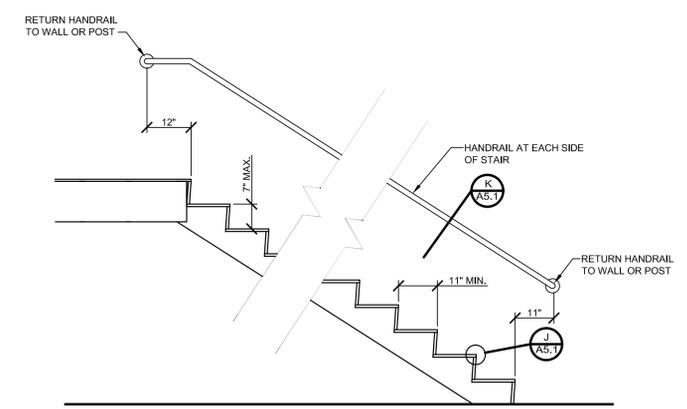
INTERIOR WALL TYPES
 SCALE: 1" = 1'-0"



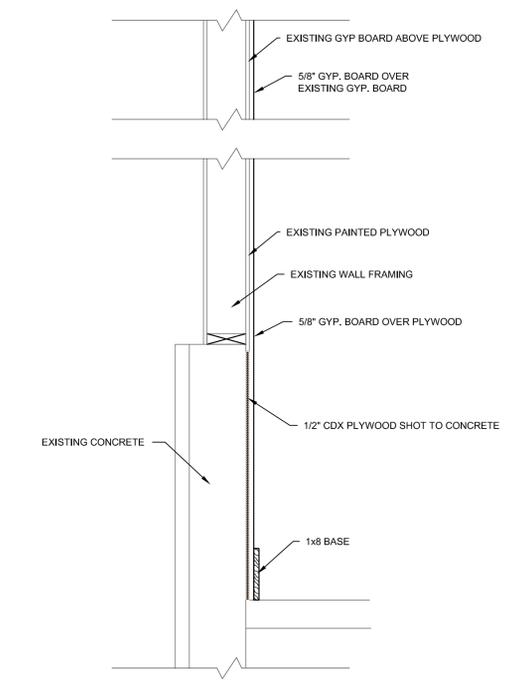
HANDRAIL
 SCALE: 3" = 1'-0"



NOSING DETAIL
 SCALE: 1" = 1'-0"



STAIR DETAIL
 SCALE: 1/2" = 1'-0"



WALL DETAIL
 SCALE: 1" = 1'-0"

Project:
AUBURN SENIOR CENTER RENOVATIONS
 48 Pettingill Park Road, Auburn, Maine

Client:
 City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04558
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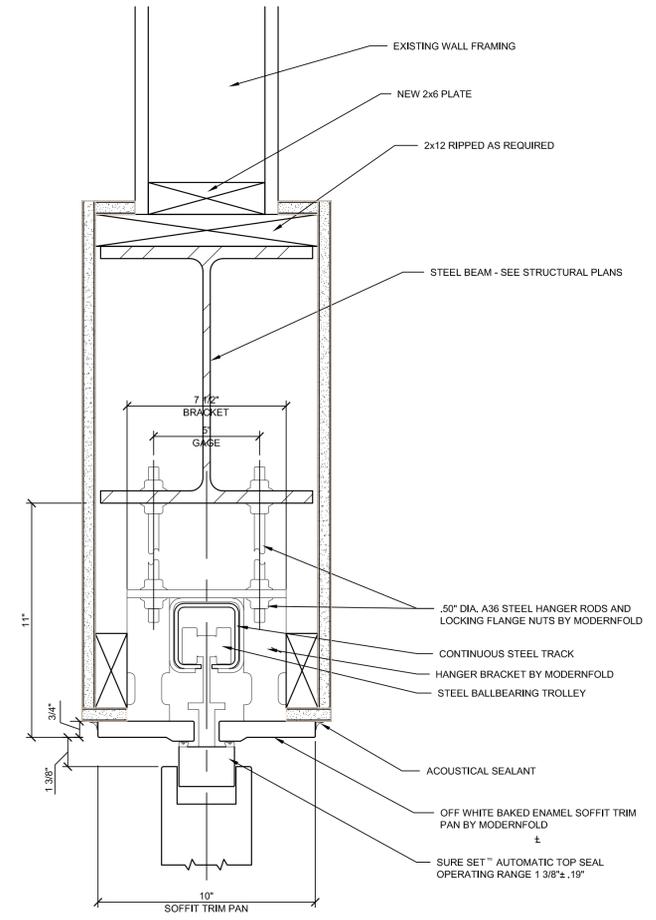
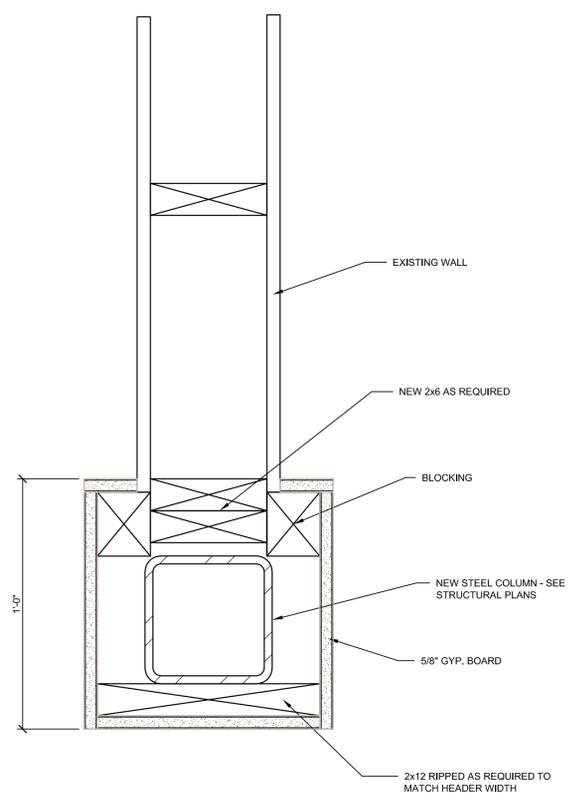
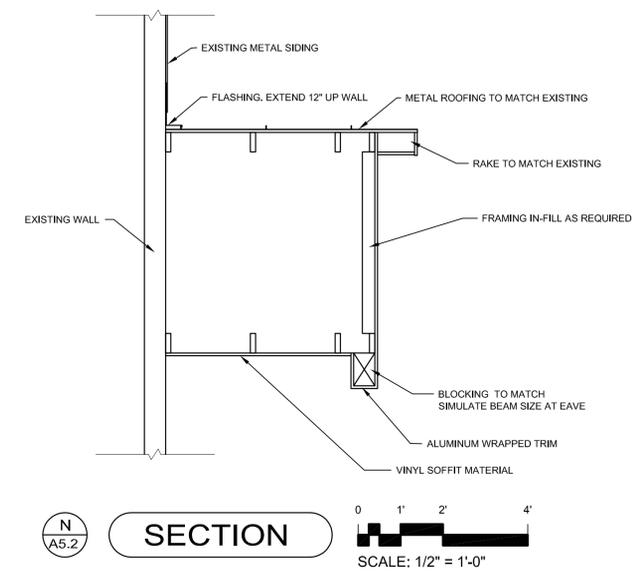
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DETAILS

No.	Revision/Issue	Date

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Project No:	CCPG #1185	Date:	FEBRUARY 18, 2019
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Sheet Number:
A5.2



M
A5.2
COLUMN DETAIL
 SCALE: 3" = 1'-0"

L
A5.2
TRACK DETAIL
 SCALE: 3" = 1'-0"

Legend:

Consultant Name and Address:

MECHANICAL SYSTEMS ENGINEERS
 ROYAL RIVER CENTER, UNIT #10B
 10 FOREST FALLS DRIVE
 YARMOUTH, MAINE 04096
 (207) 846-1441

ARCHITECT
 JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
 PHONE: (207) 594-5310 FAX: (207) 594-5370

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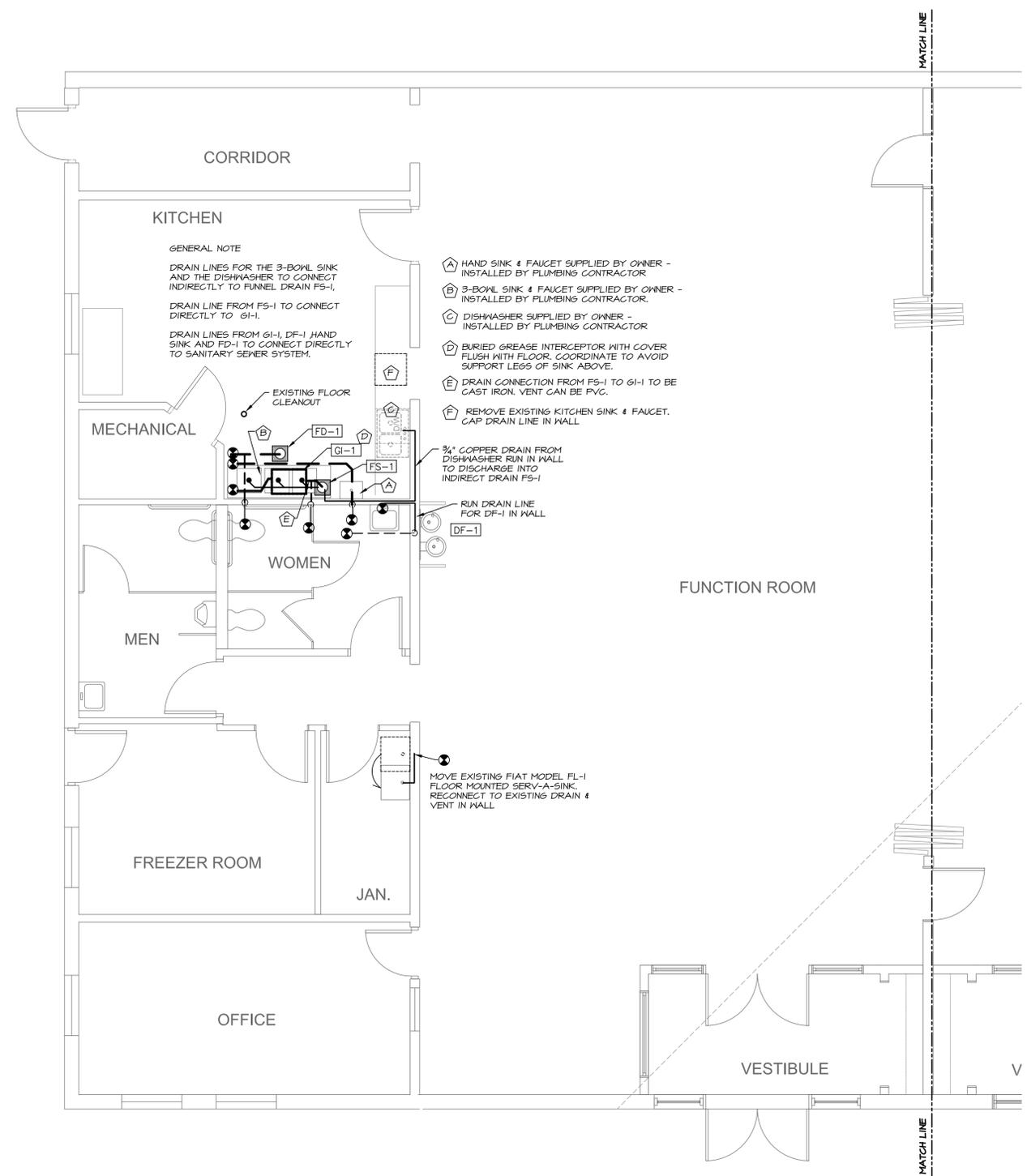
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Sheet Title:
**PLUMBING
 MAIN LEVEL WEST
 DRAIN & VENT PLAN**

No.	Revision/Issue	Date

Design by:	KFM	Checked by:	MAD
Drawn by:	KFM	Approved by:	KFM
Project No:	CCPG #1185	Date:	February 18, 2019

Sheet Number:
P1.1



GENERAL NOTE
 DRAIN LINES FOR THE 3-BOWL SINK AND THE DISHWASHER TO CONNECT INDIRECTLY TO FUNNEL DRAIN FS-1.
 DRAIN LINE FROM FS-1 TO CONNECT DIRECTLY TO GI-1.
 DRAIN LINES FROM GI-1, DF-1 HAND SINK AND FD-1 TO CONNECT DIRECTLY TO SANITARY SEWER SYSTEM.

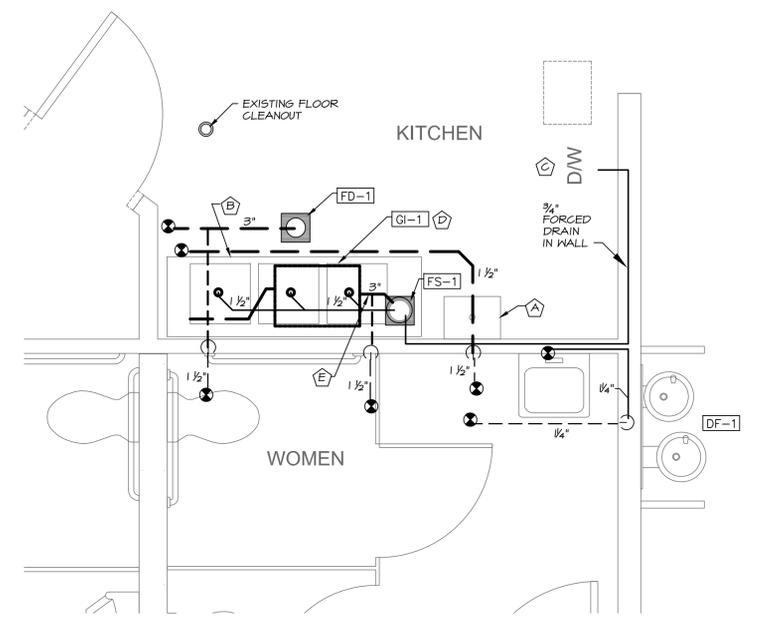
A HAND SINK & FAUCET SUPPLIED BY OWNER - INSTALLED BY PLUMBING CONTRACTOR
 B 3-BOWL SINK & FAUCET SUPPLIED BY OWNER - INSTALLED BY PLUMBING CONTRACTOR
 C DISHWASHER SUPPLIED BY OWNER - INSTALLED BY PLUMBING CONTRACTOR
 D BURIED GREASE INTERCEPTOR WITH COVER FLUSH WITH FLOOR. COORDINATE TO AVOID SUPPORT LEGS OF SINK ABOVE.
 E DRAIN CONNECTION FROM FS-1 TO GI-1 TO BE CAST IRON. VENT CAN BE PVC.
 F REMOVE EXISTING KITCHEN SINK & FAUCET. CAP DRAIN LINE IN WALL

EXISTING FLOOR CLEANOUT

3/4" COPPER DRAIN FROM DISHWASHER RUN IN WALL TO DISCHARGE INTO INDIRECT DRAIN FS-1

RUN DRAIN LINE FOR DF-1 IN WALL

MOVE EXISTING FIAT MODEL FL-1 FLOOR MOUNTED SERV-A-SINK. RECONNECT TO EXISTING DRAIN & VENT IN WALL

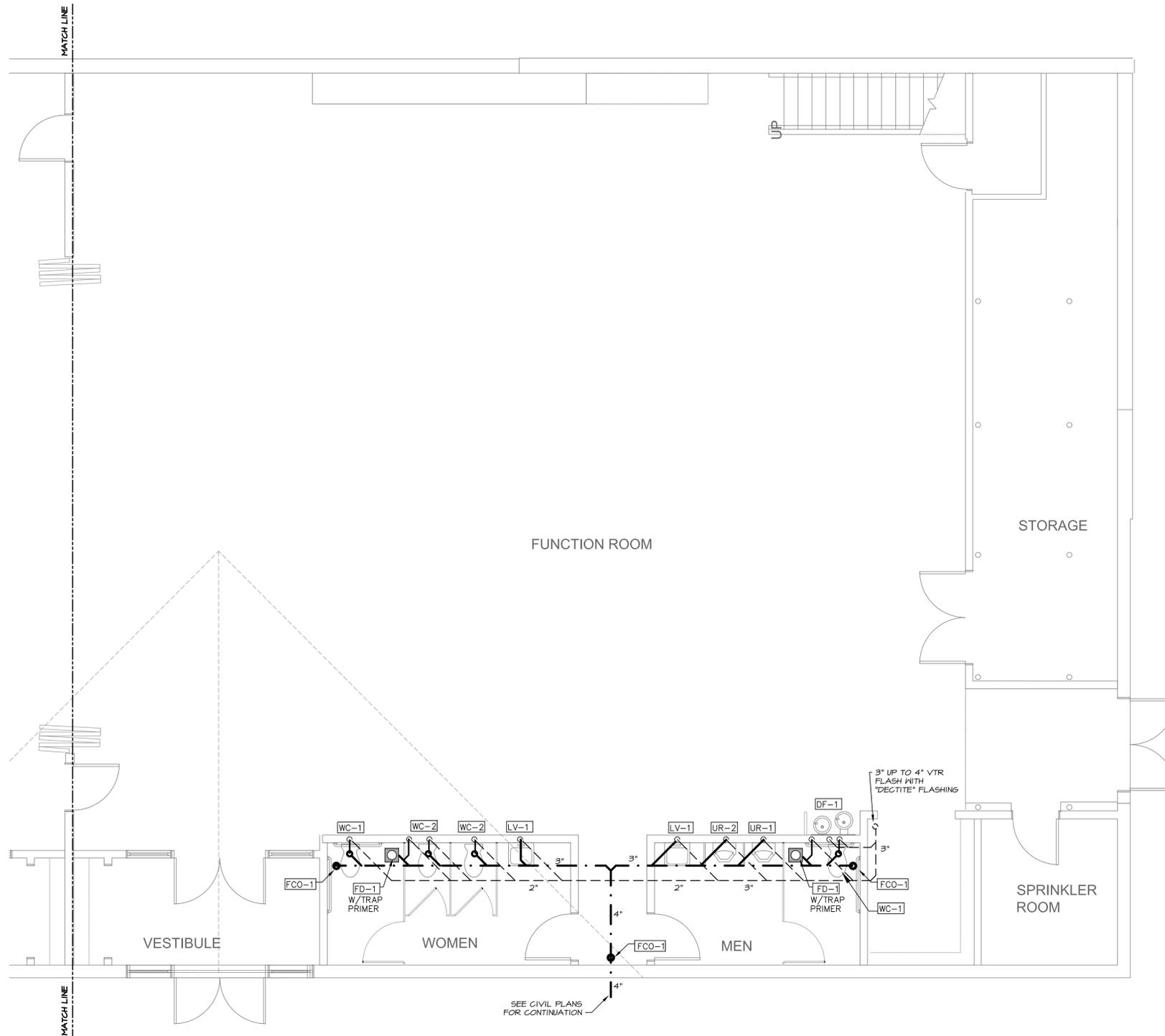


2 EXPANDED KITCHEN AREA DRAIN & VENT PLAN
 SCALE: 1/2" = 1'-0"

1 PLUMBING DRAIN & VENT PLAN - MAIN LEVEL WEST
 SCALE: 1/4" = 1'-0"



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1 PLUMBING DRAIN & VENT PLAN - MAIN LEVEL EAST
 SCALE: 1/4" = 1'-0"

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1/4" = 1'-0"

Project:
AUBURN SENIOR CENTER RENOVATIONS
 48 Pettingill Park Road, Auburn, Maine

Client:
 City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

Consultant Name and Address:

MECHANICAL SYSTEMS ENGINEERS
 ROYAL RIVER CENTER, UNIT #10B
 10 FOREST FALLS DRIVE
 YARMOUTH, MAINE 04096
 (207) 846-1441

ARCHITECT
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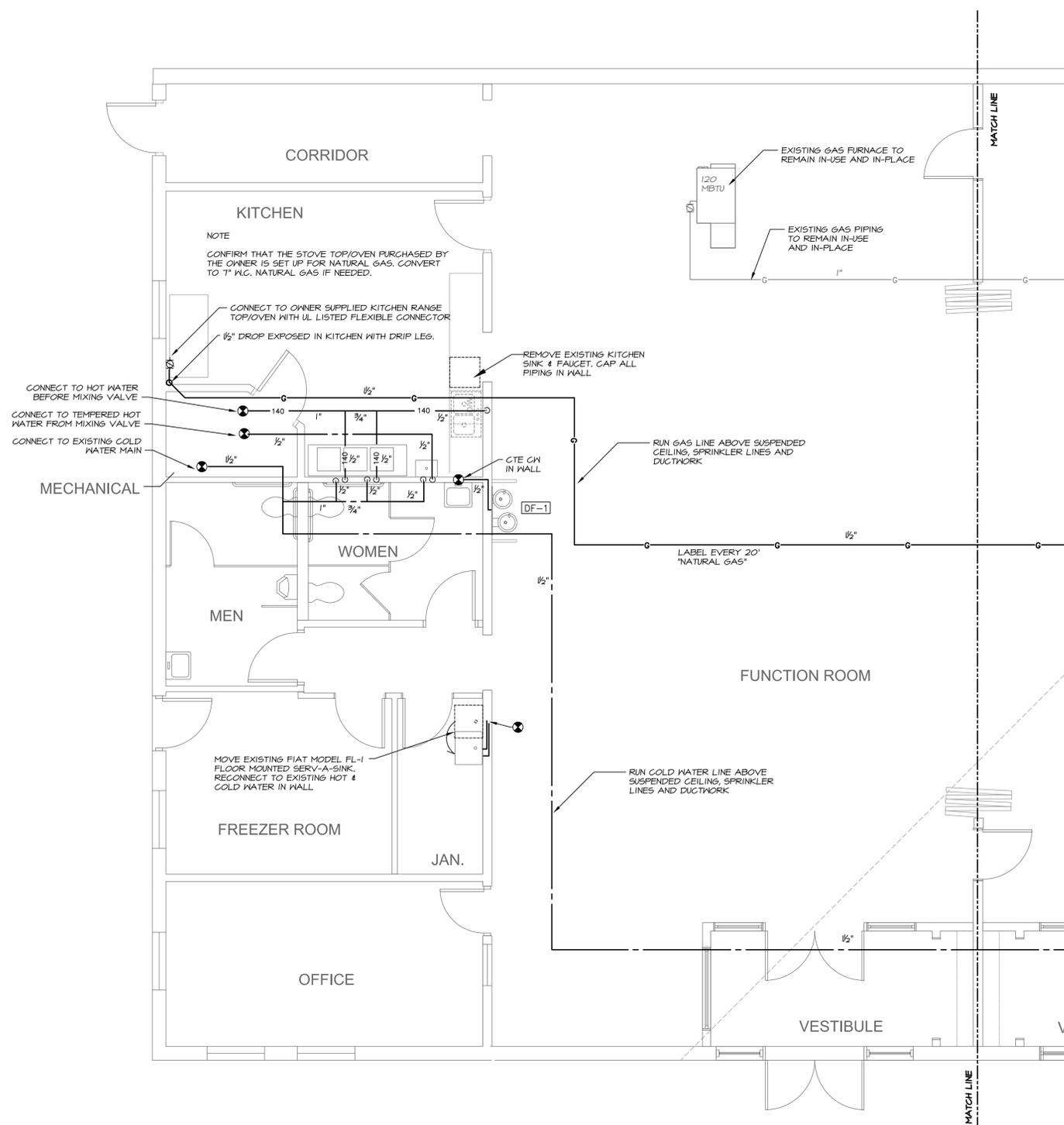
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Sheet Title:
PLUMBING MAIN LEVEL EAST DRAIN & VENT PLAN

No.	Revision/Issue	Date

Design by: KFM	Checked by: MAD
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Project No: CCPG #1185	Date: February 18, 2019

Sheet Number:
P1.2



1 PLUMBING WATER & GAS PLAN - MAIN LEVEL WEST
 SCALE: 1/4" = 1'-0"

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Project:
 AUBURN
 SENIOR CENTER
 RENOVATIONS
 48 Pettingill Park Road, Auburn, Maine

Client:
 City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

Consultant Name and Address:

 MECHANICAL SYSTEMS ENGINEERS
 ROYAL RIVER CENTER, UNIT #108
 10 FOREST FALLS DRIVE
 YARMOUTH, MAINE 04096
 (207) 846-1441

ARCHITECT:
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Drawing Status:

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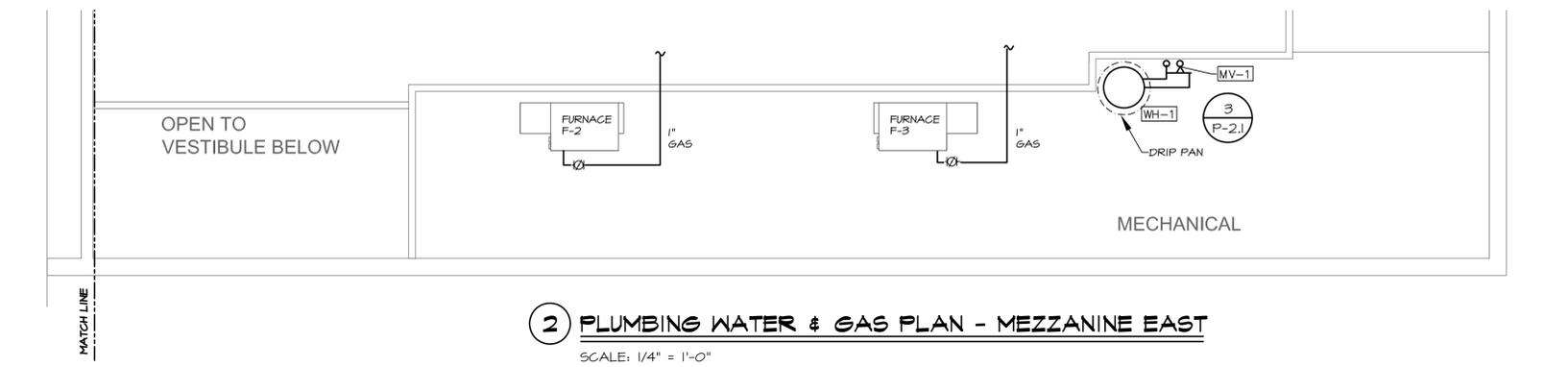
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Sheet Title:
 PLUMBING
 MAIN LEVEL WEST
 WATER & GAS PLAN

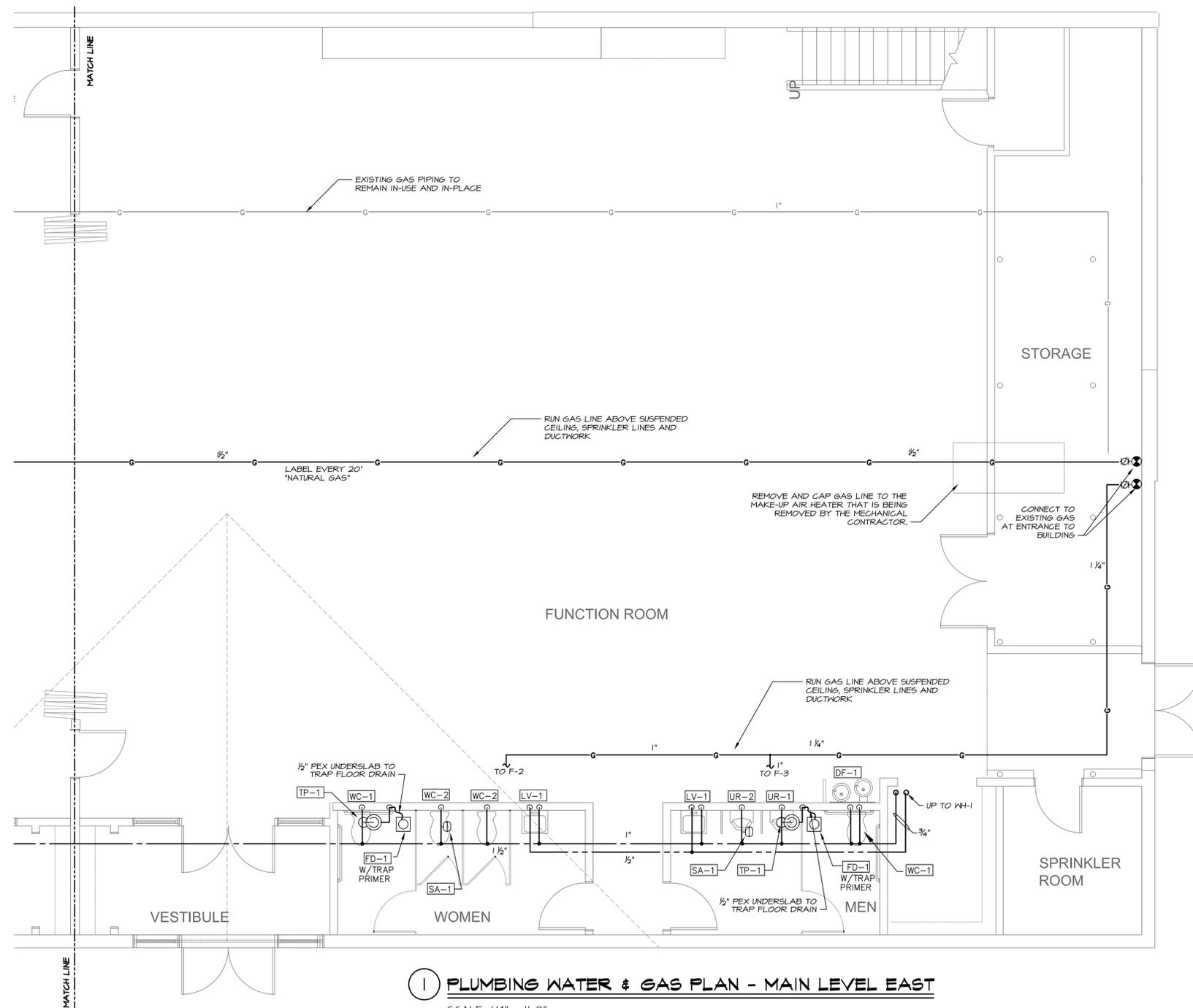
No.	Revision/Issue	Date

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Project No: CCPG #1185	Date: February 18, 2019

Sheet Number:
P1.3



2 PLUMBING WATER & GAS PLAN - MEZZANINE EAST
SCALE: 1/4" = 1'-0"



1 PLUMBING WATER & GAS PLAN - MAIN LEVEL EAST
SCALE: 1/4" = 1'-0"



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Project:
**AUBURN
SENIOR CENTER
RENOVATIONS**
48 Pettingill Park Road, Auburn, Maine

Client:
City of Auburn, Maine
60 Court Street
Auburn, Maine 04210

Legend:

Consultant Name and Address:

MECHANICAL SYSTEMS ENGINEERS
ROYAL RIVER CENTER, UNIT #10B
10 FOREST FALLS DRIVE
YARMOUTH, MAINE 04096
(207) 846-1441

ARCHITECT
JOHN E. HANSEN, ARCHITECT
632 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04858
PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

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CORDJIA
CAPITAL PROJECTS GROUP
Canden, ME | Portland, ME | York, ME
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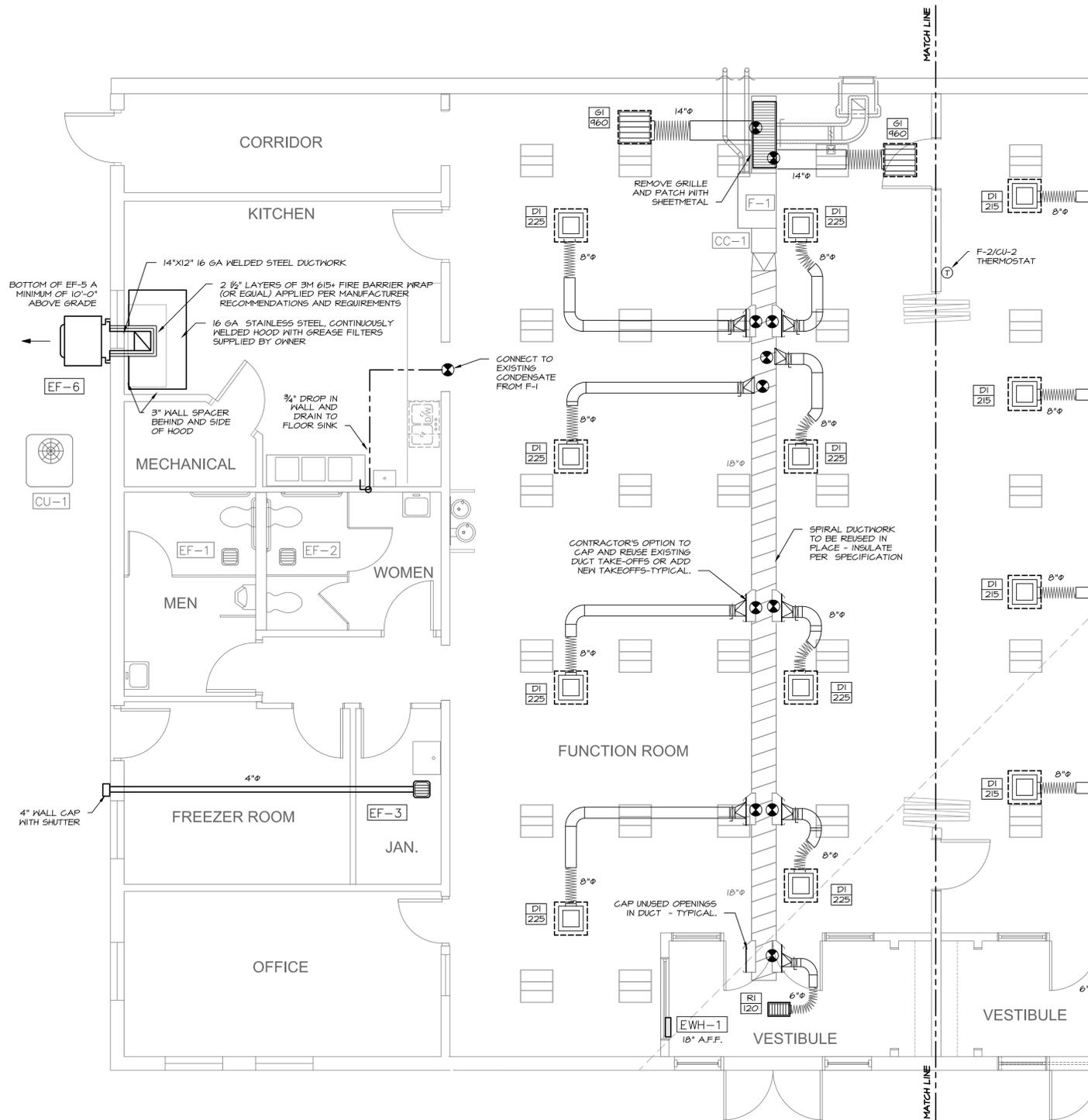
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Sheet Title:
**PLUMBING
MAIN & MEZZANINE EAST
WATER & GAS PLAN**

No.	Revision/Issue	Date

Design by: KFM	Checked by: MAD
Drawn by: KFM	Approved by: KFM
Project No: CCPG #1185	Date: February 18, 2019

Sheet Number:
P1.4



MECHANICAL PLAN - MAIN LEVEL WEST

SCALE: 1/4" = 1'-0"

SHEETMETAL LEGEND

-  4-WAY CEILING SUPPLY DIFFUSER, T-BAR LAY-IN
-  4-WAY CEILING SUPPLY DIFFUSER, SURFACE MOUNT
-  RETURN OR EXHAUST INLET, T-BAR LAY-IN
-  RETURN OR EXHAUST INLET, SURFACE MOUNT
-  DOUBLE DEFLECTION REGISTER WITH OPPOSED BLADE DAMPERS
-  BELLMOUTH TAKEOFF
-  BELLMOUTH TAKEOFF WITH HEAVY DUTY 24 GA. DAMPER AND CLOSED END BEARING
- UL LISTED FLEXIBLE DUCTWORK, INSULATED 1-1/2", MAXIMUM RUN LENGTH 6'-0"
-  MOTORIZED DAMPER
-  MANUAL DAMPER - LOCKING QUADRANT
-  THERMOSTAT
-  CONNECT TO EXISTING
- A.F.F. ABOVE FINISHED FLOOR

MECHANICAL SCOPE OF WORK

1. Remove from jobsite and deliver to a owner designated site in Auburn, Maine the following:
 - 1.1. Cambridge gas-fired hanging heating unit.
 - 1.2. Cambridge wall-mounted control panel
 - 1.3. Ductwork associated with the Cambridge Unit.
2. Contractor to provide a completely installed and operating heating ventilation and cooling system including but not limited to:
 - 2.1. Condensing gas furnaces and split system air conditioning systems.
 - 2.2. Ductwork including supply, return and outside air.
 - 2.3. Registers, and grilles.
 - 2.4. Restroom Fans
 - 2.5. Condensate piping
 - 2.6. Refrigerant piping
 - 2.7. Electric wall heaters
 - 2.8. Vent and combustion air piping
 - 2.9. Motorized dampers, thermostat and controls
 - 2.10. Control wiring. Note- control wiring can be done by a control sub contractor to the mechanical contractor or the mechanical contractor if factory trained in control system being installed.
3. Start, test, balance and warranty.
 - 3.1. Start and test all new HVAC equipment per manufacturers recommendations.
 - 3.2. Balance air flow as indicated on drawings. Provide owner with a balance report. Note- balancing can be done by a balancing contractor or the mechanical contractors employees.
 - 3.3. Provide the owner with a one-year warranty on all parts, labor and material. Five-year parts only warranty on compressor and ten-year parts only warranty on heat exchanger.
 - 3.4. Provide at least two hours of owner training and an operation and maintenance manual.

NOTE
INSTALLATION OF THE KITCHEN HOOD, FAN DUCTWORK & INSULATION WILL BE SEPARATELY CONTRACTED BY THE OWNER.

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48 Pettingill Park Road, Auburn, Maine

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Legend:

Consultant Name and Address:

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10 FOREST FALLS DRIVE
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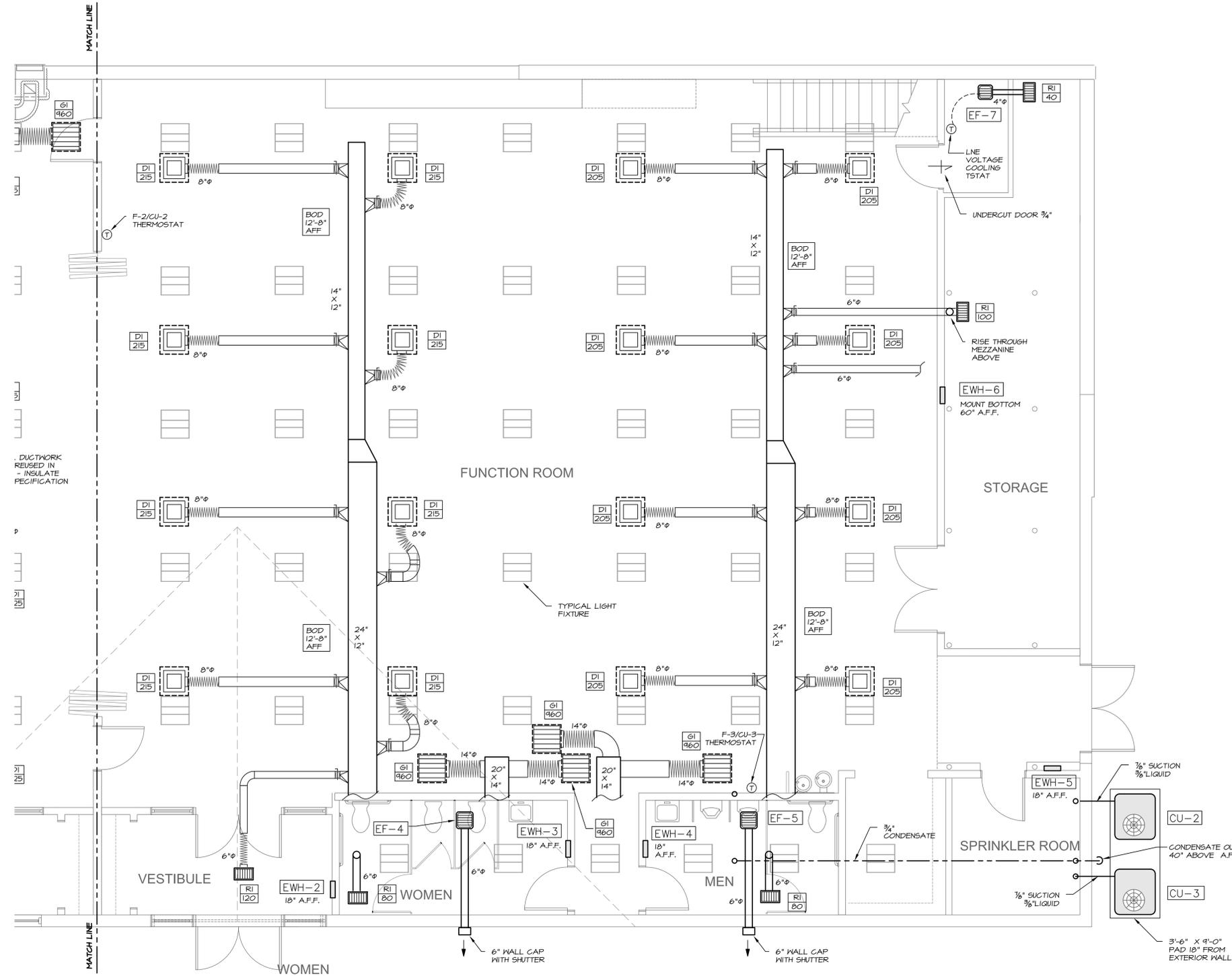
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Sheet Title:
MECHANICAL MAIN LEVEL WEST PLAN

No.	Revision/Issue	Date

Design by: KFM	Checked by: MAD
Drawn by: KFM	Approved by: KFM
Project No: CCPG #1185	Date: February 18, 2019

Sheet Number:
M1.1



MECHANICAL PLAN - MAIN LEVEL EAST
 SCALE: 1/4" = 1'-0"

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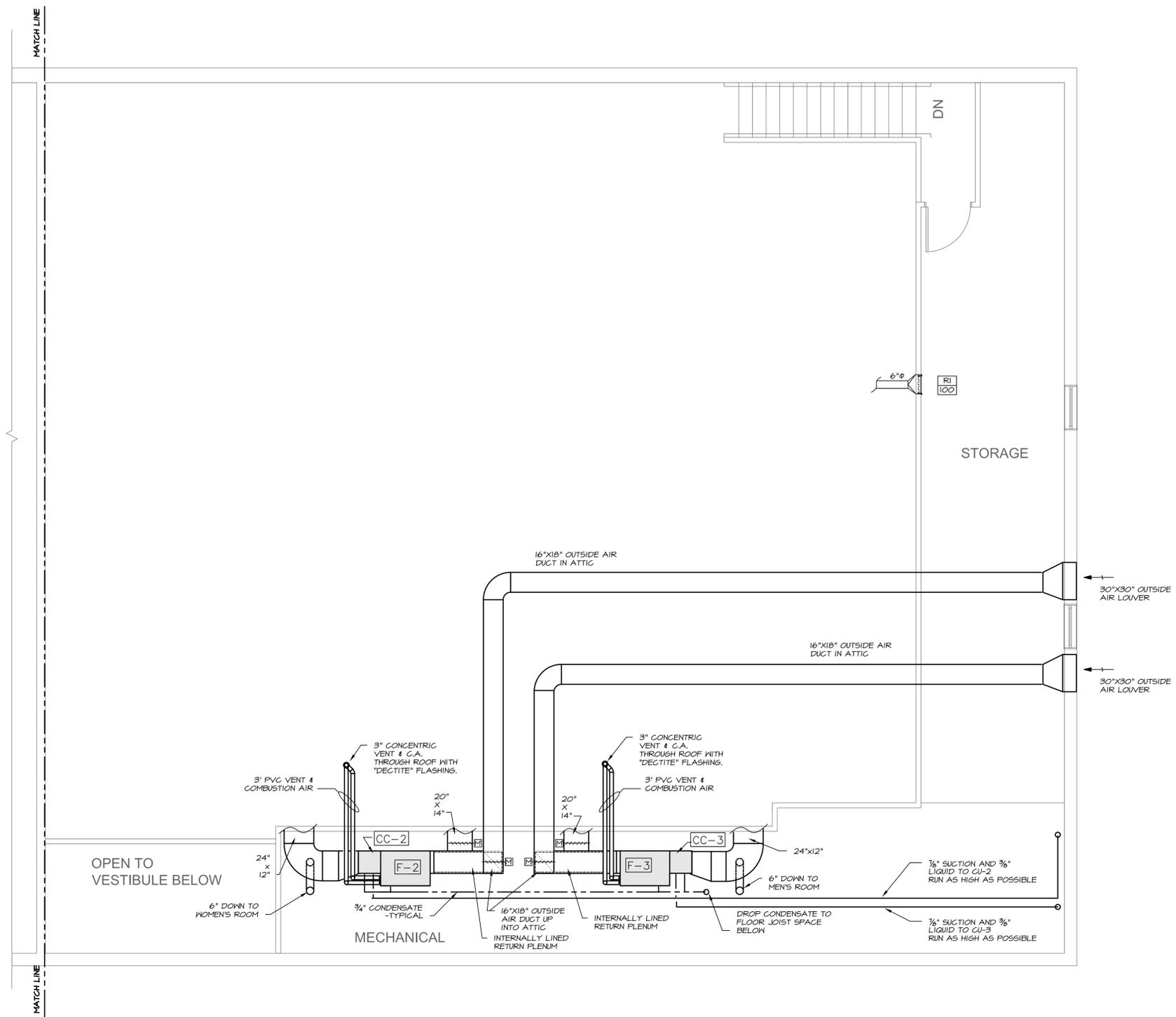
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MECHANICAL MAIN LEVEL EAST PLAN

No.	Revision/Issue	Date

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Project No: CCPG #1185	Date: February 18, 2019

Sheet Number:
M1.2



MECHANICAL PLAN - MEZZANINE & ATTIC EAST
 SCALE: 1/4" = 1'-0"

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Project:
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 SENIOR CENTER
 RENOVATIONS**
 48 Pettingill Park Road, Auburn, Maine

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Legend:

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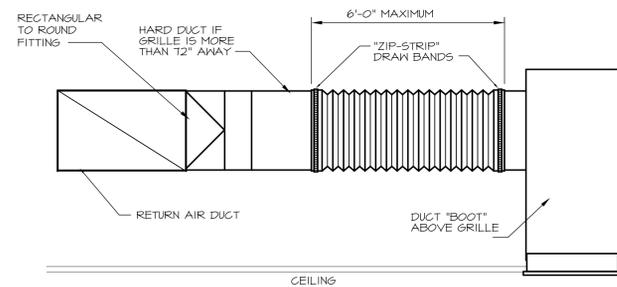
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**MECHANICAL
 MEZZANINE & ATTIC EAST
 PLAN**

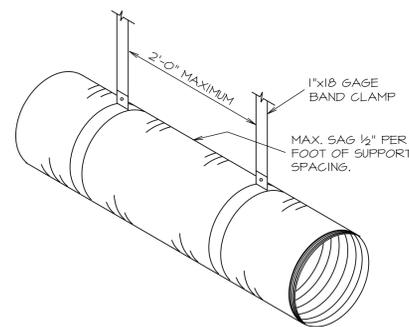
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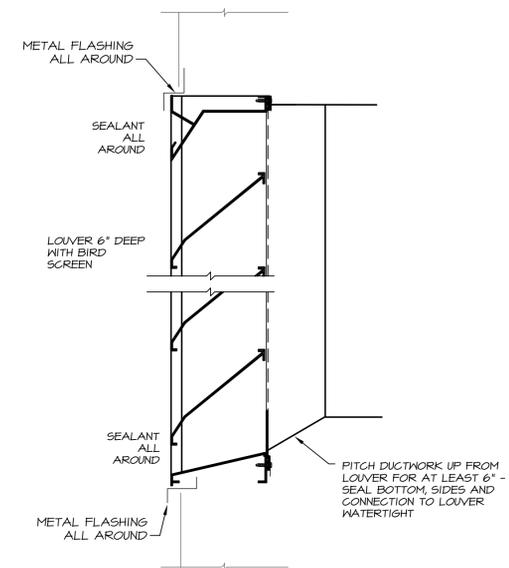
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M1.3



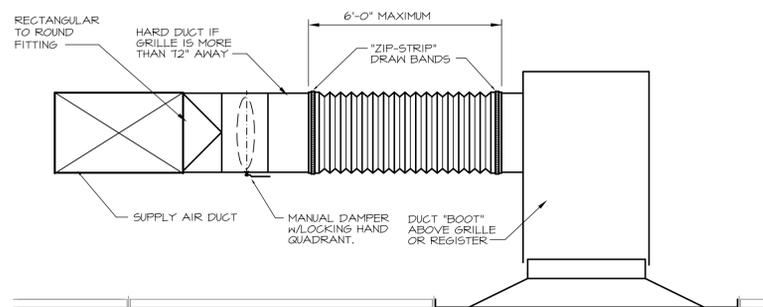
1 FLEXIBLE DUCT & RETURN GRILLE CONNECTION
NO SCALE



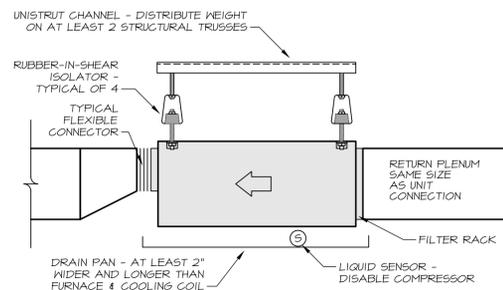
2 FLEXIBLE DUCT SUPPORT DETAIL
NO SCALE



5 EXTERIOR LOUVER DETAIL
FOR METAL WALLS
NO SCALE



3 FLEXIBLE DUCT & DIFFUSER CONNECTION DETAIL
NO SCALE



4 TYPICAL FURNACE & COOLING COIL
NO SCALE

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Project:
**AUBURN
SENIOR CENTER
RENOVATIONS**
48 Pettingill Park Road, Auburn, Maine

Client:
City of Auburn, Maine
60 Court Street
Auburn, Maine 04210

Legend:

Consultant Name and Address:

MECHANICAL SYSTEMS ENGINEERS
ROYAL RIVER CENTER, UNIT #10B
10 FOREST FALLS DRIVE
YARMOUTH, MAINE 04096
(207) 846-1441

ARCHITECT
JOHN E. HANSEN, ARCHITECT
632 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04858
PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Firm Name and Address:
 **CORDJIA**
CAPITAL PROJECTS GROUP
Camden, ME | Portland, ME | York, ME
207.236.9970 | www.cordjacapitalprojects.com

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Sheet Title:
**MECHANICAL
DETAILS**

No.	Revision/Issue	Date

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Drawn by: KFM	Approved by: KFM
Project No: CCPG #1185	Date: February 18, 2019

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M2.1

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ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
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Sheet Title:

MECHANICAL SCHEDULES & NOTES

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CONDENSING UNIT SCHEDULE

TAG	DESIGN MANUFACTURER AND MODEL	NOMINAL SIZE	REFRIGERANT	ELECTRIC			WEIGHT	REMARKS
				POWER	MCA	MOP		
CU-1	EXISTING CONDENSING UNIT	5 TONS	410A	240/60/1	35	60	226 LBS	EXISTING UNIT TO REMAIN IN-PLACE AND IN-USE
CU-2	TRANE 4TTA3060D3	5 TONS	410A	208/60/3	21	35	226 LBS	
CU-3	TRANE 4TTA3060D3	5 TONS	410A	208/60/3	21	35	226 LBS	

GAS FURNACE SCHEDULE

TAG	DESIGN MANUFACTURER & MODEL	BTUH INPUT	BTUH OUTPUT	AFUE	FUEL	CFM	MINIMUM OUTSIDE AIR	E.S.P.	MOTOR HP	POWER	REMARKS
F-1	EXISTING FURNACE	120,000	110,000	92.1%	NAT. GAS.	1,920	650	0.5"	0.5	120/60/1	EXISTING FURNACE TO REMAIN IN-PLACE AND IN-USE
F-2	TRANE TUXD120A9H51B (UPFLOW/HORIZONTAL)	120,000	110,000	92.1%	NAT. GAS.	1,920	650	0.5"	0.5	120/60/1	CONDENSING FURNACE SEALED COMBUSTION, CONDENSATE NEUTRALIZER, AND T-DAY PROGRAMMABLE TSTAT
F-3	TRANE TDXD120A9H51B (DOWNFLOW/HORIZONTAL)	120,000	110,000	92.1%	NAT. GAS.	1,920	650	0.5"	0.5	120/60/1	CONDENSING FURNACE SEALED COMBUSTION, CONDENSATE NEUTRALIZER, AND T-DAY PROGRAMMABLE TSTAT

COOLING COIL SCHEDULE

TAG	DESIGN MANUFACTURER & MODEL	TOTAL BTUH	SEER	REMARKS
CC-1	EXISTING COOLING COIL	60,000	13	EXISTING COIL TO REMAIN IN-PLACE AND IN-USE
CC-2	TRANE TO MATCH FURNACE AND MEET SEER SPECIFIED	60,000	13	HORIZONTAL CASED COIL WITH TX VALVE
CC-3	TRANE TO MATCH FURNACE AND MEET SEER SPECIFIED	60,000	13	HORIZONTAL CASED COIL WITH TX VALVE

AIR TERMINAL SCHEDULE

TAG	MANUFACTURER & MODEL	SIZE	MAX NC	MAX SP	MAX CFM	REMARKS
DI	PRICE SMD3P	9"X9"	20	.07	282	T-BAR MOUNT CEILING DIFFUSER
RI	PRICE 5209D	14"X8"	20	.07	333	DOUBLE DEFLECTION SUPPLY REGISTER WITH DAMPER
GI	PRICE 530	22"X22"	20	.07	1400	45 DEGREE RETURN GRILLE FOR LAY-IN T-BAR MOUNT

FAN SCHEDULE

TAG	DESIGN MANUFACTURER & MODEL	TYPE	CFM	ESP	ELECTRIC			REMARKS	CONTROL
					POWER	FLA	HP		
EF-1	EXISTING FAN	CEILING	110	0.1"	115 / 60 / 1	0.4		MAXIMUM 0.7 SONE	FAN TO REMAIN IN-PLACE AND IN-USE
EF-2	EXISTING FAN	CEILING	110	0.1"	115 / 60 / 1	0.4		MAXIMUM 0.7 SONE	FAN TO REMAIN IN-PLACE AND IN-USE
EF-3	GREENHECK SP650	CEILING	40	0.375"	115 / 60 / 1	1.7		MAXIMUM 4.5 SONE	POWERED BY ROOM LIGHT SWITCH
EF-4	GREENHECK SPB150	CEILING	150	0.5"	115 / 60 / 1	1.7		MAXIMUM 4.5 SONE	POWERED BY ROOM LIGHT SWITCH
EF-5	GREENHECK SPB150	CEILING	150	0.5"	115 / 60 / 1	1.7		MAXIMUM 4.2 SONE	POWERED BY ROOM LIGHT SWITCH
EF-6	OWNER SUPPLIED ACME PDUI35R6 64	CEILING	1200	0.75"	115 / 60 / 1		0.5	NA	"
EF-7	GREENHECK SP650	CEILING	40	0.375"	115 / 60 / 1	1.7		MAXIMUM 4.5 SONE	PROVIDE WITH LINE VOLTAGE "COOLING" THERMOSTAT

ELECTRIC WALL HEATER SCHEDULE

TAG	DESIGN MANUFACTURER & MODEL	TYPE	WATTS	ELECTRIC			CONTROL
				POWER	FLA	ELECTRICAL REMARKS	
ENH-1	MARKEL 3000 F3052TDWB	RECESSED, WALL-MOUNTED FAN-FORCED	2,000	208 / 60 / 1	8.3	POWERED FOR 2000 WATTS - FIELD SELECTED AT 2000 WATTS	BUILT-IN TAMPER PROOF THERMOSTAT
ENH-2	MARKEL 3000 F3052TDWB	RECESSED, WALL-MOUNTED FAN-FORCED	2,000	208 / 60 / 1	8.3	POWERED FOR 2000 WATTS - FIELD SELECTED AT 2000 WATTS	BUILT-IN TAMPER PROOF THERMOSTAT
ENH-3	MARKEL 3000 F3052TDWB	RECESSED, WALL-MOUNTED FAN-FORCED	1,000	208 / 60 / 1	8.3	POWERED FOR 2000 WATTS - FIELD SELECTED AT 1000 WATTS	BUILT-IN TAMPER PROOF THERMOSTAT
ENH-4	MARKEL 3000 F3052TDWB	RECESSED, WALL-MOUNTED FAN-FORCED	1,000	208 / 60 / 1	8.3	POWERED FOR 2000 WATTS - FIELD SELECTED AT 1000 WATTS	BUILT-IN TAMPER PROOF THERMOSTAT
ENH-5	MARKEL 3000 F3052TDWB	RECESSED, WALL-MOUNTED FAN-FORCED	1,000	208 / 60 / 1	8.3	POWERED FOR 2000 WATTS - FIELD SELECTED AT 1000 WATTS	BUILT-IN TAMPER PROOF THERMOSTAT
ENH-6	MARKEL 3000 F3052TDWB	RECESSED, WALL-MOUNTED FAN-FORCED	2,000	208 / 60 / 1	8.3	POWERED FOR 2000 WATTS - FIELD SELECTED AT 2000 WATTS	BUILT-IN TAMPER PROOF THERMOSTAT

CONTROL NOTES

- It will be the Mechanical Contractor's responsibility to provide and install all controls and all control wiring.
- All control wiring that is run in concealed spaces to be plenum rated.
- All control wiring that is run exposed shall be in electrical conduit provided and installed by the mechanical contractor. All new electrical conduit to be painted to match wall/ceiling.
- Thermostat to be electronic, programmable with T-day programming and an acrylic locked enclosure. Thermostat to be able to provide the fan and outdoor air damper sequence of operation described below.
- Sequence of operation
 - During the occupied cycle the outside air damper is to be open to the minimum position and the indoor fan to run continuously. Heating and cooling to cycle on the occupied settings.
 - During the unoccupied cycle the outside air damper is to be 100% closed and the indoor fan to run only on a call for heating or cooling.
 - ECONOMIZE3R CYCLE - On a call for cooling the first stage cooling will be by modulating the outside air and return air dampers to achieve a mixed air temperature of 55 deg. (adjustable). 2nd stage cooling to enable the compressor.
 - KITCHEN HOOD CYCLE - when Kitchen Hood Fan EF-6 is energized place both CU-2/F-2 & CU-3/F-3 in the occupied mode (in order to accomplish make-up air for the Kitchen Hood - 650 CFM/fan system).

SHEETMETAL NOTES

- All ductwork to be fabricated and installed per SMACNA Low Pressure Ductwork Standards.
- Ductwork is shown diagrammatically and does not indicate all the offsets, rises and drops that will be required.
- All square elbows are to be installed with turning vanes.
- All outside air ductwork to be insulated with 1-1/2" fiberglass duct wrap with foil-faced vapor barrier.
- All supply ductwork to be insulated with 1-1/2" fiberglass duct wrap with foil-faced vapor barrier. Including the existing spiral duct system.
- Line return air plenum with 1/2" acoustical duct liner. Closed-cell flexible electromagnetic insulation.
- Furnace vent and combustion air to be Schedule 40 PVC plastic. Terminate per manufacturer's recommendations.

PIPING NOTES

- Piping is shown diagrammatically and does not indicate all the offsets, rises and drops that will be required.
- Condensate piping to be Schedule 40 PVC plastic. Provide trap, condensate neutralizer and cleanout at F-2, F-3, CC-2 & CC-3.
- Refrigerant piping to be Type "K" tubing or bendable ACR tube.
- Insulate suction lines with 3/4" electromagnetic closed cell insulation (ArmaFlex or equal). All exterior pipe insulation to be painted with a exterior paint approved by the insulation manufacturer.

GENERAL NOTES

- All systems are to be to meet the following Codes and Standards.
 - ASHRAE 90.1 2013 - Energy Standard for Commercial Buildings.
 - ASHRAE 60.1 2013 - Standard for Indoor Air Quality in Commercial Buildings.
 - 2009 IECC - International Energy Conservation Code.
 - NFPA - National Fire Protection Association Standards.
 - NEC 2014
- Do not cut any structural members without pre-approval of structural engineer.

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	<ul style="list-style-type: none"> PANELBOARD - FLUSH MOUNTED PANELBOARD - SURFACE MOUNTED DISCONNECT SWITCH CABLE TRAY MOTOR OR FAN JUNCTION BOX, CEILING OR WALL MOUNTED. MAKE CONNECTION TO RESPECTIVE EQUIPMENT. COORDINATE EXACT TERMINATION POINT IN FIELD OR THROUGH APPROVED SUBMITTALS. TRANSFORMER - SEE TRANSFORMER SCHEDULE INDICATES DEDICATED CIRCUIT OR HOMERUN BACK TO RESPECTIVE PANEL - (2)#12+(1)#12G UNO. REFER TO EQUIPMENT SCHEDULES AND PANELBOARD SCHEDULES FOR ADDITIONAL INFORMATION. DIVIDED POWER POLE FOR SYSTEM FURNITURE POWER AND DATA WIRING MOTORIZED DOOR OPERATOR AND PUSH PADDLE - FURNISHED BY DIVISION 08, WIRED BY DIVISION 26 ENCLOSED CIRCUIT BREAKER AUTOMATIC TRANSFER SWITCH SYSTEMS FURNITURE FEED WITH WHIPS, WALL MOUNT OR MOUNTED AT POWER POLE WHERE INDICATED - PROVIDE SINGLE GANG JUNCTION BOX 18" AFF FOR POWER; PROVIDE DOUBLE GANG JUNCTION BOX 18" AFF WITH EMPTY 1" CONDUIT WITH PULLSTRING FOR VOICE/DATA CABLING UP TO 6" ABOVE NEAREST ACCESSIBLE CEILING TRIPLE SWITCH FOR MANUAL TRANSFER FROM PERMANENT GENERATOR TO TEMPORARY ROLL-UP GENERATOR WITH CONNECTION (CAM-LOK) PROVISIONS FOR ROLL-UP UNIT (ESL OR EQUAL) IN-GRADE PULL HOLE, REFER TO PLANS FOR REQUIRED SIZE MOTOR RATED SWITCH WITH THERMAL OVERLOAD PROTECTION 			
C1	POWER DISTRIBUTION			

<p>SINGLE RECEPTACLES</p> <p> SPECIAL RECEPTACLE - REFER TO SPECIAL RECEPTACLE SCHEDULE FOR AMPACITY, NEMA CONFIGURATION, WIRE SIZE AND ADDITIONAL RELATED INFORMATION FOR ASSOCIATED LETTER</p> <p> OVERHEAD SPECIAL RECEPTACLE DROP - REFER TO SPECIAL RECEPTACLE SCHEDULE FOR AMPACITY, NEMA CONFIGURATION, WIRE SIZE AND ADDITIONAL RELATED INFORMATION FOR ASSOCIATED LETTER</p> <p>NOTES:</p> <ol style="list-style-type: none"> PROVIDE MATCHING CORD AND PLUG FOR SINGLE RECEPTACLES MOUNT EXTERIOR RECEPTACLES WITH CENTERLINE 24" AFG UNO MOUNT RECEPTACLES WITH CENTERLINE 18" AFF UNO. (30") INDICATES DEVICE MOUNTING HEIGHT WHEN NOT MOUNTED AT 18". (RC) INDICATES DEVICES IS MOUNTED IN RESPECTIVE ADJACENT RECEPTACLE RACEWAY. (LP) INDICATES DEVICE IS MOUNTED IN OVERHEAD CEILING LAB PANEL. REFER TO DETAIL ON LAB EQUIPMENT MATRIX SHEET FOR REQUIRED P-TOUCH LABELING. <p>FLOOR AND CEILING DEVICES</p> <p> OVERHEAD RECEPTACLE DROP, DOUBLE DUPLEX</p> <p>RECEPTACLES</p> <p> DUPLEX RECEPTACLE - 20A, 125V, 2P, 3W, NEMA 5-20R</p> <p> DOUBLE DUPLEX RECEPTACLE</p> <p> GFCI DUPLEX RECEPTACLE, MOUNT 44" AFF UNO</p> <p> GFCI DOUBLE DUPLEX RECEPTACLE, MOUNT 44" AFF UNO</p> <p> GFCI RECEPTACLE FOR ELECTRIC WATER COOLER - COORDINATE LOCATION WITH DIVISION 22.</p> <p> GFCI RECEPTACLE WITH WEATHERPROOF COVER</p> <p> GFCI RECEPTACLE IN WP ENCLOSURE ON ROOF</p> <p> TECHNOLOGY DEVICES - REFER TO TECHNOLOGY SCHEDULE</p> <p>NOTES:</p> <ol style="list-style-type: none"> MOUNT RECEPTACLES WITH CENTERLINE 18" AFF UNO MOUNT EXTERIOR RECEPTACLES WITH CENTERLINE 24" AFG UNO 	<p>LIGHTING SWITCHES</p> <p> LIGHT SWITCH, 20A, 125/277V</p> <p> MULTI-GANGED SWITCHES, GANG UNDER ONE PLATE, LETTER INDICATES SWITCHING</p> <p> OCCUPANCY SENSOR SWITCH/OCCUPANCY SENSOR SWITCH</p> <p> OCCUPANCY SENSOR SWITCH WITH DIMMING - COORDINATE DIMMING TECHNOLOGY WITH LOAD TO BE DIMMED</p> <p> OCCUPANCY SENSOR, CEILING MOUNTED</p> <p> DIMMER SWITCH - COORDINATE DIMMING TECHNOLOGY WITH LOAD TO BE DIMMED</p> <p> LOW VOLTAGE LIGHT SWITCH, MOMENTARY CONTACT</p> <p> DAYLIGHT HARVESTING SENSOR, CEILING MOUNTED</p> <p>NOTES:</p> <ol style="list-style-type: none"> MOUNT LIGHT SWITCHES WITH CENTERLINE 48" AFF. UNO LOWER CASE LETTER AT SWITCH INDICATES SWITCHING <p>EMERGENCY AND EXIT LIGHTING</p> <p> HATCHING INDICATES FIXTURE CONNECTED TO LIFE SAFETY BRANCH PANEL EPS2. FIXTURES SHALL AUTOMATICALLY SWITCH TO FULL ON UPON FIRE ALARM OR LOSS OF NORMAL POWER.</p> <p> "EM" INDICATES EMERGENCY WHERE SYMBOL HATCHING IS UNCLEAR</p> <p> EXIT SIGN, CEILING MOUNTED, SHADING INDICATES FACE(S) ARROWHEAD INDICATES CHEVRON(S) REQUIRED, CONNECT TO UNSWITCHED PORTION OF AREA LIFE SAFETY LIGHTING BRANCH CIRCUIT, U.N.O.</p> <p> EXIT SIGN, WALL MOUNTED, SHADING INDICATES FACE(S) MOUNT AT 7'-6" AFF OR OVER DOOR, CONNECT TO UNSWITCHED PORTION OF AREA LIFE SAFETY LIGHTING BRANCH CIRCUIT, U.N.O.</p> <p> EMERGENCY BATTERY LIGHTING</p> <p>TYPICAL FOR ALL FIXTURE TYPES:</p> <p>INDICATES LUMINAIRE TYPE ON SCHEDULE</p> <p>LOWER CASE LETTER INDICATES SWITCHING</p> <p></p>	<p> PANIC BUTTON - 44" AFF</p> <p> DOOR LATCH RELEASE - PROVIDE WALL MOUNT EMPTY SINGLE GANG BOX 44" AFF WITH 1/2" CONDUIT WITH PULL STRING.</p> <p> CAMERA - PROVIDE CAMERA AND SINGLE GANG BOX WITH 3/4" CONDUIT. MOUNTING HEIGHT AND LOCATION SHALL BE CONFIRMED WITH OWNER PRIOR TO ROUGH IN.</p> <p> REQUEST TO EXIT MOTION DETECTOR - EMPTY SINGLE GANG FLUSH MOUNTED CEILING JUNCTION BOX. DEVICES AND WIRING BY DIV 08 U.N.O.</p> <p> REQUEST TO EXIT PUSH BUTTON- PROVIDE RECESSED WALL MOUNTED EMPTY SINGLE GANG BOX 44" AFF WITH 3/4" CONDUIT WITH PULL STRING. DEVICES AND WIRING BY DIV 08 U.N.O.</p> <p> CARD READER - PROVIDE RECESSED WALL MOUNTED SINGLE-GANG BOX 44" AFF WITH 1/2" CONDUIT. EXTERIOR BOXES SHALL BE WEATHERPROOF.</p> <p> ALIPHONE INTERCOM DOOR STATION - PROVIDE JUNCTION BOX ABOVE AND RECESSED 1/2" CONDUIT WITH PULL STRING TO 60" AFF.</p> <p> ALIPHONE INTERCOM MASTER STATION - PROVIDE RECESSED WALL MOUNTED SINGLE GANG BOX 18" AFF WITH 3/4" CONDUIT WITH PULL STRING. VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH IN.</p> <p> DOOR LOCK - PROVIDE EMPTY 1/2" RECESSED CONDUIT WITH PULL STRING IN DOOR FRAME, RUN FROM DOOR LOCK LOCATION IN FRAME TO DOOR LOCK POWER LOCATION.</p> <p> ACCESS CONTROL - PROVIDE JUNCTION BOX ABOVE CEILING WITH RECESSED CONDUITS WITH PULL STRINGS TO DOOR FRAME AT 50" AFF AT HINGE SIDE, 50" AFF AT LATCH SIDE AND AT HEADER 6" FROM LATCH SIDE.</p> <p> DOOR POSITION SWITCH - PROVIDE 3/4" RECESSED CONDUIT TO DOOR FRAME HEADER 6" FROM LATCH SIDE.</p> <p> MOTION SENSOR - CEILING MOUNTED</p> <p> MOTION SENSOR - WALL MOUNTED</p> <p> SECURITY PANEL ANNUNCIATOR (DIV 28)</p> <p> FLASHING SECURITY SYSTEM LIGHT (DIV 28)</p> <p> SECURITY SYSTEM KEYPAD - 44" AFF</p> <p>NOTES:</p> <ol style="list-style-type: none"> DOOR HARDWARE BY DIV 8 U.N.O. LOW VOLTAGE WIRING AND DEVICES BY OWNER UNLESS NOTED OTHERWISE. CONDUITS SHALL BE RUN CONCEALED FROM EACH OUTLET BOX OR TERMINATION TO 6" ABOVE THE NEAREST ACCESSIBLE CORRIDOR CEILING THAT IS CONTIGUOUS TO THE NEAREST IT ROOM, J-HOOK OR CABLE TRAY PATHWAY UNO. IN ROOMS WITHOUT CEILINGS, CONDUIT SHALL BE RUN AT UNDERSIDE OF DECK TO 6" ABOVE THE NEAREST ACCESSIBLE CORRIDOR CEILING THAT IS CONTIGUOUS TO THE NEAREST IT ROOM, J-HOOK OR CABLE TRAY PATHWAY. UNO. CONDUIT PATHWAYS SHALL BE PROVIDED FOR ANY PORTIONS OF THE PATH TO NEAREST IT ROOM, J-HOOK, OR CABLE TRAY THAT HAS EXPOSED DECK OR HAS INACCESSIBLE CEILINGS. DIVISION 26 SHALL PROVIDE 120 VOLT POWER WHERE INDICATED. DIV 26 SHALL PROVIDE EMPTY BOXES AND CONDUITS WITH PULL STRING U.N.O. 	<p> WALL MOUNTED SYSTEMS CLOCK - 2.25 INCH</p> <p> WALL MOUNTED SYSTEMS CLOCK - 4 INCH</p> <p> PA SPEAKER, RECESSED CEILING MOUNTED - 2'x2' SQUARE</p> <p> PA SPEAKER, WALL MOUNTED</p> <p> LOUDSPEAKER, WALL MOUNTED</p> <p> INTERCOM - 48" AFF</p> <p> ADMINISTRATIVE INTERCOM - 48" AFF</p> <p> VOLUME CONTROL, MOUNT 48" AFF</p> <p> EXTERIOR WALL MOUNTED SPEAKER</p>
		B2	INTERCOMMUNICATIONS AND PROGRAM SYSTEM
			<p> VOICE EVACUATION FIRE ALARM CONTROL PANEL, MOUNT WITH TOP OF PANEL NOT MORE THAN 72" AFF</p> <p> FIRE ALARM TRANSPONDER CABINET</p> <p> FIRE ALARM ANNUNCIATOR, MOUNT WITH TOP OF PANEL NOT MORE THAN 72" AFF, WIRED TO FACP</p> <p> SMOKE DETECTOR, WIRED TO FACP</p> <p> DUCT SMOKE DETECTOR, WIRED TO FACP</p> <p> REMOTE TEST/INDICATOR FOR DUCT SMOKES, MOUNT ON CEILING BENEATH UNIT, OR WALL MOUNT WHERE INDICATED ON PLANS</p> <p> MANUAL PULL STATION, MOUNT 48" AFF</p> <p> HORN/STROBE, WALL MOUNTED CANDELA AS NOTED ON PLANS, WIRED TO FACP. MOUNT 80" AFF TO BOTTOM, OR 6" BELOW CEILING, WHICH EVER IS LOWER.</p> <p> STROBE ONLY INDICATING APPLIANCE, CEILING MOUNTED, CANDELA AS NOTED ON PLANS, WIRED TO FACP. MOUNT 80" AFF TO BOTTOM, OR 6" BELOW CEILING, WHICH EVER IS LOWER.</p> <p> STROBE ONLY INDICATING APPLIANCE, WALL MOUNTED, CANDELA AS NOTED ON PLANS, WIRED TO FACP, MOUNT 80" AFF TO BOTTOM, OR 6" BELOW CEILING, WHICH EVER IS LOWER.</p> <p> HORN/STROBE WITH PULL STATION DIRECTLY BELOW, MOUNT 80" AFF TO BOTTOM, OR 6" BELOW CEILING, WHICH EVER IS LOWER.</p> <p> KNOX BOX - COORDINATE FINAL LOCATION WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION.</p>

A1	RECEPTACLES	A2	LUMINAIRES	A5	SECURITY LEGEND	A6	FIRE ALARM
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Legend:

Consultant Name and Address:
Allied Engineering
160 Veranda Street
Portland, Maine 04103
E: 207.231.2346
F: 207.231.2346
Web: www.allied-eng.com

Firm Name and Address:
CORDJIA
CAPITAL PROJECTS GROUP
Calden, ME | Portland, ME | York, ME
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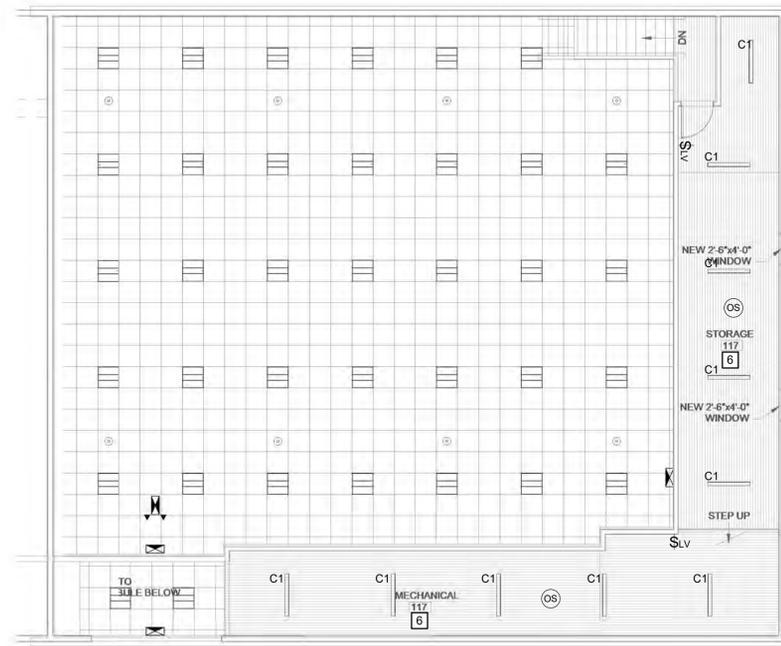
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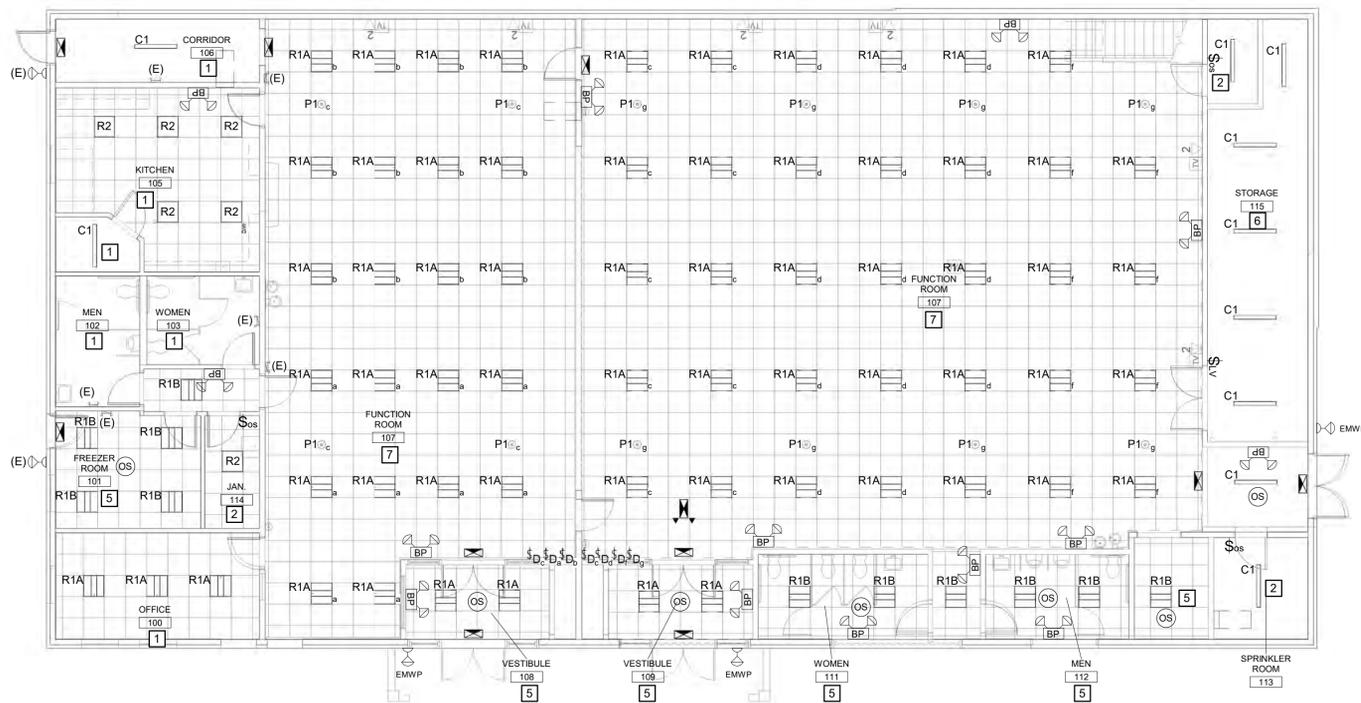
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LIGHTING CONTROL NOTES SCHEDULE		
TAG #	DESCRIPTION OF LIGHTING CONTROL DEVICES AND OPERATION	DETAIL NUMBER
1	WALL SWITCH - MANUAL ON/MANUAL OFF (UTILIZE EXISTING SWITCHING)	NO DETAIL
2	WALL SWITCH WITH OCCUPANCY SENSOR - MANUAL ON AND OFF/AUTO OFF	NO DETAIL
3	NOT USED	
4	NOT USED	
5	AUTO ON/AUTO OFF VIA OCCUPANCY SENSOR(S)	A7/EL5.1
6	WALL SWITCH(ES) - MANUAL ON AND OFF; AUTO OFF VIA OCCUPANCY SENSOR(S)	A4/EL5.1
7	WALL SWITCH WITH DIMMER AND OCCUPANCY SENSOR - MANUAL ON AND OFF/MANUAL DIMMING/AUTO OFF	NO DETAIL
8	WALLSTATION(S) - MANUAL ON AND OFF - WHERE NOTED ON PLANS; WALLSTATION(S) WITH DIMMER(S) - MANUAL ON AND OFF/MANUAL DIMMING; AUTO OFF VIA OCCUPANCY SENSORS	A1/EL5.1

C1 MEZZANINE LIGHTING PLAN

1/8" = 1'-0"



A1 GROUND FLOOR LIGHTING PLAN

1/8" = 1'-0"

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LIGHTING PLAN

No.	Revision/Issue	Date

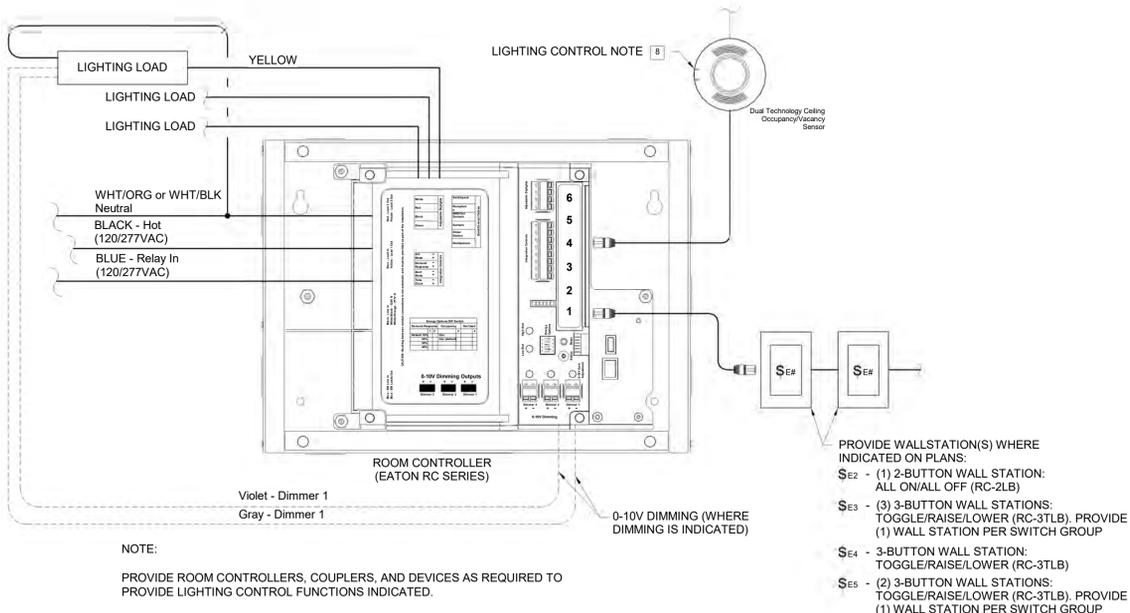
Design by: SM	Checked by: Checker
Drawn by: PMC	Approved by: Approver
Project No.: C.C.P.G #1185	Date: 02/18/19

SHEET NUMBER:
EL1.1

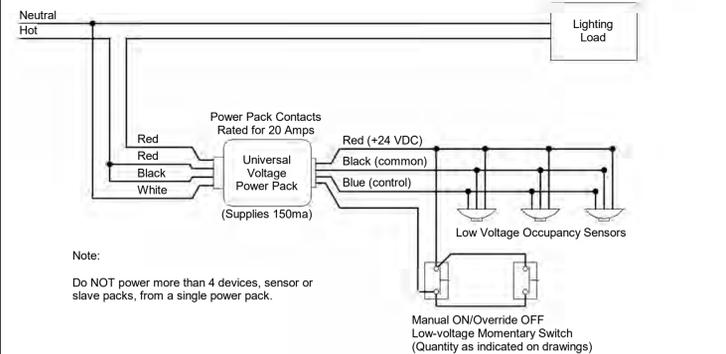
LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	MFR	CATALOG SERIES NUMBER SEE NOTE 1	MOUNTING	VOLTS	LAMP/LIGHT ENGINE			KEY NOTES
						WATTS	LUMENS	TYPE	
C1	4FT LCL LENSED STRIPLIGHT	COLUMBIA	LCL4-35ML-EU	SURFACE	120	42W	5329	LED ARRAY 3500K	1,2
R1A	2x2 LED TROFFER	COLUMBIA	LCAT22-35VLG-ED1U	RECESSED	120	39W	4398	LED ARRAY 3500K	1,2
R1B	2x2 LED TROFFER	COLUMBIA	LCAT22-35MLG-ED1U	RECESSED	120	29W	3320	LED ARRAY 3500K	1,2
R2	2x2 CFP EDGE-LIT FLAT PANEL	COLUMBIA	CFP22-3335	RECESSED	120	32W	3382	LED ARRAY 3500K	1,2
P1	CHARTIER 1-LIGHT CYMINDER PENDANT	WADE LOGAN	WDLN-3545	PENDANT	120	60W	800	(1) MEDIUM BASE BULB	1,2
EXIT	EXIT SIGN WITH INTEGRAL BATTERY BACKUP	SURE-LITES	LPX SERIES WITH RED LETTERS AND WHITE HOUSING	NOTE 3	277	1.04	PER CODE	LED ARRAY	3
EM	EMERGENCY BATTERY LIGHTING UNIT WITH TWO HEADS	SURE-LITES	SEL-50-WH	WALL 12" BELOW CEILING	120VAC 4.8VDC		109/ HEAD	LED ARRAY	2
EMWP	OUTDOOR EMERGENCY BATTERY LIGHTING UNIT WITH TWO HEADS	SURE-LITES	SELDWTA29*SD	WALL 9"- AFG	120VAC 4.8VDC	4.1	300	LED ARRAY	8
NOTES									
1	NOTE THAT THESE NUMBERS ARE NOT COMPLETE CATALOG NUMBERS. PROVIDE ALL REQUIREMENTS ON SCHEDULE, NOTES, SPECS, AND DRAWINGS COMBINED.								
2	PROVIDE SPECIFIED LUMINAIRES OR APPROVED EQUAL. PROPOSED SUBSTITUTION OF ANY SPECIFIED FIXTURE MUST BE SUBMITTED FOR REVIEW AND PRE-APPROVAL WITH ITL (INDEPENDENT TESTING LABORATORY) PHOTOMETRIC REPORT INCLUDED 10 DAYS PRIOR TO THE BID DATE. POINT-BY-POINT PHOTOMETRIC LAYOUTS FOR ROOMS WHERE LIGHTING IS SUBSTITUTED OR SAMPLE FIXTURES FOR REVIEW MAY BE REQUIRED FOR ANY PROPOSED EQUAL TO SPECIFIED FIXTURES. SUBSTITUTION SUBMITTAL SHALL INCLUDE VERIFICATION OF ANY DLC OR ENERGY STAR RATINGS THAT ARE REQUESTED ON THE DRAWINGS OR IN THE SPECIFICATIONS.								
3	PROVIDE WALL, CEILING, OR PENDANT MOUNTING AS INDICATED ON PLANS. PROVIDE NUMBER OF FACES AND ARROWS AS INDICATED.								
4	CONFIRM PENDANT LENGTH AND LOCATIONS WITH OWNER.								

- CATALOG SERIES NUMBERS ARE USED TO ESTABLISH A LEVEL OF QUALITY AND NOT INTENDED TO LIMIT COMPETITION. SERIES NUMBERS ARE NOT COMPLETE CATALOG NUMBERS. COMPLY WITH ADDITIONAL REQUIREMENTS IN SPECIFICATIONS AND DRAWINGS.
- FIELD DIMENSION WALL COVE, WALL VALENCE AND WALL SLOT LIGHTING PRIOR TO ORDERING TO ENSURE PROPER FIXTURE LENGTHS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN LENGTHS SHOWN ON DRAWINGS AND ACTUAL FIELD DIMENSIONS. ADJUST LENGTHS OF ANY SPECIFIED FIXTURE AS DIRECTED BY ARCHITECT.
- EXCEPT AS INDICATED OTHERWISE ON FIXTURE SCHEDULE, SUSPENDED LIGHT FIXTURES SHALL BE FURNISHED AND INSTALLED COMPLETE WITH STEEL STEM SETS, AND PIECES AND ALIGNERS WITH ALIGNER TYPE CANOPIES AS MANUFACTURED BY RESPECTIVE FIXTURE MANUFACTURER.
- PENDANT MOUNTING HEIGHTS ARE TO BOTTOM OF FIXTURE. VERIFY EXACT MOUNTING HEIGHTS OF PENDANT FIXTURES WITH ARCHITECT PRIOR TO ROUGHING.
- WALL MOUNT FIXTURE HEIGHTS ARE TO CENTERLINE UNLESS NOTED OTHERWISE. VERIFY EXACT MOUNTING HEIGHTS AND LOCATIONS OF WALL MOUNTED LIGHTING WITH ARCHITECT PRIOR TO ROUGHING.
- REFER TO REFLECTED CEILING PLANS FOR EXACT LOCATION OF CEILING MOUNTED LIGHTING AND DEVICES.
- PROVIDE TRIM AND MOUNTING ACCESSORIES FOR RECESSED LIGHTING FIXTURES WHICH ARE COMPATIBLE WITH THE TYPE OF CEILING CONSTRUCTION IN WHICH THEY ARE TO BE MOUNTED. REFER TO REFLECTED CEILING PLANS AND ROOM FINISH SCHEDULES.
- LIGHT FIXTURE LOCATIONS IN MECHANICAL ROOMS AND ELECTRIC ROOMS ARE APPROXIMATE. INSTALL LIGHTING TO AVOID DUCTWORK, PIPING AND ELECTRICAL ITEMS.
- PENDANT LINEAR FIXTURES SHALL SATISFY LENGTHS SHOWN ON DRAWINGS.
- PROVIDE WIRE GUARDS WHERE INDICATED ON FLOOR PLANS.

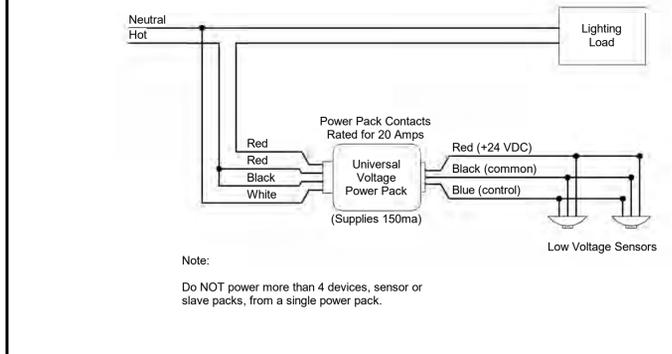
C1 LUMINAIRE SCHEDULE GENERAL NOTES



A1 ROOM CONTROLLER DETAIL - NOTE 8



A4 LIGHTING CONTROL DETAIL - NOTE 6



A7 LIGHTING CONTROL DETAIL - NOTE 5

Project: AUBURN SENIOR CENTER RENOVATION
48 Pettingill Park Road, Auburn, Maine

Client: City of Auburn, Maine
60 Court Street
Auburn, Maine 04210

Legend:

Consultant Name and Address:
Allied Engineering
160 Veranda Street
Portland, Maine 04103
P: 207.221.2266
F: 207.221.2266
Web: www.allied-eng.com

Firm Name and Address:
CORDJIA
CAPITAL PROJECTS GROUP
Camden, ME | Portland, ME | York, ME
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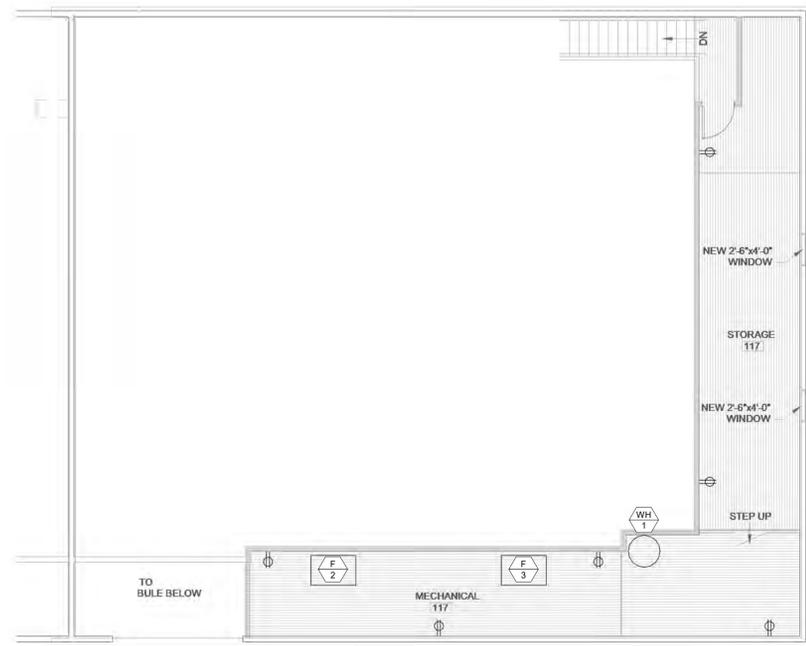
- Drawing Status:
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LIGHTING FIXTURE SCHEDULE, NOTES AND DETAILS

No.	Revision/Issue	Date

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Drawn by: PMC
Approved by: Approver
Project No.: C.C.P.G. #1185
Date: 02/18/19

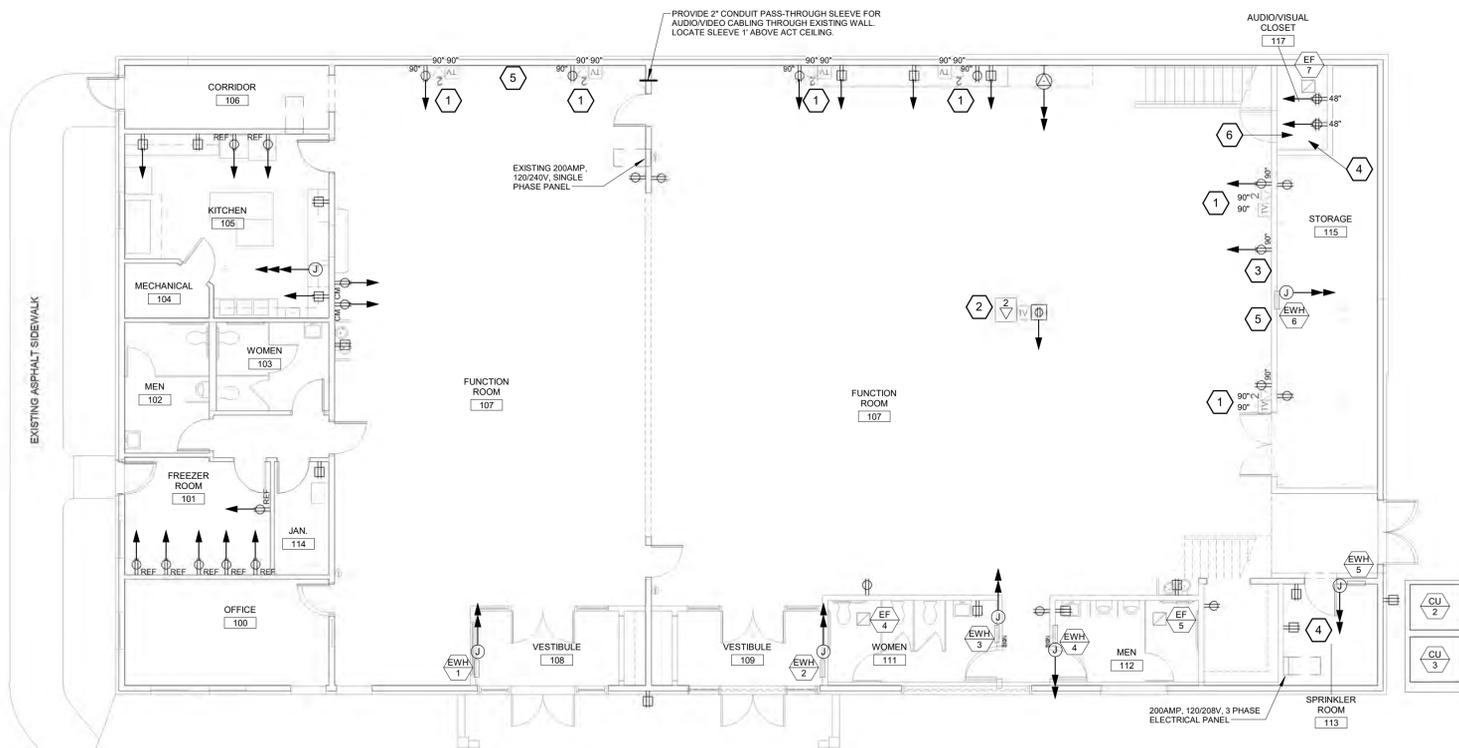
Sheet Number:
EL5.1



ZANINE

C1 MEZZANINE POWER PLAN

1/8" = 1'-0"



ELECTRICAL KEY NOTES:

- 1 WALL TV-LOCATION (TYPICAL)-FINAL LOCATION SHALL BE VERIFIED PRIOR TO ROUGH IN WITH OWNER.
 -(1) DUPLEX RECEPTACLE MOUNTED 90" AFF- NO MORE THAN 2 TV DUPLEXES SHALL BE ON A SINGLE 20A CIRCUIT.
 -(1) SINGLE GANG BOX MOUNTED AT 90" AFF WITH (2) CAT 6 CABLES RUN BACK TO AUDIO/VIDEO CLOSET. A 6 FOOT COIL OF CABLE SHALL BE LEFT AT EACH END FOR TERMINATION BY AV CONTRACTOR.
 -(1) SINGLE GANG BOX MOUNTED AT 90" AFF WITH (1) RG6 TV CABLE RUN BACK TO AUDIO/VIDEO CLOSET. A 6 FOOT COIL OF CABLE SHALL BE LEFT AT EACH END FOR TERMINATION BY AV CONTRACTOR.
- 2 CEILING MOUNTED PROJECTOR LOCATION-FINAL LOCATION SHALL BE VERIFIED PRIOR TO ROUGH IN WITH OWNER.
 -(1) DUPLEX RECEPTACLE MOUNTED 1 FOOT ABOVE ACT CEILING-SHALL BE ON A SINGLE 20A CIRCUIT.
 -(1) SINGLE GANG BOX MOUNTED 1 FOOT ABOVE ACT CEILING WITH (2) CAT 6 CABLES RUN BACK TO AUDIO/VIDEO CLOSET. A 6 FOOT COIL OF CABLE SHALL BE LEFT AT EACH END FOR TERMINATION BY AV CONTRACTOR.
 -(1) SINGLE GANG BOX MOUNTED 1 FOOT ABOVE ACT CEILING WITH (1) RG6 TV CABLE RUN BACK TO AUDIO/VIDEO CLOSET. A 6 FOOT COIL OF CABLE SHALL BE LEFT AT EACH END FOR TERMINATION BY AV CONTRACTOR.
- 3 PROVIDE DUPLEX RECEPTACLE FOR PROJECTOR SCREEN OPERATION. FINAL LOCATION SHALL BE CONFIRMED WITH OWNER PRIOR TO ROUGH IN. DUPLEX SHALL BE ON A SINGLE 20A, 120V CIRCUIT.
- 4 PROVIDE 1" CONDUIT AND PULL STRING FROM SPRINKLER ROOM 113 TO AUDIO/VIDEO CLOSET FOR AV CONTRACTOR.
- 5 MICROPHONE JACK-FINAL LOCATION SHALL BE VERIFIED PRIOR TO ROUGH IN WITH OWNER.
 -PROVIDE 2-GANG EMPTY BOX LOCATED AT 18" AFF AND 1" CONDUIT AND PULL STRING TO 6" ABOVE ACT CEILING.
- 6 PROVIDE 2" CONDUIT WITH PULL STRING FROM AUDIO/VIDEO CLOSET 117 TO ABOVE THE ACT CEILING IN THE FUNCTION ROOM FOR USE BY THE AV CONTRACTOR.

A1 GROUND FLOOR POWER PLAN

1/8" = 1'-0"

Project: **AUBURN SENIOR CENTER RENOVATION**
 48 Pettingill Park Road, Auburn, Maine

Client:
City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

Consultant Name and Address:
Allied Engineering
 Structural Mechanical Electrical Commissioning
 160 Veranda Street
 Portland, Maine 04103
 T: 307.231.2346
 F: 307.231.2348
 Web: www.allied-eng.com

Firm Name and Address:
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Sheet Title:
POWER PLAN

No.	Revision/Issue	Date

Design by: SM	Checked by: Checker
Drawn by: PMC	Approved by: Approver
Project No.: C.C.P.G #1185	Date: 02/18/19

Sheet Number:
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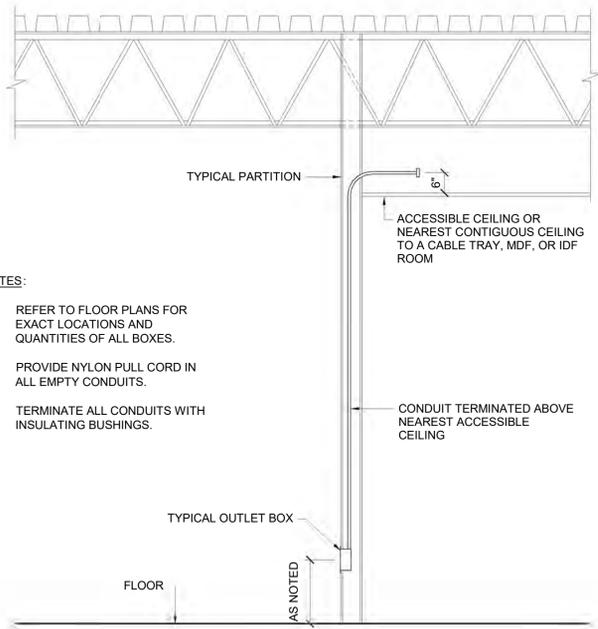
ELECTRICAL SCHEDULE OF MECHANICAL EQUIPMENT																
TAG	DESCRIPTION/ AREA SERVED	VOLTS	PH	LOAD	FLA	MOPD	DISCONNECT SWITCH				STARTER...		CBD	WIRING IN CONDUIT (2 #12, 1#12 G UNO)	KEY NOTES	
							FRAME	POLES	FUSE	NEMA ENCL	FBD	SIZE/VFD				FBD
CU-2	TRANE 5 TON CONDENSING UNIT	208	3	5 TON	21.0	35	60A	3	35	3R	26	--	--	23	4 #10, 1 #12G	3
CU-3	TRANE 5 TON CONDENSING UNIT	208	3	5 TON	21.1	35	60A	3	35	3R	26	--	--	23	4 #10, 1 #12G	3
F-2	GAS FURNANE-MEZZANINE	120	1	.5HP	-	15								23		
F-3	GAS FURNANE-MEZZANINE	120	1	.5HP	-	15								23		
EF-3	EXHAUST FAN-JANITOR	120	1	--	1.7	15								23		
EF-4	EXHAUST FAN-WOMEN BATHROOM	120	1	--	1.7	15								23		
EF-5	EXHAUST FAN-MEN BATHROOM	120	1	--	1.7	15								23		
EF-6	KITCHEN HOOD EXHAUST FAN- SUPPLIED BY OWNER	120	1	.5HP	-	15					23	--	--	23		
EF-7	EXHAUST FAN-AUDIO/VISUAL CLOSET	120	1	--	1.7	15								23		4
EW-1	RECESSED, WALL-MOUNTED HEATER-VESTIBULE	208	1	2000W	8.3	15					23	--	--	23		
EW-2	RECESSED, WALL-MOUNTED HEATER-VESTIBULE	208	1	2000W	0.6	15					23	--	--	23		
EW-3	RECESSED, WALL-MOUNTED HEATER-WOMEN	208	1	1000W	0.9	15					23	--	--	23		
EW-4	RECESSED, WALL-MOUNTED HEATER-MEN	208	1	1000W	0.9	15					23	--	--	23		
EW-5	RECESSED, WALL-MOUNTED HEATER-SPRINKLER	208	1	1000W	0.5	15					23	--	--	23		
EW-6	RECESSED, WALL-MOUNTED HEATER-STORAGE	208	1	1000W	0.5	15					23	--	--	23		
WH-1	ELECTRICAL WATER HEATER-MEZZANINE MECH ROOM	208	1	1500W	8	20	30A	2	20	1R						

KEY NOTES:

- LEAD/LAG
- DUCT SMOKE DETECTORS FURNISHED BY DIVISION 26, INSTALLED BY DIVISION 23, WIRED TO FIRE ALARM BY DIVISION 26.
- POWER TO CU BY DIVISION 26, WIRING BETWEEN AC AND CU PROVIDED BY DIVISION 23
- EXHASUT FAN TO BE POWERED BY LINE VOLTAGE COOLING THERMOSTAT FURNISHED BY DIVISION 23, WIRED BY DIVISION 26.

ABBREVIATIONS:

FWE FURNISHED WITH EQUIPMENT
NF NOT FUSED
SWBD SWITCHBOARD
FBD FURNISHED BY DIVISION
CBD CONTROL WIRING BY DIVISION



- NOTES:**
- REFER TO FLOOR PLANS FOR EXACT LOCATIONS AND QUANTITIES OF ALL BOXES.
 - PROVIDE NYLON PULL CORD IN ALL EMPTY CONDUITS.
 - TERMINATE ALL CONDUITS WITH INSULATING BUSHINGS.

A1 TECHNOLOGY CONDUIT DETAIL

12" = 1'-0"

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Project: **AUBURN SENIOR CENTER RENOVATION**
48 Pettingill Park Road, Auburn, Maine

Client:
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60 Court Street
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Legend:

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Sheet Title:
ELECTRICAL SCHEDULES AND DETAILS

No.	Revision/Issue	Date

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Drawn by: PMC	Approved by: Approver
Project No.: C.C.P.G. #1185	Date: 02/18/19

Sheet Number:
EP6.1



**City of Auburn
City Council Information Sheet**

Council Meeting Date: February 25, 2019

Ordinance: 01-02252019

Author: Audrey Knight, AICP, City Planner

Subject: First Reading and public hearing of citizen petition to amend Chapter 60, Sec.60-145 (b) (17) Special Exception Use Regulations in the Agriculture and Resource Protection District.

Information: Members of the Taylor Pond Association filed a petition on October 5, 2018 to prohibit certain uses from being permitted in the AG zone by Special Exception in the Lake Auburn and Taylor Pond watersheds in order to protect water quality and the environment.

City Budgetary Impacts: None.

Staff Recommended Action: Review the petition, the Planning Board discussion and recommended action, City Council e-mail communications, hold public hearing and schedule 2nd reading for March 4, 2019.

Previous Meetings and History: This item was reviewed in workshop by City Council on January 28, 2019. On November 13, 2018 the Planning Board scheduled a public hearing, however with one recusal a quorum was not reached. Members from the public spoke, no deliberation was held, and the item was noticed for December 11, 2018. A 90-minute Public Hearing was held on the petition December 11, 2018, with more than 20 residents in attendance, including City Council members, with a unanimous decision to recommend denial of the petition.

Special Exception (17) was a text amendment initiated by City Council at its April 3, 2017 meeting. The Planning Board held a public hearing on the item May 9, 2017 and recommended Approval to City Council. City Council public hearing and first reading of the text amendment June 5, 2017, and second reading and adoption June 19, 2017, by Ordinance 06-06052017.

City Manager Comments:

A handwritten signature in blue ink that reads "Peter J. Cuddeback".

I concur with the recommendation. Signature:

Attachments: E-Mail from Robert Hayes and Jason Levesque; Planning Board Report; Planning Board Meeting Minutes 12.11.18; Planning Board Staff Report, 12.11.18; Citizen Petition; 2017 Staff Report creating Special Exception (17) and Council adopting ordinance.

Audrey Knight

From: Michael Chammings
Sent: Wednesday, January 02, 2019 8:05 AM
To: Eric Cousens; Audrey Knight
Subject: FW: Proposed amendment to Ag land

FYI

From: Robert Hayes (Council) <rhayes@auburnmaine.gov>
Sent: Tuesday, January 01, 2019 11:16 AM
To: Jason Levesque (Council) <jlevesque@auburnmaine.gov>; AuburnElectedOfficials <AuburnElectedOfficials@auburnmaine.gov>; Peter Crichton <pcrichton@auburnmaine.gov>; Michael Chammings <mchammings@auburnmaine.gov>
Cc: Kathy Shaw <kath@valleyviewfarmme.com>; Kim Finnerty <kim.finnerty@jfmh.org>; Mary Sylvester <mary.sylvester207@gmail.com>
Subject: Re: Proposed amendment to Ag land

The proposed text amendment to the Agricultural and Resource Protection zoning district to prohibit a class of industrial, assembly, maintenance and manufacture equipment associated with recreational uses in the Taylor Pond and Lake Auburn watersheds has been presented to and considered by the Planning Board (PD). Now that the PD has voted and has forwarded its recommendation to the Council, I feel it imperative to respond to the Mayor, to explain my support for the intent of the amendment and, most importantly, to emphatically state my long support for the protection of agricultural, natural resources and recreational activities in Auburn.

I fault myself for not taking more time to help wordsmith the amendment language presented to the PD. Knowing the time constraints on planning staff, I should have realized that staff would not have adequate resources to work with the petition authors to develop language that would better express and address the concerns of the petitioners. What initially prompted the Taylor Pond Association (TPA) members was the tree cutting, ground vegetation disturbance, soil erosion and runoff. The TPA concerns were and remain environmental and water quality.

The project that prompted the writing of the special exemption amendment ultimately did not come before the PB. The realization of the costs that would be incurred through the approval process and the build out of the project moved consideration elsewhere. The project has been built out in Auburn and within a planned and approved industrial park.

Consideration of the proposed text amendment by the PB identified a concern that should be highlighted. With the approval of project plans, the PB frequently applies conditions. One PB member stated that with limited staff resources, the insuring of compliance with conditions is recognized as an issue.

As does an agricultural or a recreational use fit its locational features, so should any complimentary use. Likewise, any complimentary supporting use should have like accepted ag. and rec. impacts. On site fabrications, assembly, attachment and equipment maintenance are surely accepted as part of ag. and rec. operations, as are training, demonstration and sales activities. Industrial scale manufacturing, assembly, inventory housing and laydown for offsite distribution has impacts that must be considered carefully and usually gravitate those operations to areas that offer appropriate infrastructure and connectivity.

As previously recognized and supported by ordinance, some types of residential development are congruous adjacent to recreational facilities. Certainly, allowing adjacency of complimentary activities of complimentary activities encourages economic well being for those entities. However, caution should be exercised with respect to commercial type activities that might be complimentary, but not particularly suited to be outside commercially zoned areas.

Respectfully,

Bob Hayes

From: Jason Levesque (Council)
Sent: Friday, December 7, 2018 8:06 AM
To: AuburnElectedOfficials
Cc: Kathy Shaw; Kim Finnerty; Mary Sylvester; scott@aerialndt.com
Subject: Proposed amendment to Ag land

Good morning,

I would like you all to review the proposed ag land ordinance change as proposed by the Taylor Pond Water Association. It makes broad changes to land use which would effectively stop all agricultural activities within ag zoned land that is in these watersheds (which is a LOT of land). It also stops any type of new commercial activity at businesses such as Lost Valley, & Whiting Farm located in watershed even if those businesses took all necessary protective precautions.

I did notice that Councilor Hayes signed the petition, he might want to explain to the farmers in that area what the effects of this ordinance, if passed, will be. I recommend we direct landowners to him. I have copied several Residents which have a vested interest in this ordinance request.

http://www.auburnmaine.gov/CMSContent/Planning/Staff_Reports/2018/12_11_18_Meeting/Ord%20Amend%20Petition%20Application.pdf



PLANNING BOARD REPORT to the CITY COUNCIL

To: Mayor Levesque and Honorable Members of the Auburn City Council

From: Auburn Planning Board

Re: Citizen Petitioned Text Amendment for the Agriculture and Resource Protection Zoning District

Date: December 18, 2018

A. **SUMMARY** - On December 11, 2018 the Auburn Planning Board held a public hearing and made a recommendation on a Citizen Petitioned Zoning Ordinance Text Amendment that was seeking to address allowable uses by Special Exception in the Taylor Pond and Lake Auburn Watersheds. This item was considered for 90 minutes and consisted of a staff presentation, petitioners' rationale and argument for their amendment, public hearing with statements for and against the proposal from members of the community, and discussion by the Planning Board. At the conclusion of the public hearing and board discussion the Planning Board voted unanimously (motion by Bowyer, seconded by Scogin) to recommend **DENIAL** of the Text Amendment to the City Council.

PROPOSAL – A request by the Taylor Pond Association, acting as the applicant, sought the following text amendment (changes indicated by italicized bold text that has been underlined):

Chapter 60 – ZONING, Article IV. – DISTRICT REGULATIONS

Division 2. – AGRICULTURE AND RESOURCE PROTECTION DISTRICT

Sec. 60-145 - Use Regulations

... (b) *Special Exception Uses ...*

(17) Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings, as accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment, subject to the following conditions:

a. The proposed use is accessory, complementary, or otherwise related to a recreational or agricultural use;

b. The recreational or agricultural use has been in existence for at least five years prior to the date of the application for the special exception; **and**

c. The recreational or agricultural use is located on the parcel for which the special exception is requested or is adjacent to the property for which the special exception is requested **in conformance with Maine DEP standards; and**

d. Industrial use, manufacture, assembly and maintenance of recreational or agricultural equipment, is prohibited in the watershed areas surrounding Lake Auburn and Taylor Pond.

The applicant argued that protecting the water quality of these two great ponds was in everyone's best interest and that the uses identified in the amendment are inappropriate and counter to protecting water resources. The applicant argued that phosphorous loading, non-point source pollution, rural road conditions, and the ability of the city to monitor and enforce Best Management Practices and any conditions of approval put in place to mitigate environmental impacts, are real issues and that a complete prohibition of specific uses should be utilized to avoid further phosphorus loading within the watersheds.

PLANNING BOARD PUBLIC HEARING, DELIBERATION AND RECOMMENDATIONS -

During the public hearing and discussion several ideas and alternatives to the proposed text amendment were brought forward that could address the concerns of the petitioners. There was discussion about: the possibility of requiring any "Industrial" type use in the AG zone to have third party environmental review and annual monitoring; amending the Taylor Pond Overlay district to encompass the watershed with greater protections; and, updating the phosphorous ordinance and mitigations into project reviews.

An agent for the applicant suggested that the text amendment creating Special Exception (17) was approved to enable the Kassbohrer project to come forward and the applicant and petitioners were seeking to prevent a similar type project in the future. The Board Chair was clear in stating that the Board's consideration and approval of that text amendment was based on a comprehensive understanding of all the potential impacts of the amendment city-wide. The Lost Valley Ski enterprise expressed their shared value and concern for the environment and water quality.

It was also suggested by a member of the public that a text amendment that effects the Lake Auburn Watershed should be discussed with the Conservation Committee and the Lake Auburn Water Protection District for their input and support prior to bringing this type of item to the Board for a favorable action. Statements were made regarding the need to monitor and enforce conditions of approval and environmental mitigation measures for projects that may have environmental impacts, and that the lack of staff and lack of enforcement of past measures may contribute to the perceived need for this text amendment.

Planning Board members mentioned that they did not want to discourage creative projects such as the Kassbohrer concept from coming forward, stating that the current Special Exception and environmental review process already requires review under Maine DEP guidelines and could address the type of concerns being expressed by the petitioners without the need for an amendment. Members of the Board noted that the primary source of current phosphorus loading is derived from residential and not industrial uses, and that the proposed text amendment would have no affect on residential sources of phosphorus loading. This led multiple members of the Board to express the concern that the proposed



City of Auburn, Maine

Office of Economic & Community Development
www.auburnmaine.gov | 60 Court Street
Auburn, Maine 04210
207.333.6601

amendment's only impact would be to prohibit current and future development without addressing actual sources of phosphorus loading within the watersheds. Mr. Bowyer made a motion to recommend DENIAL of the petition, which was seconded by Mr. Scogin, and the vote was unanimous, with Mr. Tardif recused as a member of the Taylor Pond Association. (Bowyer, Scogin, Cyr, Carrier, Boutin, Hamlyn, Martelli)


Evan Cyr
Chair, Auburn Planning Board

Cc: Evan Cyr, Chair Auburn Planning Board
File

Auburn Planning Board Meeting Minutes

December 11, 2018

ROLL CALL:

Regular Members present: Evan Cyr – Presiding, Robert Bowyer, Dustin Boutin, Samuel Scogin, Marc Tardif and Nathan Hamlyn

Regular Members absent: Mia Poliquin Pross

Associate and other Members present: Stephen Martelli and Brian Carrier

Associate and other Members absent: None

Also present representing City staff: Audrey Knight, Auburn City Planner

Chairperson Cyr called the meeting to order at 6:00 pm and asked for a roll call. He stated due to Mrs. Mia Poliquin Pross being absent, Stephen Martelli's status would be elevated to full voting rights for this meeting.

MINUTES:

October 9, 2018 Meeting Minutes Approval Request

A motion was made by Sam Scogin and seconded by Robert Bowyer to approve the October 9, 2018 meeting minutes as presented. After a vote of 7-0-0, the motion carried.

Chairperson Cyr explained the process of Planning Board meetings and asked Ms. Knight to present the Staff report.

PUBLIC HEARINGS & NEW BUSINESS:

- 1. Becket Family of Services is seeking Special Exception approval to convert a former school building located at 31 Holbrook Road, to a children's residential treatment program serving twelve (12) children, in the Low Density Rural Residential zone (PID 387-028).**

Audrey Knight went over the staff report and presented slides via PowerPoint.

Michael Gotto, representing Becket family Services and Justin Gifford, Executive Director of Children Residential Services, Maine added to the presentation.

(11:40 on Recording)

Open Public Input

A motion was made by Sam Scogin and seconded by Nathan Hamlyn to open the public input part of the hearing. After a vote of 7-0-0, the motion carried.

No comments.

A motion was made by Sam Scogin and seconded by Stephen Martelli to close the Public Input part of the hearing. After a vote of 7-0-0, the motion carried.

A motion was made by Sam Scogin and seconded by Marc Tardif to approve the request by Becket Family Services for a Special Exception to convert a former school building located at 31 Holbrook Road, to a children's residential treatment program serving twelve (12) children, in the Low Density Rural Residential zone (PID 387-028) as it meets the Findings as listed in the Staff Report and with the following Condition: That an emergency operations plan (EOP) be created within one year of operations. The EOP should address a variety of scenarios, including a continuity of operations component, and could be developed with input from City Police and Fire Departments. While this is always a necessary item, protocols should be in place if response times can't bring help when needed. After a vote of 7-0-0, the motion carried.

(14:50 on Recording)

2. SME Engineers on behalf of Bangor Savings Bank, is seeking Site Plan and Special Exception approval for a one-story 5,600 square foot building with 3-lane drive-thru at 170 Turner Street (PID 250-195) in the General Business zoning district.

Audrey went over the staff report and presented slides via PowerPoint.

(23:15 on Recording)

David Latulippe with CJ Developers, representing Bangor Savings Bank introduced Jeff Reed from Sevee & Maher Engineers. Mr. Latulippe commented that the City of Auburn planning process for developers is very well done. He spoke about the proposal and answered questions from Board members.

Open Public Input

A motion was made by Sam Scogin and seconded by Nathan Hamlyn to open the public input part of the hearing. After a vote of 7-0-0, the motion carried.

Christine Bosse from Sabattus explained why she felt Bangor Savings would be a good neighbor in the City and said she is excited to see them come to Auburn.

A motion was made by Sam Scogin and seconded by Stephen Martelli to close the Public Input part of the hearing. After a vote of 7-0-0, the motion carried.

Audrey brought up the fact that the City of Auburn did not have a lighting standard for developments and that the lighting plan that was submitted for the Bangor Savings project may or may not be acceptable to the neighbors.

(35:00 on Recording)

A motion was made by Sam Scogin and seconded by Marc Tardif to approve the Site Plan and Special Exception request for a one-story 5,600 square foot building with 3-lane drive-thru at 170 Turner Street (PID 250-195) in the General Business zoning district as it meets the Findings for approval of Sections 60-1277 and 60-1336 and including the following 3 conditions: A) No development activity until any

bonding or inspection fees are determined by the Auburn Engineering Department, B) The Planning Board requires a no-left turn sign at the intersection of Troy and Turner Streets which is to be provided and paid for by Bangor Savings and C) Any other items raised during the Public Hearing that the Planning Board deems appropriate. After a vote of 7-0-0, the motion carried.

(36:45 on Recording)

3. The Taylor Pond Association is seeking to amend Article IV, Zoning District Regulations, Division 2 Agriculture and Resource Protection District, Sec.60-145 (b) Special Exception Uses (17) to prohibit industrial use, including the manufacture, assembly and maintenance of recreational or agricultural equipment in the watershed areas of Lake Auburn and Taylor Pond.

Audrey proceeded to go over the staff report and presented slides via PowerPoint.

Chairperson Cyr apologized for interrupting the presentation and stated there were a couple assertions that should be declared before moving on.

Marc Tardif declared that he would step down because he is a Board member of the Taylor Pond Association. Chairperson Cyr stated Brian Carrier's status would be elevate to a Full voting member for this portion of the meeting.

Chairperson Cyr stated that his residence is within the Lake Auburn Watershed and that he often visits relative's properties that are in the Taylor Pond Watershed. He said he didn't think he needed to recuse himself but wanted it on the record for full disclosure.

Audrey continued on with the presentation of the staff report.

(47:50 on Recording)

At the conclusion of the staff report presentation, Chairperson Cyr asked if the Board members had any questions for City staff.

Several questions were asked by the Board members relating to the following:

- Overlays of the zoning district
- Referring to watershed boundaries
- Describing light industries vs Home based business
- DEP standards for water pollution and environmental control

(61:55 on Recording)

Dana Little of 585 Garfield Road spoke about the following:

- Wants to see Lost valley and the City of Auburn thrive
- Special ordinance passed by this board was a mistake and if allowed to stand could potentially harm Taylor Pond
- Representing Taylor Pond Association, has been president for over 15 years
- Okay to correct the original amendment in some way as long as it protects Taylor Pond
- 130 members in the Taylor Pond Association and 210 people live around Taylor Pond
- Described Association actions to monitor and protect Taylor Pond
- Spoke about algae growth and mitigating phosphorous

- Spoke about the Kassbohrer proposal coming to Lost Valley
- Conflict between 2 Engineering reports
- One of the concerns the Association had was that the inspection by Kassbohrer was to be done by Kassbohrer and not a 3rd party
- Described and passed around to Board members a photo taken on 9.10.17 where Kassbohrer started opening a road into their area – shows the area with hay on it, bare soil, and bare soil washing across the road. In the distance is Taylor Brook which feeds right into Taylor Pond. Should have been prevented but wasn't.
- Hoping to see projects like these prevented in the future.
- Asked Barbara Mitchel to join him to help answer any questions from Board members

(69:45 on Recording)

Chairperson Cyr said he would like to make the following point of clarification before any questions are asked: There have been several points at which the previous amendment to the Zoning ordinance was described as being done for a particular project. He said it's important for people in the room to understand that the Planning Board does not make decisions like this lightly particularly when we amend Zoning Ordinance that affects roughly 40% of the City's land mass. It's important to understand that the Board did not make an amendment in order to allow a singular industry into a singular spot. The Board made an amendment that, while it was instigated by a specific group, made a decision that affects all City wide agriculturally zoned land. The previous amendment was not made solely for property around Lost Valley so was not a project specific decision.

Several members of the Board stated because the photo and other findings from outside agencies mentioned were not submitted as public record prior to the meeting that they shouldn't be entertained by the Planning Board.

Barbara Mitchel said Eric Cousens told her specifically that the amendment was written to accommodate that project. Chairperson Cyr responded that the Board would not do something so foolish as to allow for something in one area that then has ramifications across 40% of the City and not take that into account.

Dana Little re-iterated that he wants to see Taylor Pond protected and said any project that comes up, the Taylor Pond Association is going to look at it very carefully.

(75:35 on Recording)

Sam Scogin commented that the proposed amendment seemed redundant to current City code and asked why the need to reference back to the Maine DEP?

Ms. Mitchel replied it's because the City was trying to find areas where they could mitigate phosphorous run-off to compensate for the additional phosphorous that was going to be put in and the DEP specifically says that the MP's can only be allowed on a property of which the off-site mitigation is taking place and the project parcel are in common ownership which they were not going to be so they had overlooked that. Also, it has to be a permanent entity such as a town or school district and Lost Valley is not a permanent entity. The reason we are bringing this forth is because this wasn't being followed.

The discussion continued amongst all parties regarding the redundancy of the language referencing the DEP standards, watersheds in other Zoning Districts, the vulnerability of Taylor Pond, the Planning Board's responsibilities and charges, impacts from additional run-off, definition of light industry, etc.

(91:20 on Recording)

Audrey stated there are about 4 other Special Exception categories that do specifically address the watersheds in the Agriculture and Resource Protection Ordinance and proceeded to read them. More discussion ensued regarding, among other things, trusting the Planning Board process.

(103:50 on Recording)

A motion was made by Sam Scogin and seconded by Dustin Boutin to open the public input part of the hearing. After a vote of 7-0-0, the motion carried.

Jan Philips of West Shore Road said she too is a member of the Taylor Pond Association and spoke about the following:

- September 11, 2017, the previous City Council voted 5-2 during a final reading to implement this amended zoning ordinance.
- The DEP standards weren't caught at that level
- The project came in conjunction at that meeting
- We brought this forward to start, not with an exemption already in place, but opens the door for a development with a lack of impact; it restarts what the default is
- Goal A-2 of Auburn's 2010 Comprehensive Plan: protecting the water quality of Taylor Pond to maintain both the environmental and economic value of the pond is emphasized extremely well
- Concerned not just about phosphorous, but petroleum product run-off and a host of other things that those projects would have made it impactful
- City Assessor's Office is currently undertaking a 2-year revaluation study of Taylor Pond so likely that we will see tax increases – important economic engine
- Water quality obviously is not easy to maintain

(109:55 on Recording)

Michael Gotto, representing Lost Valley, spoke about the following:

- Represented Kassbohrer
- Apologized to Mr. Little for the cost they went through but said they did offer on multiple occasions to meet with the opposition to the Kassbohrer project
- Held the project so issue could be reviewed and resolved but resolving added too much cost, so the project went elsewhere in Auburn
- City's ordinance has everything it needs to have to protect exactly what these folks want it to
- Because of the wording of the proposed amendment, it's a problem for Lost Valley
- Lost Valley is just as concerned about the pond as the Association is and does not want to do anything to cause a problem for that pond
- Spoke about how the proposed amendment could prohibit Lost Valley with any expansion of the maintenance shed or work on a snow cat or installation of a 3rd ski lift. Severely hurts Lost Valley the way it's worded

(116:03 on Recording)

Mary Sylvester of 209 Maple Hill Road spoke about the following:

- Currently the Chair of the Mayor's Ad Hoc Committee on Agriculture that was convened in the fall of 2017 to work with Crossroads Research Center, consultants hired by the City.
- Also a Trustee of the Auburn Water District so understands that water protection is very important
- Definition of industrial can be found on any farming operation in the City
- Applauds the discussion amongst all groups and as the updating of the ordinance occurs, we must be aware that there's a lot of potential for economic development in agriculture here as well as the protection of these important natural resources

(118:55 on Recording)

John Herrick of 216 Fletcher Road stated that on behalf of Lost Valley, wanted everyone to know that Lost Valley is an outdoor based organization company and appreciates protecting the environment because that's where we play in. Wanted to remind the Auburn Community that a lot of great things have come out of Lost Valley and said snow making today all over the world has its roots in Auburn, Maine along with snow grooming. He said that adding that language would reduce our ability to innovate and make Auburn and Lost Valley great again.

(121:13 on Recording)

Tizz Crowley of 35 University Street stated the following:

- She also serves as an Auburn Water District Trustee and is a Commissioner of the Lake Auburn Watershed Protection Commission.
- Commented that she learned about this at the last minute and had difficulty getting information until Chairperson Cyr helped direct her to the agenda and supporting documents on the City's website.
- Encourages the Board to reach out to the Lake Auburn Watershed Protection Commission, the Auburn Water District, and the City of Auburn's own Water Conservation Commission which had met last night and could have participated in the conversation.
- The City is very busy both with the past program and the accelerated Mayor's Action Group on the Agricultural Zone, yet this information has not come forward under their part
- Concerns her gravely that we do not have a transparent system here and asks that before any action is taken, particularly since it does affect a great percentage of our City, that the Board reaches out to the various committees and organizations to participate
- Commended Mr. Bowyer for his statements and said there were rules put in place that today are not being enforced and the answer from the City is we'll change them
- Particularly to the Taylor Pond sitting here, when they spoke, they did not mention the Lake Auburn Watershed Protection Commission, it was very focused on their community and their neighborhood. They sort of inferred that we don't want to see more industrial or more risk to the water and yet the City of Auburn, the Auburn Water District and the residence of Taylor Pond each put up \$3,000 for a total of \$9,000 to have a study done to expand the sewer system so that more development, more conversions from camps to year round homes could happen.
- Finds that troublesome because it seems like we're spending money on both sides of the fence for a competing thing
- Before anything is done, maybe we look at our strategic plan and focus on Taylor Pond
- Does not believe that the activities around Taylor Pond have really met watershed protection things. We heard a little bit about phosphorous, but the Lake Auburn Watershed Protection Commission has a full-time person dealing with outreach and education.

- Taylor Pond has a privately-owned public beach and when the municipal beach was having problems, they did not even want to test the water for safety
- Concern is that she is seeing 2 different messages here. 1 side in one room she hears we want to develop Taylor Pond, we want to invest there, we want you to put some money to raise the water rates for others to do that investment and on the other side she hears we want to protect our neighborhood

(125:30 on Recording)

A motion was made by Sam Scogin and seconded by Stephen Martelli to close the Public Input part of the hearing. After a vote of 7-0-0, the motion carried.

A lengthy discussion ensued amongst Board members regarding the proposal and there being a number of protections already in place.

(138:15 on Recording)

A motion was made by Robert Bowyer and seconded by Sam Scogin to forward to the City Council the recommendation that the proposed amendment not be approved for the reasons that have come forward tonight.

Robert Bowyer commented that he hoped members of the audience leave with the understanding that there are a number of good protections already in place and if they were to continue in their zeal to protect the quality of water, we will need a different approach than what this amendment has produced.

Brian Carrier agreed with Mr. Bowyer and thanked the Association for bringing this forward.

Sam Scogin commented that he would encourage members of the Taylor Pond Association as well as everyone else in the watershed to come before us as we want to hear your concerns and you can trust that we will be fair in our assessment of your concerns.

(140:50 on Recording)

After a vote of 7-0-0, the motion carried.

Chairperson Cyr reemphasized to the members of the audience that this does not mean that other solutions cannot be developed and said Ms. Crowley's points were correct about involving all stakeholders to help find solutions to protect our great ponds and watersheds and keep our water ways as pristine as they can be.

(143:00 on Recording)

Chairperson Cyr called for a 5-minute recess and the meeting was reconvened approximately 12 minutes later.

(155:30 on Recording)

OLD BUSINESS:

a. Mayor's Action Group on Agriculture & Resource Protection – update

Brian Carrier updated the Board on the MAG-ARP committee's proposed text amendment.

Mayor Jason Levesque commented that this was his first time sitting through a Planning Board meeting and said he was impressed with the process. He then proceeded to go over the time line for the potential adoption of the language and answered questions from Board members.

(167:20 Recording)

MISCELLANEOUS:

a. Updates from Planning Board members on projects and communications

No updates at this time

(171:00 Recording)

ADJOURNMENT

A motion was made by Sam Scogin and seconded by Stephen Martelli to adjourn. After a vote of 7-0-0, the motion carried.



City of Auburn, Maine

Office of Economic and Community Development

60 Court Street, Auburn, Maine 04210

www.auburnmaine.gov

207.333.6601

To: Planning Board, City of Auburn

From: Audrey Knight, AICP, City Planner

Date: November 13, 2018

RE: Petition for Text Amendment to the Agricultural and Resource Protection zoning district to prohibit a class of industrial, assembly, maintenance and manufacture equipment associated with recreational and agricultural uses in the Taylor Pond and Lake Auburn watersheds.

A. Proposal

A zoning text amendment has been requested to add a restriction to the Agricultural and Resource Protection District (AG) to land located within the defined watershed boundaries of Taylor Pond and Lake Auburn. As some of you may be aware, as recent as 2017 amendments were made to this district to enable certain assembly and maintenance of heavy equipment. While this change to the ordinance was due to an application by Lost Valley Ski Area for a niche snow making, grooming equipment, sales, and equipment training operation, it was viewed as a use and activity similar to tractor and agricultural equipment in the same zone. (Ordinances and reports attached).

The petition seeks to protect the watershed areas from this type of light industrial and commercial use that may be otherwise allowed in the AG zone citywide. While the watersheds encompass several zoning districts besides the AG zone, all other districts are low density residential designations and uses. However, land within the AG allows for more diverse commercial agrarian and rural enterprises.

The language proposed by the petitioner, the Taylor Pond Association, is as follows:

Division 2, Section 60-145, Use Regulations, (b) Special Exception Uses;

- (17) *Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings as accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment, subject to the following conditions:*

- a. *The proposed use is accessory, complementary, or otherwise related to a recreational or agricultural use;*
- b. *The recreational or agricultural use has been in existence for at least five years prior to the date of the application for the special exception; and*
- c. *The recreational or agricultural use is located on the parcel for which the special exception is requested or is adjacent to the property for which the special exception is requested, **in conformance with Maine DEP standards;***
and,
- d. **Industrial use, including manufacture, assembly and maintenance of recreational or agricultural equipment, is prohibited in the watershed areas surrounding Lake Auburn and Taylor Pond.**

(Ord. of 9-21-2009, § 3.31B; Ord. No. 32-02072011-07, 2-7-2011; Ord. No. 06-08012011-07, 8-1-2011; Ord. No. 05-04032017, § 2, 4-24-2017; Ord. No. 06-06052017, 6-19-2017)

B. Discussion

As evidenced by the history provided in attachments dated 2017, Special Exception use category (17) was brought forward by staff in response to a unique opportunity created by the original owner and designer of specific winter sports tractor type equipment. He wanted to produce, operate, sell, train and maintain this type of equipment in conjunction with the ski resort. Through discussions it was thought that this kind of operation could stimulate other tourist, visitor and economic drivers within the AG zones in the city. The ordinance passed without dissent.

The original project that generated this amendment to the code, did not come to fruition due to constraints unforeseen at the time. The initial project proposed a 21,000 square foot building and 2.6 acres of outside storage for equipment. The facility would assemble or produce the equipment. The Lost Valley Ski area is in the Taylor Pond Watershed north of the pond, and on the border with the Lake Auburn Watershed.

Most of the city lies within a watershed, with a few of the watersheds having protections related to specific purposes and implemented through overlay zoning districts. The zoning ordinance currently addresses the Lake Auburn Watershed with an overlay district designed to protect the metropolitan areas' drinking water. This overlay district (Division 4, Sec.60-950) specifies that all uses allowed in the underlying zones are allowed if they can meet environmental performance standards and are approved by the water district for the watershed. The overlay district provides environmental protections more stringent than AG zone regulations.

The Taylor Pond Overlay District (Division 3, Sec.60-921) was created to clean-up and protect land area mostly within 250' of the Great Pond. This district does not cover the entire watershed. The proposed text amendment would limit the recreational and agricultural light industrial uses allowed by special exception (17) in the area outside of the Taylor Pond Overlay zone, but within the Taylor Pond watershed.

There are several other smaller tributary watersheds that do not have overlay districts associated with them but also are protected or subject to the Shoreland Zone. This proposed text amendment would only apply to the Great Pond watersheds, due in part to the long history protecting the lakes that provide the city's water supply and boating recreational amenities.

The proposed limitation does not change the other elements of this use category, namely: *instruction, training, demonstrations, research and development or sales*. The Taylor Pond Association states:

The reason for the proposed change is to protect Lake Auburn and Taylor Pond from unnecessary damage to the water quality of these bodies of water that could endanger public health, affect property values resulting in loss of tax revenue to the city of Auburn and do irreversible damage to wildlife and the environment. Also, the roads in these areas are not safe for the heavy traffic that could be generated from such industrial use

C. Advantages

No comments were received by city department head staff at Plan Review Committee. Demonstrations, sales, training and R & D could still occur at locations such as Lost Valley, but larger assembly plants with the associated heavy truck traffic would be restricted. Large assembly facilities are generally considered to be light industrial in use and are most appropriate in industrial zones where truck traffic and large areas of impervious surface are more appropriate. A square footage, truck trip generation threshold, impervious surface restriction, or environmental performance standard such as some of those already applied to the Lake Auburn Watershed would also have a more consistent and restrictive effect on protecting both watersheds. A small home-based business involved in assembling, creating and repairing equipment would not be impacted by the text addition. This amendment would only apply to the two Great Pond watersheds and would not be applicable in all other Agriculture and Resource Protection zoning districts. The additional restriction is not inconsistent with the Comprehensive Plan which designates these areas as "Restricted Areas", to be given "Protection or be held in Reserve".

D. Disadvantages

Larger assembly or maintenance facilities that rely on the locational advantages of specific agricultural, resource or recreational locations would not be allowed in the north half of the city covered by the two watersheds. This could have a fiscal impact or

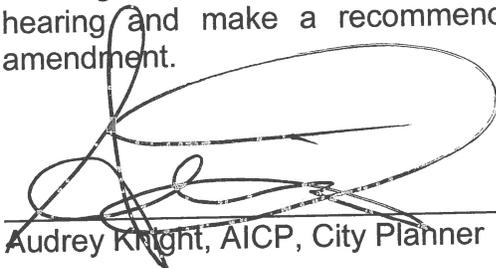
prevent some commercial recreational destination synergies from occurring. The maintenance and sale of agricultural equipment has been a long-standing part of the AG zone. This text amendment would limit the ability of tractor or ATV/snowmobile sales yards from complimentary assembly, repair and maintenance activities. Larger manufacturing or assembly facilities are typically a light industrial use, and are not allowed unless directly associated (agriculture) or complimentary (recreational) with an existing recreational or agricultural use. The fiscal or economic impact of this additional restriction is unknown and is already subject to many environmental constraints. The amendment may have unintended consequences that could prohibit larger scale creative economic enterprises in this zone, such as the one originally proposed by the Ski Area that initiated this recently added Special Exception.

E. Fiscal Impacts

The original purpose for the addition of these use categories had a narrow market potential, and site constraints prevented the development of the use. The proposed text amendment has unknown fiscal impacts on tax revenue or the regional economy.

F. Planning Board Action

The Planning Board will either A) continue the hearing to the next Planning Board meeting to reconsider amended or other language, or B) report the results of the hearing and make a recommendation to the City Council on the proposed text amendment.



Audrey Knight, AICP, City Planner

RECEIVED
OCT 05 2018

BY: Rw

We, the undersigned registered voters of the City of Auburn, do herein petition the City of Auburn to amend Division 2, Sec. 60-144, #17 of the Special Exemption Uses for Agriculture/Resource Protection Zone that currently allows for

Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings as accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment, subject to the following conditions:

- a. The proposed use is accessory, complementary, or otherwise related to a recreational or agricultural use;
- b. The recreational or agricultural use has been in existence for at least five years prior to the date of the application for the special exception; and
- c. The recreational or agricultural use is located on the parcel for which the special exception is requested or is adjacent to the property for which the special exception is requested.

to specify conformity to Maine DEP standards and to exclude industrial use, including manufacture, assembly and maintenance of recreational or agricultural equipment, in the watershed areas of Taylor Pond and Lake Auburn.

Proposed text amendment:

Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings as accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment, subject to the following conditions:

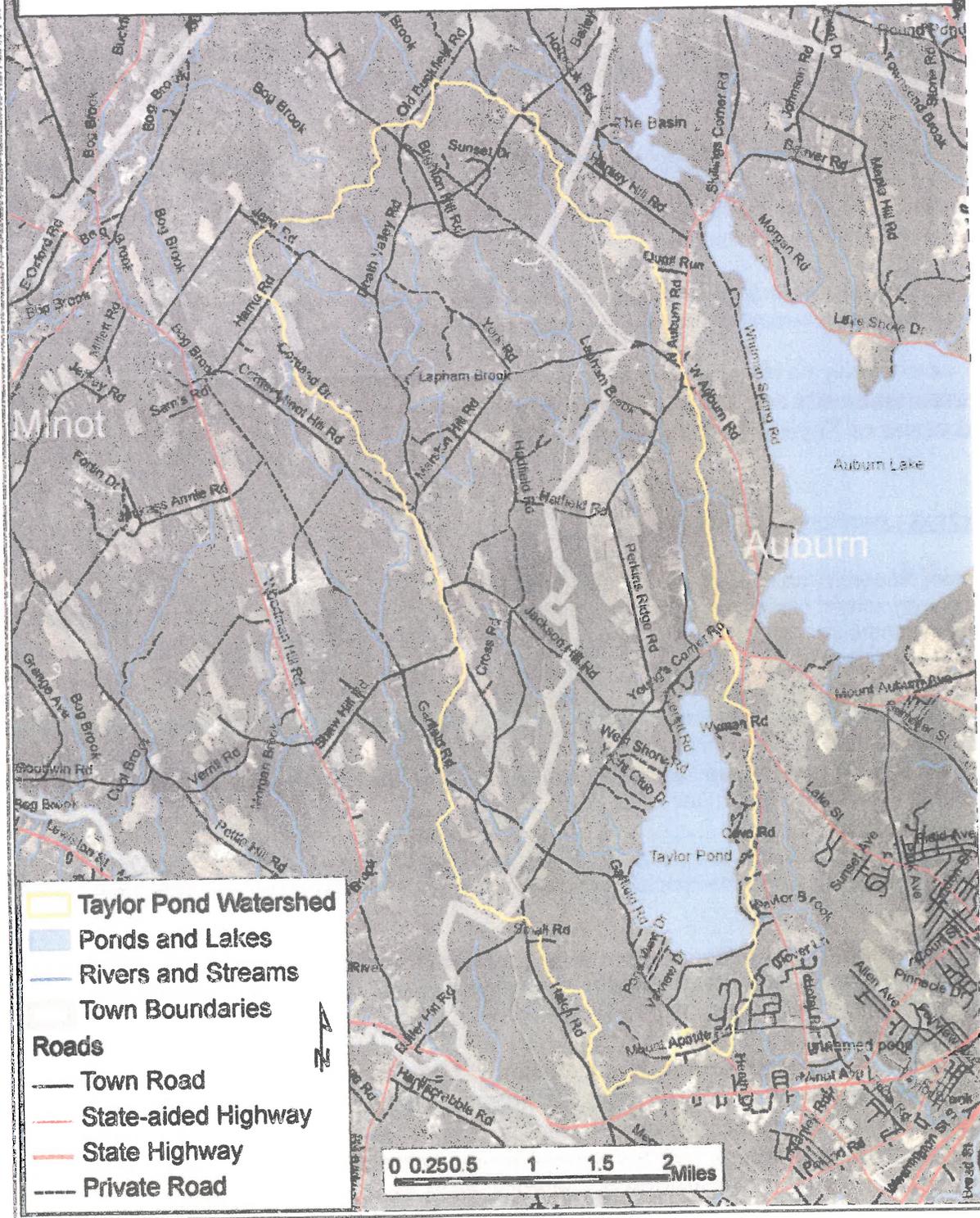
- a. The proposed use is accessory, complementary, or otherwise related to a recreational or agricultural use;
- b. The recreational or agricultural use has been in existence for at least five years prior to the date of the application for the special exception; and
- c. The recreational or agricultural use is located on the parcel for which the special exception is requested or is adjacent to the property for which the special exception is requested, ***in conformance with Maine DEP standards; and***

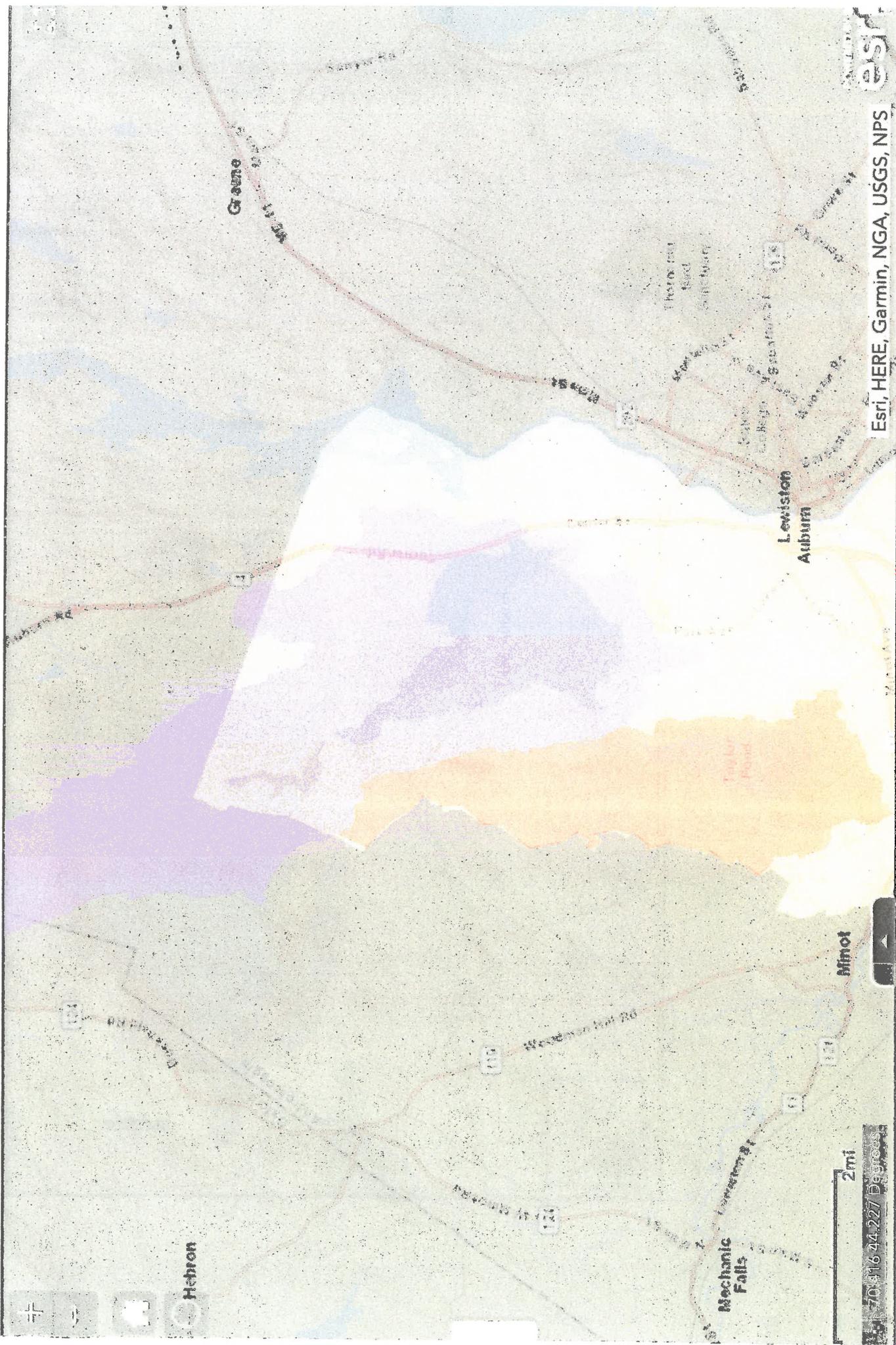
d. Industrial use, including manufacture, assembly and maintenance of recreational or agricultural equipment, is prohibited in the watershed areas surrounding Lake Auburn and Taylor Pond.

The reason for the proposed change is to protect Lake Auburn and Taylor Pond from unnecessary damage to the water quality of these bodies of water that could endanger public health, affect property values resulting in loss of tax revenue to the city of Auburn, and do irreversible damage to wildlife and the environment. Also the roads in these areas are not safe for the heavy traffic that could be generated from such industrial use.

TAYLOR POND WATERSHED

Auburn and Minot, Maine





2mi

70° 16' 44.227" Degrees

Esri, HERE, Garmin, NGA, USGS, NPS

Minot

Mechanic Falls

Lewisiston
Auburn

Hebron

Greene

BUCKFIELD

LAKE AUBURN WATERSHED CONTROL LEVELS



HEBRON

TURNER

MINOT

LAKE AUBURN

AUBURN

LEWIS

LEGEND

Watershed Control Levels:

- LEVEL 1
- LEVEL 2
- LEVEL 3
- LEVEL 4

WATERSHED LINE
SUB-WATERSHED LINE
TOWN LINE



Name (Printed)	Signature	Address
Domaldson	Domaldson	72 Winter St; Auburn, ME 04210
Cheryl W Tardif	Cheryl Tardif	420 Youngs Corner Rd. Auburn, ME
Beth Ann Sheats	Sheats	321 Waterview Dr Auburn, ME
Kristi Huard Norcross	Kristi Huard	230 Valview Dr. Auburn
Lucile Marie	Robert C. Bruce Shaben	100 Stony Road Auburn, ME
Richard Byard	Lucile Marie	699 Garfield R. Auburn, ME
JOAN MACRI	Richard Byard	699 Garfield Rd Auburn, ME
Patricia Sawyer	Joan Macri	42 Waterview Dr Auburn, ME
KELLY MCGOVERN SHAW	Patricia Sawyer	214 Valview Dr Auburn
Peter Durgin	Kelly McGovern Shaw	165 W SHORE RD AUBURN
Kod Paradis	Peter Durgin	30 WATEVIEW DR 04210
Cullen McCormick	Kod Paradis	173 Chicoine Ave Auburn
LORNE A. FAIMAN	Cullen McCormick	173 Chicoine Ave. Auburn
Dorrie M Faiman	Lorne A. Faiman	One Shore Path Rd.
Michael Lutter	Dorrie M Faiman	1 Shore Path Rd
Stephen W. Sawyer	Michael Lutter	9 Shore Path Rd
Neslie Shields	Stephen W. Sawyer	214 Valview Dr. Auburn
MEREDITH SHORE	Neslie Shields	171 West Shore Rd, Auburn
Wylie Mitchell	Meredith Shore	124 Cove Rd. Auburn
Judi Andrews	Wylie Mitchell	179 West Shore Rd Auburn
BARBARA MITCHELL	Judi Andrews	15 Shore Path Rd. Auburn
Larry Muri	Barbara Mitchell	179 West Shore Rd., Auburn
Ernie Ray Bedette	Larry Muri	77 GUYTON ST AUBURN
Dennis Grafflin	Ernie Ray Bedette	130 Valview Drive
Jannette K Phillips	Dennis Grafflin	173 W. Shore Rd, Auburn
August Frohlich	Jannette K. Phillips	173 W. Shore Rd, Auburn.
Joel Richmond	August Frohlich	767 GARFIELD RD Auburn
William Turner	Joel Richmond	198 VALVIEW DR., AUBURN
Peter Garcia	William Turner	185 Chicoine Auburn
Patricia M Garcia	Peter Garcia	201 WEST SHORE RD AUBURN
Robert J. Thomas	Patricia M Garcia	201 West Shore Rd Auburn
BOB HAYES	Robert J. Thomas	138 Everett Rd., Auburn
Douglas Libbey	Bob Hayes	172 ALLEN AVENUE, AUBURN
Susan Trask	Douglas Libbey	130 Chicoine Ave, Auburn
Elwood Trask	Susan E. Trask	75 Taywood Rd Auburn
Edwin Gray	Elwood Trask	75 Taywood Rd Auburn
Dana Little	Edwin Gray	153 Chicoine Ave Auburn
Ezra Thomas	Dana Little	585 Gerchild Road Auburn
Melissa Sundell	Ezra Thomas	138 Everett R t Auburn
Yolanda Gray	Melissa Sundell	40 Nottingham Rd, Auburn
	Yolanda Gray	195 West Shore Rd



PLANNING BOARD STAFF REPORT

To: Auburn Planning Board

From: Douglas M. Greene; AICP, RLA
Urban Development Specialist

Re: Text Amendment to allow training, sales and service of equipment related to outdoor recreation in the Agricultural and Resource Protection and Low Density County Residential districts

Date: May 9, 2017

I. PROPOSAL-

The City Council initiated a text amendment at its April 3, 2017 meeting. The text amendment would allow training, sales and service of equipment related to outdoor recreation in the Agricultural and Resource Protection (AGRP) district. If approved, these uses would also be allowed in the Low Density Country Residential (LDCR) district.

The request for the text amendment came as a result of a project that would be part of the Lost Valley Ski Resort. The project is a large building, parking and sales area for a snow grooming company that would like to locate at the Lost Valley Ski Resort and use the ski area for training, grooming and displaying the equipment.

Currently, the sales and servicing of machinery and equipment related to agriculture are allowed as permitted uses in the Agricultural and Resource Protection (AGRP) District. This type of use does not apply to outdoor recreation and, hence, is the impetus for the text amendment.

II. DEPARTMENT REVIEW- The Plan Review Committee met and reviewed this proposal at its April 19, 2017 meeting. The group discussed the general impact of the text amendment and had little concerns about the text amendment itself. There was some discussion about the sketch plan for the Lost Valley project. It was acknowledged that the sketch plan was not an active application for development.

a. Police – No comments.

- b. Auburn Water and Sewer – No comments
- c. Fire Department – No Comments
- d. Engineering – No Comments.
- e. Public Services – No comments.
- f. Economic and Community Development- No comments.

III. **PLANNING BOARD ACTION** – A draft of the text amendment is presented to the Planning Board with an “option A” and “option B”. Option A is a permissive approach that would make the training, sales and servicing of both agricultural and outdoor recreation related equipment a permitted use. Option B relegates those uses as a special exception and would require Planning Board approval. The intent of the text amendment is to have it included in the Low Density Country Residential district as well.

IV. **STAFF RECOMMENDATION** – The staff considered the impact of allowing training, sales and servicing of equipment for outdoor recreation uses and came to the conclusion that there are limited outdoor recreational uses such as golf courses or park uses where those uses could apply. The golf courses could have golf cart sales or golf training schools for example.

With regards to Option A or Option B, the staff supports Option B in order to ensure that these new uses will be reviewed as a special exception, which would include public notice and Planning Board consideration

The Staff recommends the Planning Board send a recommendation of **APPROVAL** to the City Council for a text amendment making the training, service and sales of equipment for agricultural and outdoor recreation special exceptions in the Agricultural and Resource Protection district as shown in Option B of the staff report.


Douglas M. Greene, A.I.C.P., R.L.A.
Urban Development Specialist



**City of Auburn
City Council Information Sheet**

Council Meeting Date: April 3, 2017

Order: 31-04032017

Author: Michael Chammings, Director of Economic and Community Development

Subject: Agriculture and Resource Protection/Low Density Rural Residence Ordinance review for schools and equipment sales accessory to a recreational use.

Information: We have a unique opportunity to site a recreational equipment sales, assembly, service, testing and training facility adjacent to a recreational use in Auburn that would benefit an important community recreational asset.

Advantages: This would benefit an important community recreational asset, create taxable value, create "livable wage" jobs and attract international visitors to the city.

Disadvantages: None.

City Budgetary Impacts: None.

Staff Recommended Action: Approve the order.

Previous Meetings and History: March 20, 2017 Council Meeting Executive Session.

Attachments: Memo from Eric J. Cousens, Deputy Director of Economic and Community Development dated 03/29/17 and Order.



City of Auburn, Maine
Office of Economic & Community Development
www.auburnmaine.gov | 60 Court Street
Auburn, Maine 04210
207.333.6601

To: Michael Chamings, Director of Economic and Community Development
From: Eric J. Cousens, Deputy Director of Economic and Community Development
Re: Options for the Agriculture and Resource Protection/Low Density Rural Residence Ordinance to allow for schools and equipment sales associated with and complimentary to a recreational use
Date: March 29, 2017

A question has been raised regarding the following use group listed as a Special exception in the Agriculture and Resource Protection District:

- (3) Handling, storage and sale of agricultural services, equipment, and supplies accessory to the farming use.

We allow handling, storage and sale of agricultural services, equipment, and supplies accessory to a farming use with Planning Board review. We also allow recreational uses of land intended or designed for public use subject to Planning Board review and some conditions. The question raised is: Could we allow handling, storage and sale of agricultural services, equipment, and supplies accessory to or associated with a recreational use?

As written the allowance is very specific to farming uses, although the impacts of allowing the use accessory to farming or recreational uses in the Agriculture and Resource Protection District are likely identical. Special exception uses require individual proposals to be reviewed through a public process with the Planning Board to ensure that impacts are avoided.

The term "accessory" includes a determination that the use is subordinate to or under the control of another within a larger organization. That may be too restrictive to allow an associated business that is in separate ownership from the recreational use but still mutually beneficial to locate adjacent to a recreational use. We have an exciting opportunity to site a recreational equipment sales, assembly, service, testing and training facility adjacent to a recreational use in Auburn that would benefit an important community recreational asset and attract international investment and visitors to the city.

We have discussed this opportunity with a couple of Councilors and they have initiated the item for discussion. We are hopeful that the Council will direct staff to draft an amendment to the ordinance and to host a public review process with the Planning Board to recommend a change for Council consideration.

James Pross, Ward One
Robert Stone, Ward Two
Andy Titus, Ward Three
VACANT, Ward Four



Leroy Walker, Ward Five
Grady R. Burns, At Large
David C. Young, At Large

Jonathan P. LaBonte, Mayor

IN CITY COUNCIL

ORDER 31-04032017

ORDERED, that the City Council hereby directs City Staff to consult with the Planning Board and develop recommendations to increase the flexibility of the uses allowed in the Agricultural and Resource Protection District, which would allow existing large recreational users to undertake complimentary uses such as the sale of services, equipment, and supplies related to existing recreational uses, and to develop recommendations from the Planning Board for Council consideration.

OPTION A

DIVISION 2. - AGRICULTURE AND RESOURCE PROTECTION DISTRICT

Sec. 60-144. - Purpose.

The purposes of this district are to allow for conservation of natural resources and open space land, to retain vibrant recreational facilities within the City, and to encourage agricultural, forestry, and certain types of recreational uses as well as commercial uses that are reasonably related to agriculture or recreation. It is declared to be in the public interest that these areas should be protected and conserved because of their natural, aesthetic, historic, and scenic value, the need to retain and preserve open space lands, their economic contribution to the city, and primarily because these areas are so remote from existing centers of development that ~~any-added~~ uncontrolled growth could result in an economic burden on the city and its inhabitants. This section shall be construed so as to effectuate the purposes outlined here and to prevent any attempt to establish uses which are inconsistent with these purposes or any attempt to evade the provisions of this division.

(Ord. of 9-21-2009, § 3.31A)

Sec. 60-145. - Use regulations.

(a) *Permitted uses.* The following uses are permitted:

- (1) One-family detached dwellings, including manufactured housing subject to all the design standards, except the siting requirements of section 60-173, as set forth in article XII of this chapter, accessory to farming operations subject to the following restrictions:
 - a. No certificate of occupancy shall be issued for any such farm residence until the barns, livestock pens, silos, or other such buildings or structures which are to be erected in connection with the proposed agricultural use as shown on the plans and specifications presented to the municipal officer charged with enforcement are substantially completed.
 - b. In no case shall any farm residence constructed under the provisions of this section after the effective date of the amended ordinance from which this section is derived continue to be occupied as a residence if the principal agricultural use has been abandoned or reduced in scope below the minimum requirements as shown on the plans and specifications presented to the municipal officer charged with enforcement.
 - c. Any residence constructed under this article shall not be converted to nonfarm residential use except by permission of the planning board based upon a finding that the abandonment or reduction in such use resulted from causes beyond the control of the applicant and not from any intention to circumvent the requirements of this article.
- (2) Buildings, equipment and machinery accessory to the principal use including, but not limited to: barns, silos, storage buildings and farm automobile garages.
- (3) Forest products raised for harvest.
- (4) Field crop farms.
- (5) Row crop farms.
- (6) Orchard farms.
- (7) Truck gardens.
- (8) Plant and tree nurseries.
- (9) Greenhouses.

- (10) Handling, storage and sale of agriculture produce and processed agricultural products derived from produce grown on the premises.
- (11) Livestock operations including poultry farms, cattle farms, dairy farms, stud farms, hog farms, sheep ranches, other animal farms, including farms for raising fur-bearing animals.
- (12) Wayside stands.
- (13) Two-family dwellings which are created from the conversion of a one-family dwelling structure which was constructed prior to 1900.

(14) Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings and accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment.

(b) *Special exception uses.* The following uses are permitted by special exception after approval by the planning board in accordance with the provisions of division 3 of article XVII of this chapter:

- (1) Sawmills and their customary accessory land uses and buildings incidental to the harvesting of forest products, subject to the following conditions:
 - a. Sawmill and accessory activity shall not be detrimental to the neighborhood or the city by reason of special danger of fire or explosion, pollution of rivers or perennial streams or accumulation of refuse.
 - b. Wood processing operation shall be located no closer than 75 feet from any river or perennial stream, 250 feet from any zoning district boundary or residential dwelling and shall be limited to four persons employed.
 - c. Where natural vegetation is removed, it shall be replaced within six months with other vegetation which will be equally effective in retarding erosion and will preserve natural beauty.
- (2) Veterinary hospitals, where operated by licensed veterinarians, including offices and facilities for temporarily boarding animals.
- (3) ~~Handling, storage and sale of agricultural services, equipment, and supplies accessory to the farming use.~~
- (34) Bona fide residences required for farm labor. Any residence constructed for farm labor shall not be converted to nonfarm residential use except by permission of the planning board based upon a finding that the abandonment or reduction in such use resulted from causes beyond the control of the applicant and not from any intention to circumvent the requirements of this division. The findings and the conditions upon which such altered use may be continued shall be made a part of the permanent records.
- (54) Recreational uses of land intended or designed for public use subject to the following conditions:
 - a. No such recreational use shall be expanded or extended so as to occupy additional land area greater than 20 percent of the original area or one acre, whichever is less; or by the construction of a structure or an addition to an existing structure by more than 900 square feet of additional floor space unless the owner or occupant first obtains approval of the planning board in the manner and upon the same terms as approvals of initial recreational uses.
 - b. Any proposed new or expanded recreational use shall be completed on or before the estimated completion date except that the planning board may grant reasonable extension of time where good cause for the failure to complete is shown.
- (65) Any legally nonconforming summer camp or cottage may be rebuilt if destroyed by fire or other casualty, subject to the following conditions:

- a. Such reconstruction shall comply with all ordinances applicable to new construction. Such reconstruction need not, however, comply with zoning provisions which would otherwise be applicable except for the provisions of article XII of this chapter.
 - b. In cases where no minimum setback is established by division 5 of article XII of this chapter an open yard space of at least ten feet between the building as reconstructed and each of the property lines shall be maintained.
- (76) Rifle, pistol, skeet or trap shooting ranges, public or private.
- (87) Cemeteries, subject to the following conditions:
- a. At least 20 acres in area.
 - b. Not located in any environmental overlay district or over any known aquifer.
- (89) Municipal sanitary landfills, subject to the following conditions:
- a. Not located in any environmental overlay district or over any known aquifer.
 - b. Provisions shall be made to avoid surface water and groundwater pollution.
 - c. Provisions shall be made for frequent covering of deposited wastes with earth to counteract vermin, insects, odors, and windblown debris.
- (94) Radio, radar, television and radio telephone transmitting or broadcasting towers, but not studios or offices for such transmitting or broadcasting, provided that:
- a. Every such tower shall be installed in a location and manner that ensures its safe operation and the safety of the surrounding residents, building occupants, land uses and properties.
 - b. In no case shall such tower be located less than one and one-half times its height from the nearest property line.
- (104) Wholesale nurseries, subject to the following conditions:
- a. At least one-half of the area of the lot (up to a maximum of three acres) is in active nursery production in a husband type manner.
 - b. The plants and trees propagated, grown and nurtured in the nursery are used as the primary products by the owner/operator of the landscape service.
- (112) Processing and storage of compost and bulking agents from the municipal wastewater sewerage sludge facilities provided that:
- a. All compost and amendments are to be stored undercover or screened from the public way and abutting property as determined by the planning board.
 - b. All federal, state and local ordinances and laws relating to the processing and storage of waste are complied with.
 - c. An end-use plan must be filed as part of the planning board process.
- (132) Licensed hospice care facility provided that it shall be licensed by the state as a Medicare certificate hospice.
- (143) Slaughterhouse, stockyard, abattoir, dressing plant in compliance with state and federal regulations subject to the following conditions:
- a. The facility shall not be located within the Lake Auburn Watershed Overlay District, the Watershed of Taylor Pond, the Shoreland Overlay District or the Floodplain Overlay District.
 - b. The proposed use shall not occupy more than 10,000 square feet of building area.
 - c. The number of employees shall be limited to not more than 15.

- d. Accessory retail sales shall be limited to 10 percent of building area or 1,000 square feet, whichever is smaller.
 - e. Hours of operation shall limited to between 6 a.m. and 8 p.m.
- (145) Compost operations, excluding municipal and industrial waste, to process products such as manure, bedding, animal mortalities, waste feed, produce, forestry by-products, leaves and yard trimmings in compliance with state and federal regulations, subject to the following conditions:
- a. All compost sites shall be evaluated for suitability by a properly qualified professional, including benchmark water testing prior to approval.
 - b. Provisions shall be made to avoid surface and groundwater pollution.
 - c. Provisions shall be made to counteract vermin, insects and odors.
 - d. Must comply with all applicable state department of environmental protection and state department of agriculture rules and regulations and best management practices.
 - e. Shall not be located within the Lake Auburn Watershed Overlay District.

(Ord. of 9-21-2009, § 3.31B; Ord. No. 32-02072011-07, 2-7-2011; Ord. No. 06-08012011-07, 8-1-2011)

Sec. 60-146. - Dimensional regulations.

All structures in this district, except as noted shall be subject to the following dimensional regulations:

- (1) *Minimum lot area, width and depth.* No lot shall be created and/or no building shall be erected on a lot containing less than ten acres, exclusive of any bodies of water having a surface area of one-fourth of an acre or more, and measuring not less than 250 feet in width at the street frontage, and 200 feet in depth.
 - a. A building may be erected on a lot containing not less than 50,000 square feet and possessing the required minimum frontage width provided it is contiguous with other lots or parcels of land in the same ownership containing an aggregate of not less than ten acres; notwithstanding the separation of the said other lots or parcels of land by a road, stream, private right-of-way or other natural boundary from the lot on which the building is to be constructed. This section shall not be construed to prevent the construction of nonresidential accessory farm buildings on any such lot.
 - b. On legally nonconforming undersized lots, the keeping of horses, mules, cows, goats, sheep, hogs, and similar sized animals for domestic use of the residents of the lot is permitted provided that the land area required per animal unit conforms to the definition of animal farm contained in section 60-2.
- (2) *Density.* The density of yearround dwelling units shall not exceed an average of one dwelling per ten acres.
- (3) *Yard requirements.*
 - a. *Rear.* There shall be behind every building a rear yard having a minimum depth of 25 feet.
 - b. *Side.* There shall be a minimum distance of 15 feet between any building and the side property line.
 - c. *Front.* There shall be in front of every building a front yard having a minimum depth of 25 feet or 25 percent of the average depth of the lot whichever is less.

- (4) *Height.* The height of all dwelling structures shall be limited to two and one-half stories of 35 feet in height. Accessory buildings and structures may have a maximum height of 65 feet from grade, provided that the front yard, rear yard and each of the side yards shall be increased by one foot for each foot in height in excess of 35 feet.
- (5) *Off-street parking.* Off-street parking spaces shall be provided in accordance with the requirements for specific uses as set forth in articles V through XI of this chapter.

(Ord. of 9-21-2009, § 3.31C)

Secs. 60-147—60-199. - Reserved.

OPTION B

DIVISION 2. - AGRICULTURE AND RESOURCE PROTECTION DISTRICT

Sec. 60-144. - Purpose.

The purposes of this district are to allow for conservation of natural resources and open space land, to retain vibrant recreational facilities within the City, and to encourage agricultural, forestry, and certain types of recreational uses as well as commercial uses that are reasonably related to agriculture or recreation. It is declared to be in the public interest that these areas should be protected and conserved because of their natural, aesthetic, historic, and scenic value, the need to retain and preserve open space lands, their economic contribution to the city, ~~and~~ primarily because these areas are so remote from existing centers of development that ~~any added~~ uncontrolled growth could result in an economic burden on the city and its inhabitants. This section shall be construed so as to effectuate the purposes outlined here and to prevent any attempt to establish uses which are inconsistent with these purposes or any attempt to evade the provisions of this division.

(Ord. of 9-21-2009, § 3.31A)

Sec. 60-145. - Use regulations.

- (a) *Permitted uses.* The following uses are permitted:
 - (1) One-family detached dwellings, including manufactured housing subject to all the design standards, except the siting requirements of section 60-173, as set forth in article XII of this chapter, accessory to farming operations subject to the following restrictions:
 - a. No certificate of occupancy shall be issued for any such farm residence until the barns, livestock pens, silos, or other such buildings or structures which are to be erected in connection with the proposed agricultural use as shown on the plans and specifications presented to the municipal officer charged with enforcement are substantially completed.
 - b. In no case shall any farm residence constructed under the provisions of this section after the effective date of the amended ordinance from which this section is derived continue to be occupied as a residence if the principal agricultural use has been abandoned or

reduced in scope below the minimum requirements as shown on the plans and specifications presented to the municipal officer charged with enforcement.

- c. Any residence constructed under this article shall not be converted to nonfarm residential use except by permission of the planning board based upon a finding that the abandonment or reduction in such use resulted from causes beyond the control of the applicant and not from any intention to circumvent the requirements of this article.
 - (2) Buildings, equipment, and machinery accessory to the principal use including, but not limited to: barns, silos, storage buildings and farm automobile garages.
 - (3) Forest products raised for harvest.
 - (4) Field crop farms.
 - (5) Row crop farms.
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 - (11) Livestock operations including poultry farms, cattle farms, dairy farms, stud farms, hog farms, sheep ranches, other animal farms, including farms for raising fur-bearing animals.
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 - b. Wood processing operation shall be located no closer than 75 feet from any river or perennial stream, 250 feet from any zoning district boundary or residential dwelling and shall be limited to four persons employed.
 - c. Where natural vegetation is removed, it shall be replaced within six months with other vegetation which will be equally effective in retarding erosion and will preserve natural beauty.
 - (2) Veterinary hospitals, where operated by licensed veterinarians, including offices and facilities for temporarily boarding animals.
 - (3) ~~Handling, storage and sale of agricultural services, equipment, and supplies accessory to the farming use.~~ [MM1]

- (34) Bona fide residences required for farm labor. Any residence constructed for farm labor shall not be converted to nonfarm residential use except by permission of the planning board based upon a finding that the abandonment or reduction in such use resulted from causes beyond the control of the applicant and not from any intention to circumvent the requirements of this division. The findings and the conditions upon which such altered use may be continued shall be made a part of the permanent records.
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- a. No such recreational use shall be expanded or extended so as to occupy additional land area greater than 20 percent of the original area or one acre, whichever is less; or by the construction of a structure or an addition to an existing structure by more than 900 square feet of additional floor space unless the owner or occupant first obtains approval of the planning board in the manner and upon the same terms as approvals of initial recreational uses.
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- a. At least 20 acres in area.
 - b. Not located in any environmental overlay district or over any known aquifer.
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- a. Not located in any environmental overlay district or over any known aquifer.
 - b. Provisions shall be made to avoid surface water and groundwater pollution.
 - c. Provisions shall be made for frequent covering of deposited wastes with earth to counteract vermin, insects, odors, and windblown debris.
- (940) Radio, radar, television and radio telephone transmitting or broadcasting towers, but not studios or offices for such transmitting or broadcasting, provided that:
- a. Every such tower shall be installed in a location and manner that ensures its safe operation and the safety of the surrounding residents, building occupants, land uses and properties.
 - b. In no case shall such tower be located less than one and one-half times its height from the nearest property line.
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- a. At least one-half of the area of the lot (up to a maximum of three acres) is in active nursery production in a husband type manner.
 - b. The plants and trees propagated, grown and nurtured in the nursery are used as the primary products by the owner/operator of the landscape service.

- (112) Processing and storage of compost and bulking agents from the municipal wastewater sewerage sludge facilities provided that:
- a. All compost and amendments are to be stored undercover or screened from the public way and abutting property as determined by the planning board.
 - b. All federal, state and local ordinances and laws relating to the processing and storage of waste are complied with.
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- (132) Licensed hospice care facility provided that it shall be licensed by the state as a Medicare certificate hospice.
- (143) Slaughterhouse, stockyard, abattoir, dressing plant in compliance with state and federal regulations subject to the following conditions:
- a. The facility shall not be located within the Lake Auburn Watershed Overlay District, the Watershed of Taylor Pond, the Shoreland Overlay District or the Floodplain Overlay District.
 - b. The proposed use shall not occupy more than 10,000 square feet of building area.
 - c. The number of employees shall be limited to not more than 15.
 - d. Accessory retail sales shall be limited to 10 percent of building area or 1,000 square feet, whichever is smaller.
 - e. Hours of operation shall limited to between 6 a.m. and 8 p.m.
- (145) Compost operations, excluding municipal and industrial waste, to process products such as manure, bedding, animal mortalities, waste feed, produce, forestry by-products, leaves and yard trimmings in compliance with state and federal regulations, subject to the following conditions:
- a. All compost sites shall be evaluated for suitability by a properly qualified professional, including benchmark water testing prior to approval.
 - b. Provisions shall be made to avoid surface and groundwater pollution.
 - c. Provisions shall be made to counteract vermin, insects and odors.
 - d. Must comply with all applicable state department of environmental protection and state department of agriculture rules and regulations and best management practices.
 - e. Shall not be located within the Lake Auburn Watershed Overlay District.

(16) Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings and accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment.

(Ord. of 9-21-2009, § 3.31B; Ord. No. 32-02072011-07, 2-7-2011; Ord. No. 06-08012011-07, 8-1-2011)

Sec. 60-146. - Dimensional regulations.

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- a. A building may be erected on a lot containing not less than 50,000 square feet and possessing the required minimum frontage width provided it is contiguous with other lots or parcels of land in the same ownership containing an aggregate of not less than ten acres; notwithstanding the separation of the said other lots or parcels of land by a road, stream, private right-of-way or other natural boundary from the lot on which the building is to be constructed. This section shall not be construed to prevent the construction of nonresidential accessory farm buildings on any such lot.
 - b. On legally nonconforming undersized lots, the keeping of horses, mules, cows, goats, sheep, hogs, and similar sized animals for domestic use of the residents of the lot is permitted provided that the land area required per animal unit conforms to the definition of animal farm contained in section 60-2.
- (2) *Density.* The density of year round dwelling units shall not exceed an average of one dwelling per ten acres.
- (3) *Yard requirements.*
- a. *Rear.* There shall be behind every building a rear yard having a minimum depth of 25 feet.
 - b. *Side.* There shall be a minimum distance of 15 feet between any building and the side property line.
 - c. *Front.* There shall be in front of every building a front yard having a minimum depth of 25 feet or 25 percent of the average depth of the lot whichever is less.
- (4) *Height.* The height of all dwelling structures shall be limited to two and one-half stories of 35 feet in height. Accessory buildings and structures may have a maximum height of 65 feet from grade, provided that the front yard, rear yard and each of the side yards shall be increased by one foot for each foot in height in excess of 35 feet.
- (5) *Off-street parking.* Off-street parking spaces shall be provided in accordance with the requirements for specific uses as set forth in articles V through XI of this chapter.

(Ord. of 9-21-2009, § 3.31C)

Secs. 60-147—60-199. - Reserved.

James Pross, Ward One
Robert Stone, Ward Two
Andy Titus, Ward Three
Adam R. Lee, Ward Four



Leroy Walker, Ward Five
Grady R. Burns, At Large
David C. Young, At Large

Jonathan P. LaBonte, Mayor

IN CITY COUNCIL

ORDINANCE 06-06052017

BE IT ORDAINED, that the City Council, that Chapter 60, Zoning be amended as follows:

ARTICLE IV, DISTRICT REGULATIONS, DIVISION 2 AGRICULTURE AND RESOURCE PROTECTION DISTRICT, Section 145, Use Regulations, (b) Special Exception Uses,

(16) Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings as accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment, subject to the following conditions:

- a. The proposed use is accessory, complementary, or otherwise related to a recreational or agricultural use;
- b. The recreational or agricultural use has been in existence for at least 5 years prior to the date of the application for the special exception; and
- c. The recreational or agricultural use is located on the parcel for which the special exception is requested or is adjacent to the property for which the special exception is requested.

**Public hearing and passage of first reading on 6/5/2017 5-0-1 (Councilor Young absent).
Passage of second and final reading on 6/19/2017 7-0.**

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDINANCE 01-02252019

Division 2, Section 60-145, Use Regulations,

(b) Special Exception Uses;

- (17) Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings as accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment, subject to the following conditions:
- a. The proposed use is accessory, complementary, or otherwise related to a recreational or agricultural use;
 - b. The recreational or agricultural use has been in existence for at least five years prior to the date of the application for the special exception; and
 - c. The recreational or agricultural use is located on the parcel for which the special exception is requested or is adjacent to the property for which the special exception is requested, in conformance with Maine DEP standards; and,
 - d. **Industrial use, including manufacture, assembly and maintenance of recreational or agricultural equipment, is prohibited in the watershed areas surrounding Lake Auburn and Taylor Pond.**



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019

Order: 25-02252019

Author: Kelsey Earle, License Specialist

Subject: Don's No Preference Towing of L/A, Inc., dba Morris Auto Parts Automobile Graveyard/Junkyard permit renewal

Information: This is an annual renewal of a currently existing Automobile Graveyard/Junkyard in Auburn. Reminder letter and application were sent out 8/2/2018. Application was submitted on 8/27/18 by Donald St. Germain. Inspections conducted by the Code and Fire Departments have been passed. License expired 9/30/18, renewal was delayed due to unpaid taxes which have since been paid and are currently up to date. Council approval is required for renewal of this type of license.

Title 30-A, Sec. 3754 states "Municipal officers or county commissioners, as provided for in section 3753, shall hold a public hearing before granting a permit to establish a new automobile graveyard, automobile recycling business or junkyard and may hold public hearings annually regarding the relicensing of these facilities".

1. Don's No Preference Towing of L/A, Inc., dba Morris Auto Parts, 940 Washington Street N
-

City Budgetary Impacts: N/A

Staff Recommended Action: Staff recommends the City Council approve the renewal application.

Previous Meetings and History: Annual Renewal

City Manager Comments:

I concur with the recommendation. Signature:

A handwritten signature in blue ink that reads "Peter J. Cuddeback".

Attachments:

1. Automobile Graveyard/Junkyard application
2. Inspection Memo – David O'Connell (Fire Department)
3. Order

AUG 27 REC'D
2018

2018 *v20*

2011 APPLICATION FOR AUTOMOBILE GRAVEYARD AND/OR JUNKYARD PERMIT

To the City of Auburn, Androscoggin County, Maine

I/We, **Don's D/B/A Morris Auto Parts.** hereby make application for a permit to establish, operate or maintain an Automobile Graveyard and/or Junkyard at the following described location and in accordance with the provisions of Title 30-A MRSA Sections 3751-3760

Answer all questions in full.

1. Give location of Automobile Graveyard and/or Junkyard
940 Washington Street N, Auburn, Maine 04210
043344599
2. Is this application made by or for a company, partnership, corporation, individual?
Corporation - Morris Auto Parts
3. Is this property leased? **No**
Property owned by **Don St. Germain**
4. address: **940 Washington Street N Auburn ME 04210**
5. How is "yard" screened? Fence **X**? (type) **Wood/Metal** Height **6ft/8ft** Trees?(type)
Embankment: _____ Gully? _____ Hill? _____ Other? _____
6. How far is edge of "yard" from center of highway? **45 feet.** *plus feet*
7. Can junk be seen from any part of highway? Yes _____ **No X**
8. Was Junkyard Law, Requirements and Fees explained to you? **Yes X** No _____
9. Is any portion of this "yard" on public property? Yes _____ **No X**
10. Is "yard" within 300 feet of a Public Park, Public Playground, Public Bathing Beach, School, Church or Cemetery? Yes _____ **No X**
11. When was "yard" established? **1938** By whom? **Baker Family**
12. When was last permit issued? **2017** To whom? **Morris Auto Parts**

1 copy of application to City
 1 copy of application to Applicant
 1 copy of application to State Police, Augusta
 1 copy of application to Dept. of Transportation, Augusta (Right of Way Division)
 (over)

The undersigned certifies that the above information is true and correct to the best of his/her knowledge and that he/she is the owner or agent of the property or that he/she has been duly authorized by the owner, individual, partnership, company or corporation to make this application and to receive the permit under the law.

DON'S
PBA
→

Signed by: Donald St. Germain

For: Morris Auto Parts - Don St. Germain
Name of Company, Corporation, Partnership, Individual

Address: 940 Washington St N Auburn ME 04210 Business 784-4619 Cell 754-1608

Make complete sketch of "yard". Show footage all sides and location in relationship to adjacent properties. Show distance (in feet) from edge of "yard" to center of highway. Fill in Route Number or Local Road Name. Name of nearest City/Town in each direction. Distance from nearest intersection, bridge or other known reference point.

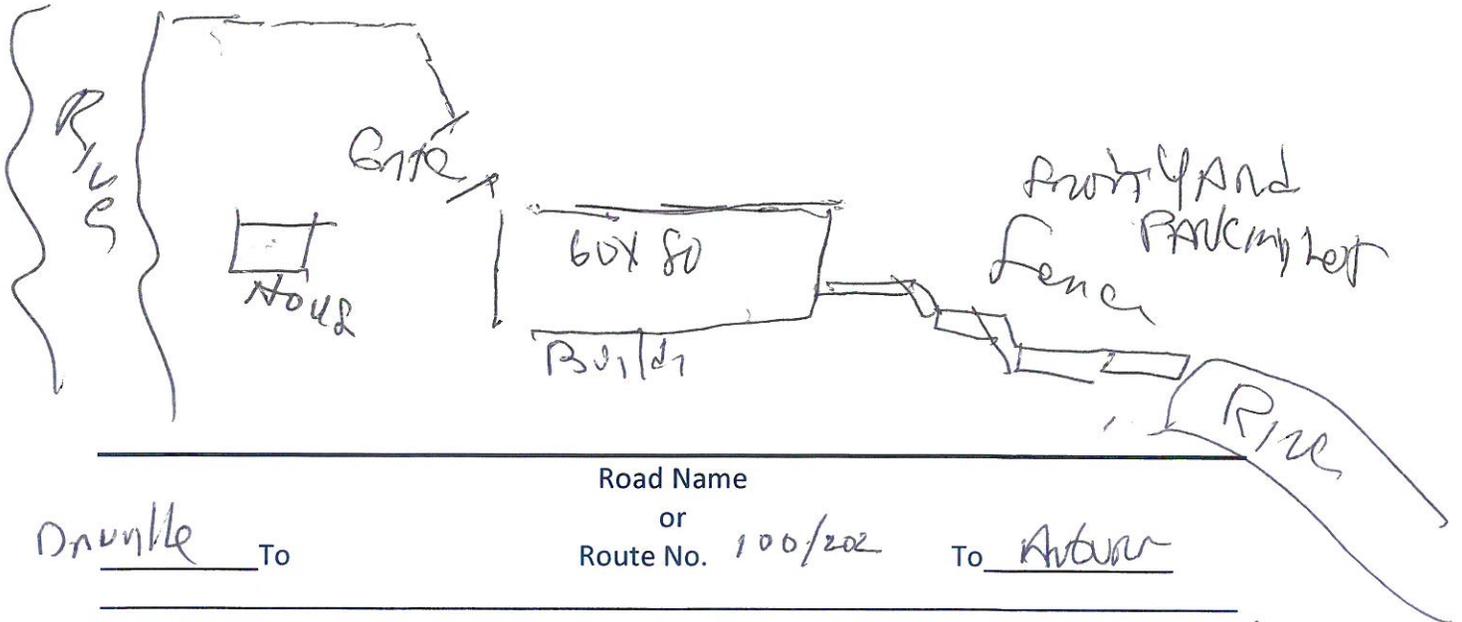
Tax Map No. _____

Circle Correct
Direction

N →
E _____
W _____
S _____

Lot No. _____

Zone ROAD 100



Drunkle To

Road Name
or
Route No. 100/202 To Auburn





Auburn Fire Department

David N. O'Connell | Fire Inspector/Fire Investigator
550 Minot Avenue | Auburn, Maine 04210
doconnell@auburnmaine.gov | 207.333.6633 ext 4

Sarah L. Hulbert – Fire/EMS Support Specialist
shulbert@auburnmaine.gov

To: Mayor and City Council

From: David O'Connell, Fire Prevention Officer

Re: 2018 Junkyard License Inspections

Date: September 06, 2018

The City Clerk requested that this office inspect licensed junkyards which have applied for license renewals - prior to the Council's consideration of their applications. Inspections were completed by September 5, 2018, and crews found the following:

Randy's Auto Parts, 899 Broad St.: No deficiencies noted after inspection. Fire Department approves.

M & P Auto, Inc., 227 Merrow Rd.: No deficiencies noted after inspection. Fire Department approves.

Isadore, 78 & 80 Hotel Rd.: Site is vacant; no buildings. No comments or concerns.

Prolerized New England Company, 522 Washington St. N.: Fire Department approves.

Morris Auto Mart, 940 Washington St. N.: Fire Department approves.

Sincerely,

David O'Connell



**City of Auburn
City Council Information Sheet**

Council Workshop or Meeting Date: February 25, 2019

Author: Sue Clements-Dallaire, City Clerk

Subject: Referring the draft Chapter 60, Agriculture and Resource Protection Ordinance to the Conservation Commission and Planning Board and the Maine Department of Agriculture, Conservation, and Forestry

Information: This order is to forward the current draft amendments to the Chapter 60, Zoning, Agriculture and Resource Protection District Ordinance and associated definitions, as drafted by the Mayors Action Group on Agriculture and Resource Protection (MAG-ARP), to the Conservation Commission and Planning Board (as noted in a memo from the Mayor dated 8/22/2018) for review, Public Hearing and recommendations on how to proceed with the amendments.

City Budgetary Impacts: N/A

Staff Recommended Action: Motion to approve the order forward the current draft amendments to the Chapter 60, Zoning, Agriculture and Resource Protection District Ordinance and associated definitions, as drafted by the Mayors Action Group on Agriculture and Resource Protection (MAG-ARP), to the Conservation Commission and Planning Board for review, Public Hearing and recommendations on how to proceed with the amendments.

Previous Meetings and History: The Mayor's Action Group on Agriculture and Resource Protection (MAG-ARP) have met several times from October 2018 through February 2019 to draft a proposed ordinance amendment.

City Manager Comments:

I concur with the recommendation. Signature:

A handwritten signature in blue ink that reads "Peter J. Levesque".

Attachments: Draft Ordinance, definitions, Memo from Mayor Levesque dated 8/22/2018 and Order.

Draft Agriculture and Resource Protection Ordinance Amendments proposed at the 2/11/19 MAGARP Committee Meeting

DIVISION 2. - AGRICULTURE AND RESOURCE PROTECTION DISTRICT

Sec. 60-144. - Purpose.

The purposes of this district are to allow for conservation of natural resources and open space land, and to encourage agricultural, forestry, and certain types of recreational uses. It is declared to be in the public interest that these areas should be protected and conserved because of their natural, aesthetic and scenic value, the need to retain and preserve open space lands, their economic contribution to the city, and primarily because these areas are so remote from existing centers of development that any added uncontrolled growth could result in an economic burden on the city and its inhabitants. This section shall be construed so as to effectuate the purposes outlined here and to prevent any attempt to establish uses which are inconsistent with these purposes or any attempt to evade the provisions of this division.

(Ord. of 9-21-2009, § 3.31A)

Sec. 60-145. - Use regulations.

(a) *Permitted uses.* The following uses are permitted:

- (1) One-family detached dwellings, including manufactured housing subject to all the design standards, ~~except the siting requirements of section 60-173, as set forth in a~~Article XII of this chapter, ~~that is~~ accessory to farming operations ~~as defined in Sec. 60-2, Farm.~~ subject to the following restrictions:
 - a. ~~For a period of five years after the effective date of this amendment no person shall divide a parcel of land for the purposes of constructing a dwelling. During the five years following the adoption of this amendment only a single dwelling, accessory to farming operations, under this section may be permitted per parcel existing on January 1, 2018.~~
 - b. ~~No person shall create by conveyance made after the effective date of this amendment any subdivision as the term "subdivision" is defined in Title 30-A, section 4401 of the Maine Revised Statutes; and No certificate of occupancy shall be issued for any such farm residence until the barns, livestock pens, silos, or other such buildings or structures which are to be erected in connection with the proposed agricultural use as shown on the plans and specifications presented to the municipal officer charged with enforcement are substantially completed.~~
 - bc. ~~The Planning Board shall not grant subdivision approval to any proposed subdivision as defined under the aforesaid statute for the purposes of constructing a dwelling; In no case shall any farm residence constructed under the provisions of this section after the effective date of the amended ordinance from which this section is derived continue to be occupied as a residence if the principal agricultural use has been abandoned or reduced in scope below the minimum requirements as shown on the plans and specifications presented to the municipal officer charged with enforcement.~~
 - d. ~~Nothing herein shall prohibit the approval of a subdivision in the Agriculture and Resource Protection Zoning District for one or more permitted uses other than residential use.~~
 - e.e. ~~Any residence constructed under this article shall not be converted to nonfarm residential use except by permission of the P~~lanning ~~B~~oard ~~following a recommendation by the~~

Draft Agriculture and Resource Protection Ordinance Amendments proposed at the 2/11/19 MAGARP Committee Meeting

Agricultural Advisory Board based upon a finding that the abandonment or reduction in such use resulted from causes beyond the control of the applicant and not from any intention to circumvent the requirements of this article.

f. Siting of residential structures shall avoid prime farmland soils and soils of statewide significance when alternatives exist on the parcel.

- (2) Buildings, equipment and machinery accessory to the principal use including, but not limited to: barns silos, storage buildings and farm automobile garages.
 - (3) Forest products raised for harvest.
 - (4) Field crop farms.
 - (5) Row crop farms.
 - (6) Orchard farms.
 - (7) Truck gardens.
 - (8) Plant and tree nurseries.
 - (9) Greenhouses.
 - (10) Handling, storage and sale of agriculture produce and processed agricultural products derived from produce grown on the premises.
 - (11) Livestock operations including poultry farms, cattle farms, dairy farms, stud farms, hog farms, sheep ranches, other animal farms, including farms for raising fur-bearing animals.
 - (12) Wayside stands.
 - (13) Two-family dwellings which are created from the conversion of a one-family dwelling structure which was constructed prior to 1900.
- (b) *Special exception uses.* The following uses are permitted by special exception after approval by the planning board in accordance with the provisions of division 3 of article XVII of this chapter:
- (1) Sawmills and their customary accessory land uses and buildings incidental to the harvesting of forest products, subject to the following conditions:
 - a. Sawmill and accessory activity shall not be detrimental to the neighborhood or the city by reason of special danger of fire or explosion, pollution of rivers or perennial streams or accumulation of refuse.
 - b. Wood processing operation shall be located no closer than 75 feet from any river or perennial stream, 250 feet from any zoning district boundary or residential dwelling and shall be limited to four persons employed.
 - c. Where natural vegetation is removed, it shall be replaced within six months with other vegetation which will be equally effective in retarding erosion and will preserve natural beauty.
 - (2) Veterinary hospitals, where operated by licensed veterinarians, including offices and facilities for temporarily boarding animals.
 - (3) Handling, storage and sale of agricultural services, equipment, and supplies accessory to the farming use.
 - (4) Bona fide residences required for farm labor. Any residence constructed for farm labor shall not be converted to nonfarm residential use except by permission of the Planning Board following a recommendation by the Agricultural Advisory Board, based upon a finding that the abandonment or reduction in such use resulted from causes beyond the control of the applicant and not from any intention to circumvent the requirements of this division. The findings and the

Draft Agriculture and Resource Protection Ordinance Amendments proposed at the 2/11/19 MAGARP Committee Meeting

conditions upon which such altered use may be continued shall be made a part of the permanent records.

- (5) Recreational uses of land intended or designed for public use subject to the following conditions:
 - a. No such recreational use shall be expanded or extended so as to occupy additional land area greater than 20 percent of the original area or one acre, whichever is less; or by the construction of a structure or an addition to an existing structure by more than 900 square feet of additional floor space unless the owner or occupant first obtains approval of the planning board in the manner and upon the same terms as approvals of initial recreational uses.
 - b. Any proposed new or expanded recreational use shall be completed on or before the estimated completion date except that the planning board may grant reasonable extension of time where good cause for the failure to complete is shown.
- (6) Any legally nonconforming summer camp or cottage may be rebuilt if destroyed by fire or other casualty, subject to the following conditions:
 - a. Such reconstruction shall comply with all ordinances applicable to new construction. Such reconstruction need not, however, comply with zoning provisions which would otherwise be applicable except for the provisions of article XII of this chapter.
 - b. In cases where no minimum setback is established by division 5 of article XII of this chapter an open yard space of at least ten feet between the building as reconstructed and each of the property lines shall be maintained.
- ~~(7) Rifle, pistol, skeet or trap shooting ranges, public or private.~~
- (87) Cemeteries, subject to the following conditions:
 - a. At least 20 acres in area.
 - b. Not located in any environmental overlay district or over any known aquifer.
- (98) Municipal sanitary landfills, subject to the following conditions:
 - a. Not located in any environmental overlay district or over any known aquifer.
 - b. Provisions shall be made to avoid surface water and groundwater pollution.
 - c. Provisions shall be made for frequent covering of deposited wastes with earth to counteract vermin, insects, odors, and windblown debris.
- ~~(409)~~ Radio, radar, television and radio telephone transmitting or broadcasting towers, but not studios or offices for such transmitting or broadcasting, provided that:
 - a. Every such tower shall be installed in a location and manner that ensures its safe operation and the safety of the surrounding residents, building occupants, land uses and properties.
 - b. In no case shall such tower be located less than one and one-half times its height from the nearest property line.
- ~~(4110)~~ Wholesale nurseries, subject to the following conditions:
 - a. At least one-half of the area of the lot (up to a maximum of three acres) is in active nursery production in a husband type manner.
 - b. The plants and trees propagated, grown and nurtured in the nursery are used as the primary products by the owner/operator of the landscape service.
- ~~(4211)~~ Processing and storage of compost and bulking agents from the municipal wastewater sewerage sludge facilities provided that:

Draft Agriculture and Resource Protection Ordinance Amendments proposed at the 2/11/19 MAGARP Committee Meeting

- a. All compost and amendments are to be stored undercover or screened from the public way and abutting property as determined by the planning board.
 - b. All federal, state and local ordinances and laws relating to the processing and storage of waste are complied with.
 - c. An end-use plan must be filed as part of the planning board process.
- (~~43~~12) Licensed hospice care facility provided that it shall be licensed by the state as a Medicare certificate hospice.
- (~~44~~13) Slaughterhouse, stockyard, abattoir, dressing plant in compliance with state and federal regulations subject to the following conditions:
- a. The facility shall not be located within the Lake Auburn Watershed Overlay District, the Watershed of Taylor Pond, the Shoreland Overlay District or the Floodplain Overlay District.
 - b. The proposed use shall not occupy more than 10,000 square feet of building area.
 - c. The number of employees shall be limited to not more than 15.
 - d. Accessory retail sales shall be limited to 10 percent of building area or 1,000 square feet, whichever is smaller.
 - e. Hours of operation shall limited to between 6 a.m. and 8 p.m.
- (~~45~~14) Compost operations, excluding municipal and industrial waste, to process products such as manure, bedding, animal mortalities, waste feed, produce, forestry by-products, leaves and yard trimmings in compliance with state and federal regulations, subject to the following conditions:
- a. All compost sites shall be evaluated for suitability by a properly qualified professional, including benchmark water testing prior to approval.
 - b. Provisions shall be made to avoid surface and groundwater pollution.
 - c. Provisions shall be made to counteract vermin, insects and odors.
 - d. Must comply with all applicable state department of environmental protection and state department of agriculture rules and regulations and best management practices.
 - e. Shall not be located within the Lake Auburn Watershed Overlay District.
- (~~46~~15) Adaptive reuse of structures of community significance.
- (~~47~~16) Assembly, sale, research and development, distribution, instruction, training, demonstration or maintenance of recreational or agricultural equipment, including buildings as accessory structures used in the assembly, sale, distribution, instruction, training, demonstration, or maintenance of recreational or agricultural equipment, subject to the following conditions:
- a. The proposed use is accessory, complementary, or otherwise related to a recreational or agricultural use;
 - b. The recreational or agricultural use has been in existence for at least five years prior to the date of the application for the special exception; and
 - c. The recreational or agricultural use is located on the parcel for which the special exception is requested or is adjacent to the property for which the special exception is requested.

(Ord. of 9-21-2009, § 3.31B; Ord. No. 32-02072011-07, 2-7-2011; Ord. No. 06-08012011-07, 8-1-2011; Ord. No. 05-04032017, § 2, 4-24-2017; Ord. No. 06-06052017, 6-19-2017)

Sec. 60-146. - Dimensional regulations.

Draft Agriculture and Resource Protection Ordinance Amendments proposed at the 2/11/19 MAGARP Committee Meeting

All structures in this district, except as noted shall be subject to the following dimensional regulations:

- (1) *Minimum lot area, width and depth.* No lot shall be created containing less than 10 acres and measuring less than 250 feet in width at the street frontage, and 200 feet in depth. ~~and/or a~~ No building shall be erected on a lot containing less than ~~ten-three~~ acres, exclusive of any bodies of water having a surface area of one-fourth of an acre or more, and measuring ~~not~~ less than 250 feet in width at the street frontage, and 200 feet in depth. Lots greater than 3 acres in area, but less than 10 acres, in existence as of January 1, 2018 shall not be subject to the minimum width, street frontage, depth and density requirements.
 - a. A building may be erected on a lot containing not less than 50,000 square feet and possessing the required minimum frontage width provided it is contiguous with other lots or parcels of land in the same ownership containing an aggregate of not less than ten acres; notwithstanding the separation of the said other lots or parcels of land by a road, stream, private right-of-way or other natural boundary from the lot on which the building is to be constructed. This section shall not be construed to prevent the construction of nonresidential accessory farm buildings on any such lot.
 - b. On legally nonconforming undersized lots, the keeping of horses, mules, cows, goats, sheep, hogs, and similar sized animals for domestic use of the residents of the lot is permitted provided that the land area required per animal unit conforms to the definition of animal farm contained in section 60-2.
- (2) *Density.* The density of year-round dwelling units shall not exceed an average of one dwelling per ten acres.
- (3) *Yard requirements.*
 - a. *Rear.* There shall be behind every building a rear yard having a minimum depth of 25 feet.
 - b. *Side.* There shall be a minimum distance of 15 feet between any building and the side property line.
 - c. *Front.* There shall be in front of every building a front yard having a minimum depth of 25 feet or 25 percent of the average depth of the lot whichever is less.
- (4) *Height.* The height of all dwelling structures shall be limited to two and one-half stories of 35 feet in height. Accessory buildings and structures may have a maximum height of 65 feet from grade, provided that the front yard, rear yard and each of the side yards shall be increased by one foot for each foot in height in excess of 35 feet.
- (5) *Off-street parking.* Off-street parking spaces shall be provided in accordance with the requirements for specific uses as set forth in articles V through XI of this chapter.

(Ord. of 9-21-2009, § 3.31C)

Draft Agriculture and Resource Protection Ordinance Amendments
proposed at the 11/29/18 MAGARP Committee Meeting

Secs. 60-147—60-199. - Reserved.

Sec. 60-2. - Definitions.

The term "farm," under the Agricultural and Resource Protection District, shall be further defined as meeting the following criteria:

Accessory structure or building means an uninhabited building, at least five feet in distance from the principal building, used for a purpose which is customarily subordinate and incidental to that of the principal building or to the principal use of the land and which is located on the same lot as the principal building use. The term "accessory buildings," in residential districts, includes tool sheds, wood sheds, detached garages and swimming pools. No accessory building shall house a home occupation or professional office or be used as a sales outlet in a residential district. **Except that in the Aq Zone an accessory structure is permitted for farm use and may be constructed without the precondition of any Primary or Principal structure existing on the Farm if the land is in productive use or preserved open space.**

Agricultural Advisory Board means a member board appointed for a term by whose primary functions are to review, monitor or document agricultural, conservation and residential activity in the Agriculture and Resource Protection zoning district of the City of Auburn.

Farm ~~means~~ ~~A farm is means~~ an area of land that is devoted primarily to agricultural products as those plants and animals and their products that are useful to humans and includes, but is not limited to, forages and sod crops, grains and feed crops, dairy and dairy products, poultry and poultry products, bees and bees' products, livestock and livestock products, manure and compost and fruits, berries, vegetables, flowers, seeds, grasses and other similar products, or any other plant, animal or plant or animal products that supply humans with food, feed, fiber or fur. "Agricultural products" does not include trees grown and harvested for forest products.. ~~processes with the primary objective of producing food and other crops; it is the basic facility in food production.[1] The name is used for specialised/specialized units such as arable farms, vegetable farms, fruit farms, dairy, pig and poultry farms, and land used for the production of natural fibres/fibers, biofuel and other commodities. It includes ranches, feedlots, orchards, plantations and estates, smallholdings and hobby farms, and includes the farmhouse and agricultural buildings as well as the land. In modern times the term has been extended so as to include such industrial operations as wind farms and fish farms, both of which can operate on land or sea. any parcel of land containing more than ten acres which is used in the raising of agricultural products, livestock or poultry, or for dairying.~~

A farmer[1] (also called an agriculturer) is a person engaged in agriculture, raising living organisms for food or raw materials. The term usually applies to people who do some combination of raising field

crops, orchards, vineyards, poultry, or other livestock. A farmer might own the farmed land or might work as a laborer on land owned by others, but in advanced economies, a farmer is usually a farm owner, while employees of the farm are known as farm workers, or farmhands. However, in the not so distant past, a farmer was a person who promotes or improves the growth of (a plant, crop, etc.) by labor and attention, land or crops or raises animals (as livestock or fish).

The term "farm," under ~~the~~ Agricultural and Resource Protection District ~~shall be further~~ **further**, shall be further defines agriculture and resource conservation land use ~~as meeting at least two of the~~ **the** following criteria:

- (1) At least the minimum required farm income for the filing of an IRS Form-F, as adjusted by the IRS, of the farmer occupant living in the farm residence will be derived from such uses; or,
- (2) At least minimum required income from forestry products equivalent to that required of a farm for the filing of an IRS Form-F, as adjusted by the IRS, of the occupant living in the farm residence will be derived from such uses; or
- (3) At least two and one half acres (2.5 acres) devoted to the production of crops, grazing of livestock, or to the long-term resource conservation such as forestry, wildlife habitat or other specific protected natural resource; or,
- 3) At least 50% of land area enrolled in the state Farm, Open Space or Forest Management preservation and State Farmland, Open Space or Treegrowth tax assessment programs (SS 36 1102 1120); or
- 4) A minimum investment of \$1000 or more in crops, livestock, reforestation, or other farm or resource conservation effort as defined herein or by the Agricultural Advisory Board.

Verification of the above may be completed by a mutually agreeable third party if not available as a public record or if confidential information is needed to make the determination. If a dwelling is proposed prior to meeting the above a farm plan demonstrating the intent to meet the requirements must be provided with the building permit application. Compliance with the farm plan must be achieved within 24 months of the issuance of a certificate of occupancy and ~~continued for XXX~~ years verified annually. Relief from the requirement to comply after the 24 month period must be obtained from the Agricultural Advisory Board pursuant to Section 60-145(1)~~ae~~.

~~For purposes of this definition, the term "poultry" means no fewer than 100 fowl and the term "livestock" means no fewer than 20 cattle or other animals being raised for commercial purposes.~~

~~Farm, Livestock~~ (at least 2 cattle or other animals being raised for commercial purposes) means any parcel of land that contains at least the following land area used for the keeping of horses, mules, donkeys, cattle, goats, sheep, swine and similar sized animals for the agricultural use of the residents of the lot, provided that there is a minimum of 1 acre of land as required by Chapter 8 Animals, and adequate land area is provided for each animal unit, excluding water bodies of one-quarter acre surface area or larger, with standards as follows:

Commented [PB1]: It was difficult to adjust the definition of farm used by the State and to include both AG Products and Forestry products as income sources as the Board directed. I believe the definition change and the addition of forest product income as one potential criterium accomplishes the Committee goal to include forest product income as an option.

(1) Cattle: One bovine animal unit per acre of cleared hay-pasture land.

(2) Horse: 1.5 animal units per acre of cleared hay/pasture land.

(3) Sheep: Three animal units per acre of cleared hay/pasture land.

(4) Swine: Two animal units per acre of cleared land.

(5) poultry: a minimum of 10 fow#

Other livestock farms: ~~The required~~ lot size shall be determined by municipal officer charged with enforcement and shall conform to the lot size for similar sized animals

Forested land. means land that is used in the growth of trees but does not include ledge, marsh, open swamp, bog, water and similar areas that are unsuitable for growing trees

Accessory structure or building means an uninhabited building, at least five feet in distance from the principal building, used for a purpose which is customarily subordinate and incidental to that of the principal building or to the principal use of the land and which is located on the same lot as the principal building use. The term "accessory buildings," in residential districts, includes tool sheds, wood sheds, detached garages and swimming pools. No accessory building shall house a home occupation or professional office or be used as a sales outlet in a residential district. ~~Except that in the Ag Zone an accessory structure is permitted for farm use and may be constructed without the precondition of any Primary or Principal structure existing on the Farm.~~

Open space land. means any area of land, including state wildlife and management areas, sanctuaries and preserves designated as such in Title 12, the preservation or restriction of the use of which provides a public benefit in any of the following areas: A. Conserving scenic resources; B. Enhancing public recreation opportunities; C. Promoting game management; or D. Preserving wildlife or wildlife habitat

Open Space, Usable. means an otherwise buildable area that can be used for recreation or other passive or active outdoor activity.

~~Except that in the Ag Zone an accessory structure is permitted for farm use and may be constructed without the precondition of any Primary or Principal structure existing on the Farm.~~

Accessory use means a subordinate use of land or building which is customarily incidental and subordinate to the principal building or to the principal use of the land and which is located on the same lot with the principal building or use.



City of Auburn, Maine

Office of the Mayor

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

To: City Council, Planning Board, Conservation Board
From: Jason Levesque, Mayor of Auburn
CC: City Manager, City Staff
Date: 8/22/2018
Re: Mayor's Ad Hoc Action Group on Agriculture and Resource Protection

Comments: I am pleased to announce the formation of the Mayor's Ad Hoc Action Group (Committee) on Agriculture and Resource Protection (MAG-ARP). The purpose of this group will be as follows:

"Craft draft ordinances addressing income and minimum land usage requirements in Auburn's current Agriculture Resource Protection Zone, for consideration and action by the Auburn City Council"

MAG-ARP will consist of Mayoral appointees as follows:

1. 1 City Councilor
2. 1 Planning Board member-nominated by Chair of the Planning Board
3. 1 Conservation Committee member-nominated by the Chair of the Conservation Committee
4. 2 Residents working in the Agriculture industry
5. 1 Resident/Landowner in current ARPZ
6. 1 Resident at Large
7. The Mayor or a designee acting as a non-voting Chair.

All resident applications must be received no later than September 12th by the Application Committee, who will review and provide recommendations for appointment. Application Committee should forward all applications and their recommendations/notes no later than September 23rd.

Conservation Commission and Planning Board Chairs should make their appointments no later than September 23rd.

I will announce the members of the Committee on or before September 30th.

The process will consist of approximately 4 public meetings over a 60 day period starting October 2nd with future meetings to TBD.

Upon completion of draft ordinances, they will be presented to both Conservation and Planning Boards for further review period which shall not exceed 2 meetings or 60 days at which time they shall forward their recommendations, notes, suggested edits etc... to MAG-ARP which will then present via workshop findings and draft ordinances to the City Council via a workshop presentation.

Holly C. Lasagna, Ward One
Robert P. Hayes, Ward Two
Andrew D. Titus, Ward Three
Alfreda M. Fournier, Ward Four



Leroy G. Walker, Ward Five
Belinda A. Gerry, At Large
David C. Young, At Large

Jason J. Levesque, Mayor

IN CITY COUNCIL

ORDER 26-02252019

ORDERED, that the City Council hereby sends the current draft amendments to the Chapter 60, Zoning, Agriculture and Resource Protection District Ordinance and associated definitions, as drafted by the Mayors Action Group on Agriculture and Resource Protection (MAG-ARP), to the Conservation Commission and the Planning Board for review, Public Hearing and recommendations on how to proceed with the amendments.

City of Auburn, Maine

"Maine's City of Opportunity"

Financial Services



TO: Peter Crichton, City Manager

FROM: Jill Eastman, Finance Director

REF: January 2019 Financial Report

DATE: February 19, 2019

The following is a discussion regarding the significant variances found in the City's January financial report. Please note that although the monthly financial report contains amounts reported by the School Department, this discussion is limited to the City's financial results and does not attempt to explain any variances for the School Department.

The City has completed its seventh month of the current fiscal year. As a guideline for tracking purposes, revenues and expenditures should amount to approximately 58.3% of the annual budget. However, not all costs and revenues are distributed evenly throughout the year; individual line items can vary based upon cyclical activity.

Revenues

Revenues collected through January 31st, including the school department were \$50,276,858 or 57.98%, of the budget. The municipal revenues including property taxes were \$35,465,253, or 58.12% of the budget which is more than the same period last year by 0.99%. The accounts listed below are noteworthy.

- A. The current year tax revenue is at 58.51%, 1.10% higher than last year at this time. The second payment is due March 15th .
- B. Excise tax for the month of January is at 61.70%. This is a \$111,933 increase from FY 18. Our excise revenues for FY19 are 3.4% above projections as of January 31, 2019.
- C. State Revenue Sharing at the end of January is 58.41% or \$986,970. This is \$106,894 increase from last January.
- D. Miscellaneous Revenues are more than FY 18 by \$87,799. Sale of property and investment income both contribute to this increase.

Expenditures

City expenditures through January 2019 were \$25,547,756 or 59.38%, of the budget. This is a 6.24% increase for the same period last year. Noteworthy variances are:

- A. Administration is higher than last year by 8.73%. All administrative departments are higher this year than last year, but still where they should be at this time of the year.
- B. The Economic and Community Development is at 41.41% of budget, primarily due to unfilled vacant positions and delayed implementation of the Workforce Development program.

Investments

This section contains an investment schedule as of January 31st. Currently the City's funds are earning an average interest rate of 1.77% compared to 0.92% in 2018.

Respectfully submitted,



Jill M. Eastman
Finance Director

CITY OF AUBURN, MAINE
BALANCE SHEET - CITY GENERAL FUND, WC AND UNEMPLOYMENT FUND
AS of January 2019, December 2018, and June 2018

ASSETS	UNAUDITED January 31 2019	UNAUDITED December 31 2018	Increase (Decrease)	AUDITED JUNE 30 2018
CASH	\$ 12,079,153	\$ 15,812,455	\$ (3,733,302)	\$ 11,450,641
RECEIVABLES			-	
ACCOUNTS RECEIVABLES	1,412,908	1,217,053	195,855	1,941,626
TAXES RECEIVABLE-CURRENT	20,644,568	21,077,595	(433,028)	1,822,799
DELINQUENT TAXES	755,500	753,052	2,448	664,795
TAX LIENS	804,733	946,866	(142,133)	724,636
NET DUE TO/FROM OTHER FUNDS	2,631,053	2,581,298	49,755	3,182,810
TOTAL ASSETS	\$ 38,327,916	\$ 42,388,319	\$ (4,060,403)	\$ 19,787,307
 LIABILITIES & FUND BALANCES				
ACCOUNTS PAYABLE	\$ (263,871)	\$ (73,349)	\$ (190,522)	\$ (1,073,230)
PAYROLL LIABILITIES	(689,558)	(455,504)	(234,055)	(709,471)
ACCRUED PAYROLL	(3,272)	(3,272)	-	(2,771,642)
STATE FEES PAYABLE	(19,491)	(30,788)	11,297	
ESCROWED AMOUNTS	-	(1,600)	1,600	(1,600)
DEFERRED REVENUE	(21,237,996)	(21,809,528)	571,532	(2,054,690)
TOTAL LIABILITIES	\$ (22,214,189)	\$ (22,374,041)	\$ 159,852	\$ (6,610,633)
FUND BALANCE - UNASSIGNED/ASSIGNED	\$ (12,581,329)	\$ (16,481,879)	\$ 3,900,550	\$ (9,644,275)
FUND BALANCE - RESTRICTED	(1,931,802)	(1,931,802)		(1,931,802)
FUND BALANCE - NON SPENDABLE	(1,600,597)	(1,600,597)	-	(1,600,597)
TOTAL FUND BALANCE	\$ (16,113,728)	\$ (20,014,278)	\$ 3,900,550	\$ (13,176,674)
TOTAL LIABILITIES AND FUND BALANCE	\$ (38,327,916)	\$ (42,388,319)	\$ 4,060,403	\$ (19,787,307)

CITY OF AUBURN, MAINE
REVENUES - GENERAL FUND COMPARATIVE
THROUGH January 31, 2019 VS January 31, 2018

DEPARTMENT	FY 2019 BUDGET	Unaudited EXP THRU JAN 2019	% OF BUDGET	FY 2018 BUDGET	Unaudited EXP THRU JAN 2018	% OF BUDGET	VARIANCE
TAXES							
PROPERTY TAX REVENUE-	\$ 48,772,945	\$ 28,537,124	58.51%	\$ 48,061,530	\$ 27,591,381	57.41%	\$ 945,743
PRIOR YEAR TAX REVENUE	\$ -	\$ 602,979		\$ -	\$ 711,306		\$ (108,327)
HOMESTEAD EXEMPTION REIMBURSEMENT	\$ 1,190,000	\$ 997,694	83.84%	\$ 1,015,000	\$ 821,845	80.97%	\$ 175,849
EXCISE	\$ 3,835,000	\$ 2,366,044	61.70%	\$ 3,810,000	\$ 2,254,111	59.16%	\$ 111,933
PENALTIES & INTEREST	\$ 150,000	\$ 81,076	54.05%	\$ 150,000	\$ 71,429	47.62%	\$ 9,647
TOTAL TAXES	\$ 53,947,945	\$ 32,584,917	60.40%	\$ 53,036,530	\$ 31,450,072	59.30%	\$ 1,134,845
LICENSES AND PERMITS							
BUSINESS	\$ 62,000	\$ 43,042	69.42%	\$ 62,000	\$ 35,990	58.05%	\$ 7,052
NON-BUSINESS	\$ 355,000	\$ 237,924	67.02%	\$ 345,000	\$ 228,262	66.16%	\$ 9,662
TOTAL LICENSES	\$ 417,000	\$ 280,966	67.38%	\$ 407,000	\$ 264,252	64.93%	\$ 16,714
INTERGOVERNMENTAL ASSISTANCE							
STATE-LOCAL ROAD ASSISTANCE	\$ 400,000	\$ 403,684	100.92%	\$ 400,000	\$ 406,860	101.72%	\$ (3,176)
STATE REVENUE SHARING	\$ 1,689,669	\$ 986,970	58.41%	\$ 1,509,117	\$ 880,076	58.32%	\$ 106,894
WELFARE REIMBURSEMENT	\$ 103,747	\$ 20,775	20.02%	\$ 95,000	\$ 115,008	121.06%	\$ (94,233)
OTHER STATE AID	\$ 32,000	\$ 14,819	46.31%	\$ 32,000	\$ 14,943	46.70%	\$ (124)
CITY OF LEWISTON	\$ 228,384	\$ -	0.00%	\$ 228,384	\$ -	0.00%	\$ -
TOTAL INTERGOVERNMENTAL ASSISTANCE	\$ 2,453,800	\$ 1,426,248	58.12%	\$ 2,264,501	\$ 1,416,887	62.57%	\$ 9,361
CHARGE FOR SERVICES							
GENERAL GOVERNMENT	\$ 144,440	\$ 104,891	72.62%	\$ 144,440	\$ 73,669	51.00%	\$ 31,222
PUBLIC SAFETY	\$ 236,277	\$ 104,950	44.42%	\$ 236,277	\$ 90,227	38.19%	\$ 14,723
EMS TRANSPORT	\$ 1,250,000	\$ 600,677	48.05%	\$ 1,250,000	\$ 545,302	43.62%	\$ 55,375
TOTAL CHARGE FOR SERVICES	\$ 1,630,717	\$ 810,518	49.70%	\$ 1,630,717	\$ 709,198	43.49%	\$ 101,320
FINES							
PARKING TICKETS & MISC FINES	\$ 70,000	\$ 27,574	39.39%	\$ 70,000	\$ 30,111	43.02%	\$ (2,538)
MISCELLANEOUS							
INVESTMENT INCOME	\$ 32,000	\$ 55,301	172.81%	\$ 32,000	\$ 22,197	69.37%	\$ 33,104
RENTS	\$ 35,000	\$ 14,453	41.29%	\$ 35,000	\$ 24,464	69.90%	\$ (10,012)
UNCLASSIFIED	\$ 10,000	\$ 43,171	431.71%	\$ 10,000	\$ 17,513	175.13%	\$ 25,658
COMMERCIAL SOLID WASTE FEES	\$ -	\$ 32,528		\$ -	\$ 34,116		\$ (1,588)
SALE OF PROPERTY	\$ 20,000	\$ 38,828	194.14%	\$ 20,000	\$ 11,882	59.41%	\$ 26,946
RECREATION PROGRAMS/ARENA							\$ -
MMWAC HOST FEES	\$ 221,000	\$ 131,681	59.58%	\$ 215,000	\$ 127,391	59.25%	\$ 4,290
TRANSFER IN: TIF	\$ 1,317,818	\$ -	0.00%	\$ 1,287,818	\$ -	0.00%	\$ -
TRANSFER IN: Other Funds	\$ 97,718	\$ -	0.00%	\$ 54,718	\$ -	0.00%	\$ -
ENERGY EFFICIENCY							\$ -
CDBG	\$ 214,430	\$ 10,250	4.78%	\$ 214,430	\$ 9,668	4.51%	\$ 582
UTILITY REIMBURSEMENT	\$ 27,500	\$ 8,818	32.07%	\$ 27,500	\$ -	0.00%	\$ 8,818
CITY FUND BALANCE CONTRIBUTION	\$ 527,500	\$ -	0.00%	\$ 412,500	\$ -	0.00%	\$ -
TOTAL MISCELLANEOUS	\$ 2,502,966	\$ 335,030	13.39%	\$ 2,308,966	\$ 247,231	10.71%	\$ 87,799
TOTAL GENERAL FUND REVENUES	\$ 61,022,428	\$ 35,465,253	58.12%	\$ 59,717,714	\$ 34,117,751	57.13%	\$ 1,347,502
SCHOOL REVENUES							
EDUCATION SUBSIDY	\$ 24,302,914	\$ 14,473,553	59.55%	\$ 22,039,568	\$ 11,339,820	51.45%	\$ 3,133,733
EDUCATION	\$ 674,191	\$ 338,051	50.14%	\$ 811,744	\$ 366,052	45.09%	\$ (28,001)
SCHOOL FUND BALANCE CONTRIBUTION	\$ 719,417	\$ -	0.00%	\$ 906,882	\$ -	0.00%	\$ -
TOTAL SCHOOL	\$ 25,696,522	\$ 14,811,605	57.64%	\$ 23,758,194	\$ 11,705,872	49.27%	\$ 3,105,733
GRAND TOTAL REVENUES	\$ 86,718,950	\$ 50,276,858	57.98%	\$ 83,475,908	\$ 45,823,623	54.89%	\$ 4,453,235

CITY OF AUBURN, MAINE
EXPENDITURES - GENERAL FUND COMPARATIVE
THROUGH January 31, 2019 VS January 31, 2018

DEPARTMENT	FY 2019	Unaudited	% OF	FY 2018	Unaudited	% OF	VARIANCE
	BUDGET	EXP THRU JAN 2019	BUDGET	BUDGET	EXP THRU JAN 2018	BUDGET	
ADMINISTRATION							
MAYOR AND COUNCIL	\$ 111,610	\$ 59,566	53.37%	\$ 80,300	\$ 38,537	47.99%	\$ 21,029
CITY MANAGER	\$ 474,086	\$ 275,827	58.18%	\$ 581,170	\$ 254,402	43.77%	\$ 21,425
CITY CLERK	\$ 185,898	\$ 101,113	54.39%	\$ 181,332	\$ 94,139	51.92%	\$ 6,974
FINANCIAL SERVICES	\$ 694,109	\$ 410,756	59.18%	\$ 675,239	\$ 313,974	46.50%	\$ 96,782
HUMAN RESOURCES	\$ 149,953	\$ 83,942	55.98%	\$ 156,887	\$ 74,043	47.20%	\$ 9,899
INFORMATION TECHNOLOGY	\$ 588,403	\$ 353,795	60.13%	\$ 531,551	\$ 318,624	59.94%	\$ 35,171
TOTAL ADMINISTRATION	\$ 2,204,059	\$ 1,284,999	58.30%	\$ 2,206,479	\$ 1,093,719	49.57%	\$ 191,280
COMMUNITY SERVICES							
ECONOMIC & COMMUNITY DEVELOPMENT	\$ 1,471,918	\$ 609,506	41.41%	\$ 1,717,028	\$ 545,028	31.74%	\$ 64,478
HEALTH & SOCIAL SERVICES	\$ 223,500	\$ 89,852	40.20%	\$ 220,870	\$ 130,113	58.91%	\$ (40,261)
RECREATION & SPECIAL EVENTS	\$ 384,630	\$ 226,435	58.87%	\$ 388,581	\$ 159,047	40.93%	\$ 67,388
PUBLIC LIBRARY	\$ 998,189	\$ 665,459	66.67%	\$ 998,189	\$ 415,912	41.67%	\$ 249,547
TOTAL COMMUNITY SERVICES	\$ 3,078,237	\$ 1,591,252	51.69%	\$ 3,324,668	\$ 1,250,100	37.60%	\$ 341,152
FISCAL SERVICES							
DEBT SERVICE	\$ 6,702,508	\$ 6,156,417	91.85%	\$ 6,366,533	\$ 5,841,011	91.75%	\$ 315,406
FACILITIES	\$ 650,641	\$ 427,764	65.75%	\$ 640,201	\$ 376,575	58.82%	\$ 51,189
WORKERS COMPENSATION	\$ 581,360	\$ -	0.00%	\$ 555,164	\$ 555,164	100.00%	\$ (555,164)
WAGES & BENEFITS	\$ 6,471,614	\$ 3,442,760	53.20%	\$ 5,960,970	\$ 2,978,419	49.97%	\$ 464,341
EMERGENCY RESERVE (10108062-670000)	\$ 431,003	\$ -	0.00%	\$ 415,454	\$ -	0.00%	\$ -
TOTAL FISCAL SERVICES	\$ 14,837,126	\$ 10,026,941	67.58%	\$ 13,938,322	\$ 9,751,169	69.96%	\$ 275,772
PUBLIC SAFETY							
FIRE DEPARTMENT	\$ 4,422,256	\$ 2,485,683	56.21%	\$ 4,227,575	\$ 2,231,883	52.79%	\$ 253,800
FIRE EMS	\$ 683,181	\$ 384,826	56.33%	\$ 708,828	\$ 225,449	31.81%	\$ 159,377
POLICE DEPARTMENT	\$ 4,166,631	\$ 2,350,216	56.41%	\$ 4,043,998	\$ 1,931,261	47.76%	\$ 418,955
TOTAL PUBLIC SAFETY	\$ 9,272,068	\$ 5,220,725	56.31%	\$ 8,980,401	\$ 4,388,593	48.87%	\$ 832,132
PUBLIC WORKS							
PUBLIC WORKS DEPARTMENT	\$ 4,778,668	\$ 2,773,337	58.04%	\$ 4,611,116	\$ 2,001,010	43.40%	\$ 772,327
SOLID WASTE DISPOSAL*	\$ 988,013	\$ 535,837	54.23%	\$ 964,118	\$ 422,911	43.87%	\$ 112,926
WATER AND SEWER	\$ 645,216	\$ 474,537	73.55%	\$ 632,716	\$ 328,858	51.98%	\$ 145,679
TOTAL PUBLIC WORKS	\$ 6,411,897	\$ 3,783,711	59.01%	\$ 6,207,950	\$ 2,752,779	44.34%	\$ 1,030,932
INTERGOVERNMENTAL PROGRAMS							
AUBURN-LEWISTON AIRPORT	\$ 172,000	\$ 171,759	99.86%	\$ 167,800	\$ 162,838	97.04%	\$ 8,921
E911 COMMUNICATION CENTER	\$ 1,123,081	\$ 842,674	75.03%	\$ 1,088,857	\$ 267,281	24.55%	\$ 575,393
LATC-PUBLIC TRANSIT	\$ 199,130	\$ 199,130	100.00%	\$ 189,949	\$ 189,949	100.00%	\$ 9,181
TAX SHARING	\$ 270,000	\$ 18,800	6.96%	\$ 270,000	\$ 16,809	6.23%	\$ 1,991
TOTAL INTERGOVERNMENTAL	\$ 1,764,211	\$ 1,232,363	69.85%	\$ 1,716,606	\$ 636,877	37.10%	\$ 595,486
COUNTY TAX							
TIF (10108058-580000)	\$ 2,407,766	\$ 2,407,765	100.00%	\$ 2,296,224	\$ 2,296,224	100.00%	\$ 111,541
OVERLAY	\$ 3,049,803	\$ -	0.00%	\$ 3,049,803	\$ -	0.00%	\$ -
	\$ -	\$ -		\$ -	\$ -	0.00%	\$ -
TOTAL CITY DEPARTMENTS	\$ 43,025,167	\$ 25,547,756	59.38%	\$ 41,720,453	\$ 22,169,461	53.14%	\$ 3,378,295
EDUCATION DEPARTMENT	\$ 43,693,783	\$ 20,633,674	47.22%	\$ 41,755,455	\$ 14,517,805	34.77%	\$ 6,115,869
TOTAL GENERAL FUND EXPENDITURES	\$ 86,718,950	\$ 46,181,430	53.25%	\$ 83,475,908	\$ 36,687,266	43.95%	\$ 9,494,164

**CITY OF AUBURN, MAINE
INVESTMENT SCHEDULE
AS OF December 31, 2018**

INVESTMENT		FUND	BALANCE January 31, 2019	BALANCE December 31, 2018	INTEREST RATE
ANDROSCOGGIN BANK	449	CAPITAL PROJECTS	\$ 4,227,776.68	\$ 4,222,394.27	1.25%
ANDROSCOGGIN BANK	502	SR-TIF	\$ 1,022,881.21	\$ 1,021,579.04	1.25%
ANDROSCOGGIN BANK	836	GENERAL FUND	\$ 4,306,368.03	\$ 8,294,682.25	1.25%
ANDROSCOGGIN BANK	801	WORKERS COMP	\$ 51,099.48	\$ 51,034.47	1.25%
ANDROSCOGGIN BANK	684	EMS CAPITAL RESERVE	\$ 32,401.63	\$ 32,360.40	1.25%
ANDROSCOGGIN BANK	414	INGERSOLL TURF FACILITY	\$ 85,626.74	\$ 85,517.73	1.25%
NORTHERN CAPITAL	02155	CAPITAL PROJECTS	\$ 750,000.00	\$ 750,000.00	2.30%
NORTHERN CAPITAL	02155	GENERAL FUND	\$ 250,000.00	\$ 250,000.00	1.50%
NORTHERN CAPITAL	02155	GENERAL FUND	\$ 500,000.00	\$ 500,000.00	1.90%
NORTHERN CAPITAL	02155	GENERAL FUND	\$ 250,000.00	\$ 250,000.00	2.00%
NORTHERN CAPITAL	02155	GENERAL FUND	\$ 500,000.00	\$ 500,000.00	2.15%
NORTHERN CAPITAL	02155	GENERAL FUND	\$ 500,000.00	\$ 500,000.00	2.30%
NORTHERN CAPITAL	02155	GENERAL FUND	\$ 250,000.00	\$ 250,000.00	2.60%
NORTHERN CAPITAL	02155	GENERAL FUND	\$ 500,000.00	\$ 500,000.00	2.55%
GRAND TOTAL			\$ 13,226,153.77	\$ 17,207,568.16	1.77%

EMS BILLING
SUMMARY OF ACTIVITY
July 1, 2018 - June 30, 2019
Report as of January 31, 2019

	Beginning	January 2019					Ending
	Balance 01/01/19	New Charges	Payments	Refunds	Adjustments	Write-Offs	Balance 1/31/2019
Bluecross	\$ 11,052.28	\$ 6,583.60	\$ (4,956.22)		\$ (3,847.59)		\$ 8,832.07
Intercept	\$ 100.00	\$ 100.00	\$ -				\$ 200.00
Medicare	\$ 45,827.27	\$ 118,093.60	\$ (35,535.47)		\$ (72,465.32)	\$ (3,499.00)	\$ 52,421.08
Medicaid	\$ 22,745.68	\$ 31,541.00	\$ (14,477.39)		\$ (8,414.79)		\$ 31,394.50
Other/Commercial	\$ 40,325.83	\$ 26,672.40	\$ (14,427.16)		\$ 12,373.02		\$ 64,944.09
Patient	\$ 141,239.70	\$ 15,658.20	\$ (6,968.58)		\$ (874.30)	\$ (20,515.80)	\$ 128,539.22
Worker's Comp	\$ (846.30)	\$ 1,784.00	\$ (878.00)		\$ -		\$ 59.70
TOTAL	\$ 260,444.46	\$ 200,432.80	\$ (77,242.82)	\$ -	\$ (73,228.98)	\$ (24,014.80)	\$ 286,390.66

EMS BILLING
BREAKDOWN -TOTAL CHARGES
July 1, 2018 - June 30, 2019
Report as of January 31, 2019

	July 2018	August 2018	Sept 2018	Oct 2018	Nov 2018	Dec 2018	Jan 2019	Adjustment	Totals	% of Total
No Insurance Information	\$ 10,977.40	\$ 2,518.00	\$ 1,550.40	\$ 3,166.60	\$ 4,538.40	\$ 1,371.40	\$ 934.00	\$ (24,122.20)	\$ 934.00	0.07%
Bluecross	\$ 6,344.40	\$ 8,486.40	\$ 4,124.40	\$ 7,998.20	\$ 2,676.20	\$ 12,286.20	\$ 6,583.60	\$ 2,826.80	\$ 51,326.20	3.80%
Intercept	\$ 200.00	\$ 100.00		\$ 300.00	\$ 100.00		\$ 100.00		\$ 800.00	0.06%
Medicare	\$ 103,152.60	\$ 132,913.20	\$ 118,842.80	\$ 122,609.60	\$ 97,778.80	\$ 94,531.40	\$ 118,093.60	\$ 22,156.80	\$ 810,078.80	59.99%
Medicaid	\$ 30,752.80	\$ 47,771.60	\$ 30,102.60	\$ 31,127.20	\$ 27,115.80	\$ 25,258.20	\$ 31,541.00	\$ (289.00)	\$ 223,380.20	16.54%
Other/Commercial	\$ 24,030.40	\$ 19,494.00	\$ 13,526.00	\$ 21,522.60	\$ 25,029.40	\$ 19,307.80	\$ 25,738.40	\$ 2,260.40	\$ 150,909.00	11.18%
Patient	\$ 19,183.20	\$ 17,841.80	\$ 12,560.00	\$ 15,276.60	\$ 17,126.80	\$ 8,533.60	\$ 15,658.20	\$ (3,701.00)	\$ 102,479.20	7.59%
Worker's Comp	\$ 2,425.60	\$ 901.80	\$ 1,591.00	\$ 908.80		\$ 1,880.60	\$ 1,784.00	\$ 868.20	\$ 10,360.00	0.77%
TOTAL	\$ 197,066.40	\$ 230,026.80	\$ 182,297.20	\$ 202,909.60	\$ 174,365.40	\$ 163,169.20	\$ 200,432.80	\$ (0.00)	\$ 1,350,267.40	100.00%

EMS BILLING
BREAKDOWN -TOTAL COUNT
July 1, 2018 - June 30, 2019
Report as of January 31, 2019

	July 2018	August 2018	Sept 2018	Oct 2018	Nov 2018	Dec 2018	Jan 2019	Adjustment	Totals	% of Total
No Insurance Information	14	3	2	4	5	2	1		31	1.82%
Bluecross	8	10	5	10	3	15	8		59	3.47%
Intercept	2	1	0	3	1	0	1		8	0.47%
Medicare	129	164	148	153	119	116	145		974	57.29%
Medicaid	39	60	38	42	33	32	40		284	16.71%
Other/Commercial	35	27	17	28	34	25	32		198	11.65%
Patient	23	23	16	19	23	11	20		135	7.94%
Worker's Comp	3	1	2	1	0	2	2		11	0.65%
TOTAL	253	289	228	260	218	203	249	0	1700	100.00%

**EMS BILLING
AGING REPORT
July 1, 2018 to June 30, 2019
Report as of January 31, 2019**

	Current		31-60		61-90		91-120		121+ days		Totals	
Bluecross	\$ 8,249.55	93%	\$ 1,706.29	19%	\$ 86.92	1%	\$ (167.42)	-2%	\$ (1,043.27)	-12%	\$ 8,832.07	3.08%
Intercept	\$ 100.00		\$ 100.00		\$ -		\$ -		\$ -		\$ 200.00	0.07%
Medicare	\$ 51,417.61	98%	\$ 763.00	1%	\$ (264.62)	-1%	\$ 890.60	2%	\$ (385.51)	-1%	\$ 52,421.08	18.30%
Medicaid	\$ 26,169.65	83%	\$ 3,993.12	13%	\$ 335.00	1%	\$ 71.56	0%	\$ 825.17	3%	\$ 31,394.50	10.96%
Other/Commercial Patient	\$ 45,440.86	70%	\$ 6,674.72	10%	\$ 7,590.50	12%	\$ 1,865.96	3%	\$ 3,372.05	5%	\$ 64,944.09	22.68%
Worker's Comp	\$ 30,755.38	24%	\$ 26,679.92	21%	\$ 19,079.13	15%	\$ 23,032.24	18%	\$ 28,992.55	23%	\$ 128,539.22	44.88%
	\$ 59.70		\$ -		\$ -		\$ -		\$ -		\$ 59.70	0.02%
TOTAL	\$ 162,192.75		\$ 39,917.05		\$ 26,826.93		\$ 25,692.94		\$ 31,760.99		\$ 286,390.66	
	57%		14%		9%		9%		11%		100%	100.00%

CITY OF AUBURN
SPECIAL REVENUE FUNDS
As of January 31, 2019

	1902	1905	1910	1913	1914	1915	1917	1922	1926	1927	1928	1929	1930	1931
	Riverwatch	Winter Festival	Community Service	Police Fitness Equipment	Oak Hill Cemeteries	Fire Training Building	Wellness Grant	Walmart Risk/Homeless	Healthy Androskoggin	Insurance Reimbursement	Vending	Fire Prevention	211 Fairview	Donations
Fund Balance 7/1/18	\$ 969,900.91	\$ (5,390.23)	\$ 5,008.52	\$ 5,112.53	\$ 30,205.71	\$ (488.84)	\$ 4,851.85	\$ 7,278.18	\$ 3,368.05	\$ 925.21	\$ -	\$ 4,791.12	\$ (566,303.71)	\$ 1,084.69
Revenues FY19	\$ 46,548.21	\$ 345.00	\$ 349.00		\$ 700.00		\$ 5,313.61		\$ 1,836.00		\$ 548.00			
Expenditures FY19	\$ 139,479.00	\$ 12,175.00	\$ 282.56	\$ 343.00			\$ 3,739.99				\$ 672.96			\$ 199.93
Fund Balance 1/31/19	\$ 876,970.12	\$ (17,220.23)	\$ 5,074.96	\$ 4,769.53	\$ 30,905.71	\$ (488.84)	\$ 6,425.47	\$ 7,278.18	\$ 5,204.05	\$ 925.21	\$ (124.96)	\$ 4,791.12	\$ (566,303.71)	\$ 884.76

	2003	2005	2006	2007	2008	2010	2013	2014	2019	2020	2025	2030	2032	2033
	Byrne JAG	MDOT	PEACE	Seatbelt Grant	Homeland Security	State Drug Money	OUI Grant	Speed Grant	Law Enforcement Training	CDBG	Community Cords	Parking	HEAPP	Safe School/Health (COPS)
Fund Balance 7/1/18	\$ 2,808.57	\$ (101,600.31)	\$ 2,099.08	\$ 4,322.93	\$ (110,031.67)	\$ 6,158.77	\$ 9,263.39	\$ 6,931.00	\$ (7,637.91)	\$ 4,261,266.85	\$ 30,846.63	\$ (47,430.39)	\$ (4,994.50)	\$ (15,906.07)
Revenues FY19		\$ 48,071.95			\$ 86,573.34	\$ 12,843.83	\$ 4,764.00	\$ 9,924.00	\$ 1,365.00	\$ 291,992.48	\$ 5,918.24	\$ 91,714.00		
Expenditures FY19		\$ 64,285.21	\$ 514.88		\$ 87,340.97	\$ 12,864.88	\$ 5,299.16	\$ 6,478.15	\$ 1,040.00	\$ 551,402.09	\$ 1,357.60	\$ 110,977.81		
Fund Balance 1/31/19	\$ 2,808.57	\$ (117,813.57)	\$ 1,584.20	\$ 4,322.93	\$ (110,799.30)	\$ 6,137.72	\$ 8,728.23	\$ 10,376.85	\$ (7,312.91)	\$ 4,001,857.24	\$ 35,407.27	\$ (66,694.20)	\$ (4,994.50)	\$ (15,906.07)

	2037	2038	2040	2041	2044	2045	2046	2048	2050	2051	2052	2053	2054	2055
	Bulletproof Vests	Community Action Team	Great Falls TV	Blanche Stevens	Federal Drug Money	Forest Management	Joint Land Use Study	TD Tree Days Grant	Project Lifesaver	Project Canopy	Nature Conservancy	St Louis Bells	EMS Transport Capital Reserve	Work4ME-PAL
Fund Balance 7/1/18	\$ 11,994.90	\$ 7,206.21	\$ 20,536.23	\$ 24,233.19	\$ 36,044.77	\$ 4,436.52	\$ 0.57	\$ -	\$ 89.35	\$ (420.71)	\$ 975.05	\$ 1,607.75	\$ 32,161.59	\$ (13,692.41)
Revenues FY19	\$ 5,649.19			\$ 3,940.00	\$ 30,140.05			\$ 13,450.00		\$ 8,359.06			\$ 198.81	
Expenditures FY19	\$ 4,710.15			\$ 1,921.70	\$ 4,440.68	\$ 91.18			\$ 7,938.35			\$ 750.00	\$ 28,984.00	\$ 22,048.07
Fund Balance 1/31/19	\$ 12,933.94	\$ 7,206.21	\$ 20,536.23	\$ 26,251.49	\$ 61,744.14	\$ 4,345.34	\$ 0.57	\$ 13,450.00	\$ 89.35	\$ -	\$ 975.05	\$ 857.75	\$ 3,376.40	\$ (35,740.48)

	2056	2057	2058	2059	2060	2061	2062	2201	2500
	Lake Auburn Neighborhood	ASPCA Grant	Barker Mills Greenway	Distracted Driving	My Choice JJAG	150th Celebration	Employee Store	EDI Grant	Parks & Recreation
Fund Balance 7/1/18	\$ 125.00	\$ 800.00	\$ (2,597.43)	\$ (10,736.00)	\$ -	\$ (3,154.86)	\$ 36.73	\$ (1,484,407.18)	\$ 152,783.45
Revenues FY19				\$ 33,893.00		\$ 88,395.00	\$ 752.64		\$ 125,973.42
Expenditures FY19				\$ 14,328.00		\$ 44,442.47	\$ 756.68		\$ 239,306.64
Fund Balance 1/31/19	\$ 125.00	\$ 800.00	\$ (2,597.43)	\$ 8,290.00	\$ -	\$ 40,797.67	\$ 32.69	\$ (1,484,407.18)	\$ 39,450.23

	2600	2600	2600	2600	2600	2600	2600	2600	2600	2600	2600	2600	2600	2600	2600	2600	Total Special Revenues
	Tambrands TIF 4	J Enterprises TIF 5	Tambrands II TIF 6	J & A Properties TIF 7	Formed Fiber TIF 8	Mall TIF 9	Downtown TIF 10	Safe Handling TIF 11	Auburn Industrial TIF 12	Auburn Plaza TIF 13	Auburn Plaza II TIF 14	Webster School TIF 16	Bedard Pharm TIF 17	Slapshot LLC TIF 18	Hartt Transport TIF 19		
Fund Balance 7/1/18	\$ 1,841.15	\$ (6,499.56)	\$ (330,682.42)	\$ 2,558.27	\$ 486.17	\$ 2,083.99	\$ 257,728.49	\$ 183.21	\$ (338,049.92)	\$ 50,325.30	\$ 3,883.14	\$ 348.35	\$ 1,366.79	\$ (61.12)	\$ (18.32)	\$ 2,919,956.60	
Revenues FY19																\$ 919,557.83	
Expenditures FY19							\$ 376,465.52		\$ 176,585.00	\$ 78,332.91	\$ 600,629.37	\$ 15,375.19		\$ 70,524.00		\$ 2,686,083.10	
Fund Balance 1/31/19	\$ 1,841.15	\$ (6,499.56)	\$ (330,682.42)	\$ 2,558.27	\$ 486.17	\$ 2,083.99	\$ (118,737.03)	\$ 183.21	\$ (514,634.92)	\$ (28,007.61)	\$ (596,746.23)	\$ (15,026.84)	\$ 1,366.79	\$ (70,585.12)	\$ (18.32)	\$ 1,153,431.33	

City of Auburn, Maine

"Maine's City of Opportunity"

Financial Services

To: Peter Crichton, City Manager
From: Jill Eastman, Finance Director
Re: Financial Reports for January, 2019



Attached you will find a Statement of Net Assets and a Statement of Activities and budget to actual reports for Ingersoll Turf Facility for revenue and expenditures as of January 31, 2018.

INGERSOLL TURF FACILITY

Statement of Net Assets:

The Statement of Net Assets lists current assets, noncurrent assets, liabilities and net assets as of January 31, 2019.

Current Assets:

As of the end of January 2019 the total current assets of Ingersoll Turf Facility were \$140,650. This consisted of cash and cash equivalents of \$85,518 and an interfund receivable of \$55,132 an increase from December of \$8,652.

Noncurrent Assets:

Ingersoll's noncurrent assets are the building and equipment that was purchased, less depreciation. The total value of the noncurrent assets as of January 31, 2019 was \$172,719.

Liabilities:

Ingersoll had accounts payable of \$1,081 as of January 31, 2019.

Statement of Activities:

The statement of activities shows the current operating revenue collected for the fiscal year and the operating expenses as well as any nonoperating revenue and expenses.

The operating revenues for Ingersoll Turf Facility through January 2019 are \$129,882. This revenue comes from the sponsorships, programs, rental income and batting cages.

The operating expenses for Ingersoll Turf Facility through January 2019 were \$71,216. These expenses include personnel costs, supplies, utilities, repairs, capital purchases and maintenance.

As of January 2019, Ingersoll has an operating gain of \$58,666 compared to a net gain in December of \$51,003.

As of January 31, 2019, Ingersoll has an increase in net assets of \$58,666.

The budget to actual reports for revenue and expenditures, show that the revenue for FY19 compared to FY 18.

Statement of Net Assets
Ingersoll Turf Facility
January 31, 2019
Business-type Activities - Enterprise Fund

	Jan 31, 2019	Dec 31, 2018	Increase/ (Decrease)
ASSETS			
Current assets:			
Cash and cash equivalents	\$ 85,518	\$ 85,426	\$ 92
Interfund receivables/payables	\$ 55,132	\$ 46,480	8,652
Accounts receivable	-	-	-
Total current assets	140,650	131,906	8,744
Noncurrent assets:			
Capital assets:			
Buildings	672,279	672,279	-
Equipment	119,673	119,673	-
Land improvements	18,584	18,584	-
Less accumulated depreciation	(637,817)	(637,817)	-
Total noncurrent assets	172,719	172,719	-
Total assets	313,369	304,625	8,744
LIABILITIES			
Accounts payable	\$ 1,081	\$ -	\$ 1,081
Total liabilities	1,081	-	1,081
NET ASSETS			
Invested in capital assets	\$ 172,719	\$ 172,719	\$ -
Unrestricted	\$ 139,569	\$ 131,906	\$ 7,663
Total net assets	\$ 312,288	\$ 304,625	\$ 7,663

CITY OF AUBURN, MAINE
Statement of Revenues, Expenses and Changes in Net Assets
Ingersoll Turf Facility
Business-type Activities - Enterprise Funds
Statement of Activities
January 31, 2019

	Ingersoll Turf Facility
Operating revenues:	
Charges for services	\$ 129,882
Operating expenses:	
Personnel	46,452
Supplies	11,726
Utilities	9,129
Repairs and maintenance	1,886
Rent	-
Depreciation	-
Capital expenses	
Other expenses	2,023
Total operating expenses	71,216
Operating gain (loss)	58,666
Nonoperating revenue (expense):	
Interest income	-
Interest expense (debt service)	-
Total nonoperating expense	-
Gain (Loss) before transfer	58,666
Transfers out	-
Change in net assets	58,666
Total net assets, July 1	253,622
Total net assets, January 31, 2019	\$ 312,288

CITY OF AUBURN, MAINE
REVENUES - INGERSOLL TURF FACILITY
Through January 31, 2019 compared to January 31, 2018

REVENUE SOURCE	FY 2019 BUDGET	ACTUAL REVENUES THRU JAN 2019	% OF BUDGET	FY 2018 BUDGET	ACTUAL REVENUES THRU JAN 2018	% OF BUDGET
CHARGE FOR SERVICES						
Sponsorship	\$ 20,500	\$ 9,300	45.37%	\$ 17,000	\$ 9,700	57.06%
Batting Cages	\$ 12,240	\$ 7,525	61.48%	\$ 11,520	\$ 8,398	72.90%
Programs	\$ 90,000	\$ 57,079	63.42%	\$ 80,000	\$ 49,970	62.46%
Rental Income	\$ 102,300	\$ 55,800	54.55%	\$ 103,650	\$ 36,555	35.27%
TOTAL CHARGE FOR SERVICES	\$ 225,040	\$ 129,704	57.64%	\$ 212,170	\$ 104,623	49.31%
INTEREST ON INVESTMENTS	\$ -	\$ 178		\$ -		
GRAND TOTAL REVENUES	\$ 225,040	\$ 129,882	57.72%	\$ 212,170	\$ 104,623	49.31%

CITY OF AUBURN, MAINE
EXPENDITURES - INGERSOLL TURF FACILITY
Through January 31, 2019 compared to January 31, 2018

DESCRIPTION	ACTUAL			ACTUAL			Difference
	FY 2019 BUDGET	EXPENDITURES THRU JAN 2019	% OF BUDGET	FY 2018 BUDGET	EXPENDITURES THRU JAN 2018	% OF BUDGET	
Salaries & Benefits	\$ 120,000	\$ 46,452	38.71%	\$ 106,624	\$ 52,033	48.80%	\$ (5,581)
Purchased Services	\$ 19,460	\$ 3,909	20.09%	\$ 21,110	\$ 4,636	21.96%	\$ (727)
Programs	\$ 15,220	\$ 4,047	26.59%	\$ 7,000	\$ 4,047	57.81%	\$ -
Supplies	\$ 4,600	\$ 7,679	166.93%	\$ 5,000	\$ 3,816	76.32%	\$ 3,863
Utilities	\$ 30,920	\$ 9,129	29.52%	\$ 39,720	\$ 7,847	19.76%	\$ 1,282
Insurance Premiums	\$ 2,505	\$ -	0.00%	\$ 2,431	\$ -	0.00%	\$ -
Capital Outlay	\$ 30,000	\$ -	0.00%	\$ 42,490	\$ 33,048	77.78%	\$ (33,048)
	\$ 222,705	\$ 71,216	31.98%	\$ 224,375	\$ 105,427	46.99%	\$ (34,211)
GRAND TOTAL EXPENDITURES	\$ 222,705	\$ 71,216	31.98%	\$ 224,375	\$ 105,427	46.99%	\$ (34,211)

City of Auburn, Maine

"Maine's City of Opportunity"

Financial Services

To: Peter Crichton, City Manager
From: Jill Eastman, Finance Director
Re: Arena Financial Reports for January 31, 2019

Attached you will find a Statement of Net Assets and a Statement of Activities and budget to actual reports for Norway Savings Bank Arena for revenue and expenditures as of January 31, 2019.

NORWAY SAVINGS BANK ARENA

Statement of Net Assets:

The Statement of Net Assets lists current assets, noncurrent assets, liabilities and net assets and shows a comparison to the previous month, in this case, December 31, 2018.

Current Assets:

As of the end of January 2019 the total current assets of Norway Savings Bank Arena were (\$1,213,907). These consisted of cash and cash equivalents of \$133,329, accounts receivable of \$152,134, and an interfund payable of \$1,499,370.

Noncurrent Assets:

Norway's noncurrent assets are equipment that was purchased, less depreciation (depreciation is posted at year end). The total value of the noncurrent assets as of January 31, 2019 was \$342,462.

Liabilities:

Norway Arena had accounts payable of \$4,294 as of January 31, 2019.

Statement of Activities:

The statement of activities shows the current operating revenue collected for the fiscal year and the operating expenses as well as any nonoperating revenue and expenses.

The operating revenues for Norway Arena through January 2019 are \$680,580. This revenue comes from the concessions, sign advertisements, pro shop lease, youth programming, shinny hockey, public skating and ice rentals.

The operating expenses for Norway Arena through January 2019 were \$437,616. These expenses include personnel costs, supplies, utilities, repairs, capital purchases and maintenance.

As of January 2019, Norway Arena has an operating gain of \$242,964 (before rent payment) and a loss of \$52,485 after rental payments.

As of January 31, 2019, Norway Arena has a decrease in net assets of \$52,485.

The budget to actual reports for revenue and expenditures, with comparison to the same period last year show that revenue for FY19 is \$28,529 more than in FY18 and expenditures in FY19 are \$6,149 more than last year in January.

CITY OF AUBURN, MAINE
Statement of Net Assets
Norway Savings Bank Arena
January 31, 2019
Business-type Activities - Enterprise Fund

	January 31, 2019	December 31, 2018	Increase/ (Decrease)
ASSETS			
Current assets:			
Cash and cash equivalents	\$ 133,329	\$ 123,015	\$ 10,314
Interfund receivables	\$ (1,499,370)	\$ (1,523,777)	\$ 24,407
Prepaid Rent	\$ -	\$ -	\$ -
Accounts receivable	152,134	139,552	\$ 12,582
Total current assets	(1,213,907)	(1,261,210)	47,303
Noncurrent assets:			
Capital assets:			
Buildings	58,223	58,223	-
Equipment	514,999	514,999	-
Land improvements	-	-	-
Less accumulated depreciation	(230,760)	(230,760)	-
Total noncurrent assets	342,462	342,462	-
Total assets	(871,445)	(918,748)	47,303
LIABILITIES			
Accounts payable	\$ 4,294	\$ 1,923	\$ 2,371
Net pension liability	170,806	170,806	-
Total liabilities	175,100	172,729	2,371
NET ASSETS			
Invested in capital assets	\$ 342,462	\$ 342,462	-
Unrestricted	\$ (1,389,007)	\$ (1,433,939)	\$ 44,932
Total net assets	\$ (1,046,545)	\$ (1,091,477)	\$ 44,932

CITY OF AUBURN, MAINE
Statement of Revenues, Expenses and Changes in Net Assets
Norway Savings Bank Arena
Business-type Activities - Enterprise Funds
Statement of Activities
January 31, 2019

	Norway Savings Arena
Operating revenues:	
Charges for services	\$ 680,580
Operating expenses:	
Personnel	209,125
Supplies	35,211
Utilities	148,878
Repairs and maintenance	18,648
Depreciation	-
Capital expenses	19,156
Other expenses	6,598
Total operating expenses	437,616
Operating gain (loss)	242,964
Nonoperating revenue (expense):	
Interest income	-
Debt Service (Rent)	(295,449)
Interest expense (debt service)	-
Total nonoperating expense	(295,449)
Gain (Loss) before transfer	(52,485)
Transfers out	-
Change in net assets	(52,485)
Total net assets, July 1	(994,060)
Total net assets, January 31, 2019	\$ (1,046,545)

CITY OF AUBURN, MAINE
REVENUES - NORWAY SAVINGS BANK ARENA
Through January 31, 2019 compared to January 31, 2018

REVENUE SOURCE	FY 2019 BUDGET	ACTUAL REVENUES THRU JAN 2019	% OF BUDGET	FY 2018 BUDGET	ACTUAL REVENUES THRU JAN 2018	% OF BUDGET	VARIANCE
CHARGE FOR SERVICES							
Concissions	\$ 18,000	\$ 10,500	58.33%	\$ 18,000	\$ 2,735	15.19%	\$ 7,765
Vending Machines	\$ -	\$ 4,443		\$ -	\$ 4,856		\$ (413)
Skate Rentals	\$ -	\$ 1,010		\$ -	\$ 3,665		\$ (2,655)
Sponsorships	\$ 275,000	\$ 139,450	50.71%	\$ 275,000	\$ 156,581	56.94%	\$ (17,131)
Pro Shop	\$ 8,500	\$ 4,738	55.74%	\$ 8,500	\$ 2,890	34.00%	\$ 1,848
Programs	\$ 31,000	\$ -	0.00%	\$ 31,000	\$ 18,212	58.75%	\$ (18,212)
Rental Income	\$ 705,250	\$ 496,434	70.39%	\$ 705,250	\$ 422,224	59.87%	\$ 74,210
Camps/Clinics	\$ 50,000	\$ 12,480	24.96%	\$ 50,000	\$ 27,838		\$ (15,358)
Tournaments	\$ 50,000	\$ 11,525	23.05%	\$ 50,000	\$ 13,050	26.10%	\$ (1,525)
TOTAL CHARGE FOR SERVICES	\$ 1,137,750	\$ 680,580	59.82%	\$ 1,137,750	\$ 652,051	57.31%	\$ 28,529

CITY OF AUBURN, MAINE
EXPENDITURES - NORWAY SAVINGS BANK ARENA
Through January 31, 2019 compared to January 31, 2018

DESCRIPTION	ACTUAL			ACTUAL			VARIANCE
	FY 2019 BUDGET	EXPENDITURES THRU JAN 2019	% OF BUDGET	FY 2018 BUDGET	EXPENDITURES THRU JAN 2018	% OF BUDGET	
Salaries & Benefits	\$ 344,000	\$ 209,125	60.79%	\$ 344,000	\$ 219,727	63.87%	\$ (10,602)
Purchased Services	\$ 71,656	\$ 25,246	35.23%	\$ 71,656	\$ 31,370	43.78%	\$ (6,124)
Supplies	\$ 37,100	\$ 35,211	94.91%	\$ 37,100	\$ 29,512	79.55%	\$ 5,699
Utilities	\$ 225,150	\$ 148,878	66.12%	\$ 225,150	\$ 138,273	61.41%	\$ 10,605
Capital Outlay	\$ 103,500	\$ 19,156	18.51%	\$ 103,500	\$ 12,585	12.16%	\$ 6,571
Rent	\$ 507,000	\$ 295,449	58.27%	\$ 507,000	\$ 295,449	58.27%	\$ -
	\$ 1,288,406	\$ 733,065	56.90%	\$ 1,288,406	\$ 726,916	56.42%	\$ 6,149
GRAND TOTAL EXPENDITURES	\$ 1,288,406	\$ 733,065	56.90%	\$ 1,288,406	\$ 726,916	56.42%	\$ 6,149