

DIVISION 14. - ~~CENTRAL BUSINESS DISTRICT~~¹- FORM BASED CODE

Sec. 60-546. – PURPOSE:

The purpose of the Form Based Code is to provide a simple, concise, contextual, visually oriented alternative to traditional Euclidian zoning. The Form-Based Code is designed and formatted to be graphically oriented for ease of understanding by the general public and property-owners interested in developing orredeveloping properties within the designated Downtown Auburn and New Auburn Form-Based Code district.

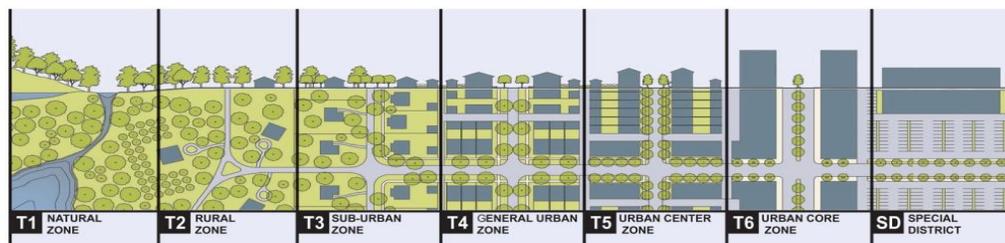
The Form Based Code is presented in a simple color-coded Regulating Plan, keyed to a range of Transect-based development zones (T-4.1, T-4.2, T-5.1, T-5.2, & T-6), which prescribe fundamental minimum and maximum building development parameters such as building placement, height, width, window & door proportionality, on-site parking locations and appropriate building frontage types. The Form-Based Code utilizes the form and character that was established in traditional New England towns and cities prior to adoption of complex, exclusive use-based zoning.

The Form Based Code is formulated to provide a more accelerated building design, review, approval and development process, and to deliver a more predictable building development outcome that is consistent with the traditional pedestrian-oriented street-building development pattern. This traditional development pattern supports and generates a high-quality Public Realm, and therefore more vibrant social, cultural and economic urban districts in Downtown Auburn and New Auburn.

The “Code” emphasizes traditional building & street form and places less emphasis on conventional land use. The primary intent of the Code is to advance and establish a building development pattern that is based upon the physical relationship and interaction between the Public Realm of the sidewalk and street, and the Private Realm of building frontages and private property. Flexibility is designed into the prescribed built-form parameters to provide variation, diversity and a range of new construction options.

This district is intended to provide for the diversity of uses appropriate and compatible with the city's historic center and central business district. It seeks to preserve and promote the variety of interrelated uses present in or appropriate to the district; a city-wide and regional marketplace, medium to high density residential environment and major focus of governmental, civic, meeting, entertainment and culture activity.

Sec. 60-547. – TRANSECTS- The Form Based Code uses transects as a way to describe the areas to be regulated under the Regulating Plan. A Transect is a system of ordering human habitats in a range from the most natural to the most urban. Transects are *organized* using 6 Transect Zones which, describe the physical character of a place at any scale, according to the density and intensity of land use and urbanism.



¹ NOTE: All text from the Central Business District has been deleted and replaced with the new Form Based Code

Sec. 60-548 TRADITIONAL MAIN STREET NEIGHBORHOOD T- 4.1



Illustrative View of T-4.1

Intent and Purpose:

Traditional Main Street Neighborhood (T- 4.1)

The Main Street Neighborhood zone is characterized by a pattern of large, architecturally prominent houses set back from the busy urban neighborhood street by front lawns. Both projecting and recessed front porches serve to form a connection to and relationship with the Public Realm of the street and sidewalk, and the Private Realm of the residential front yard and primary entrance to the building. The minimum & maximum lot widths, building widths and frontage build-out percentage form a lower-density and less concentrated street-wall pattern while maintaining a pleasing, connective and compact pedestrian and multi-modal urban environment.

Sec. 60-548 TRADITIONAL MAIN STREET NEIGHBORHOOD T-4.1



Key Features

- Front facade detailing
- Porches
- Bay windows
- Planter Boxes
- Foundation planting and yard landscaping
- Elevated 1st floor for residences (2' min. to 6' max.)
- Front yard fences



Examples of Main Street Neighborhood - T- 4.1

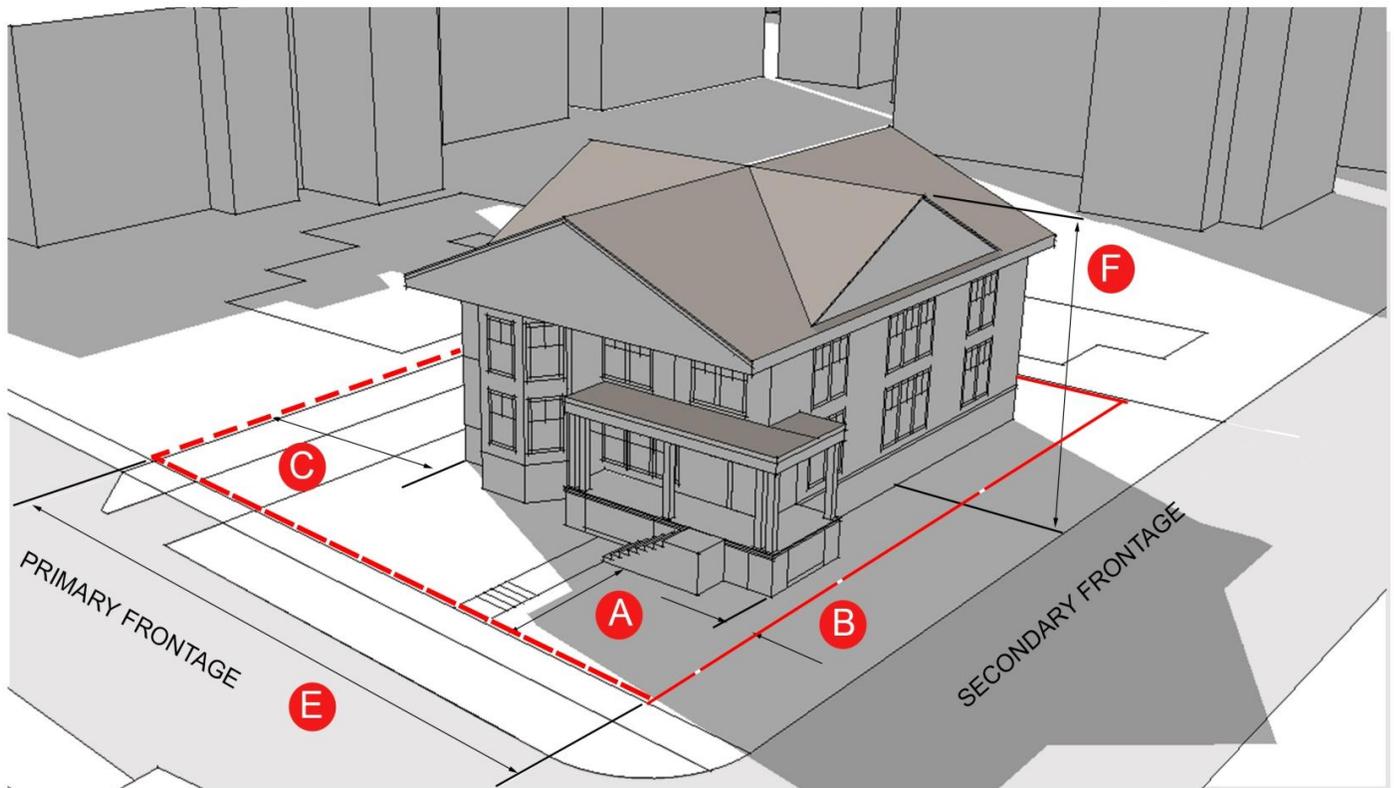
Sec. 60-548.1 BUILDING PLACEMENT & CONFIGURATION T- 4.1

PRINCIPAL BUILDING PLACEMENT:

Front Setback, Principal:	15 ft Min, 25 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	15 ft Min, 25 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	60% Max	
Open Space Lot Coverage:	20% Min	
Frontage Build-Out:	40% Min (along Front Setback, Primary)	
Lot Width:	50 ft Min, 120 ft Max	(E)

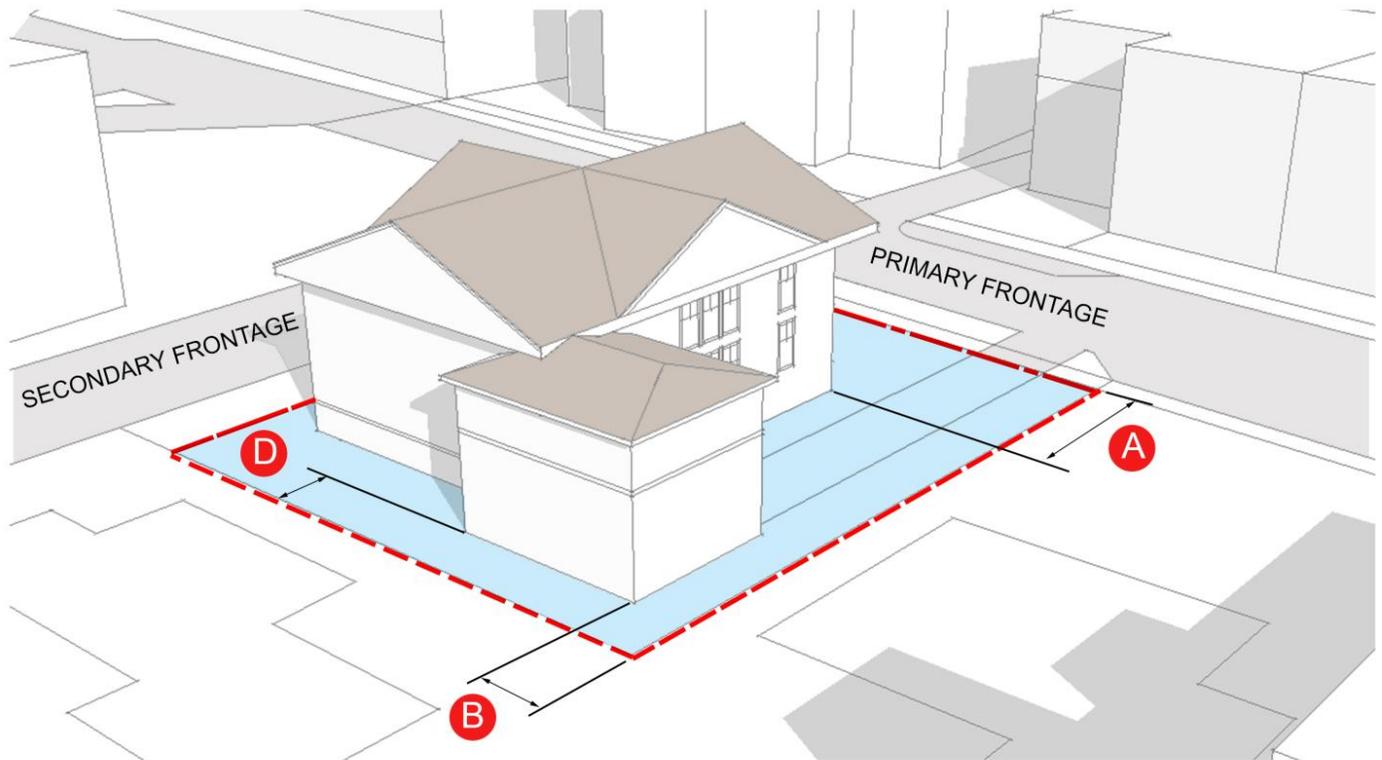
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	24 ft Min, 64 ft Max	
Building Height Minimum:	2 Story Min	(F)
Building Height Maximum:	2 Story Max (excluding attic story)	(F)



Building Placement- Front View

Sec. 60-548.1 BUILDING PLACEMENT & CONFIGURATION T- 4.1



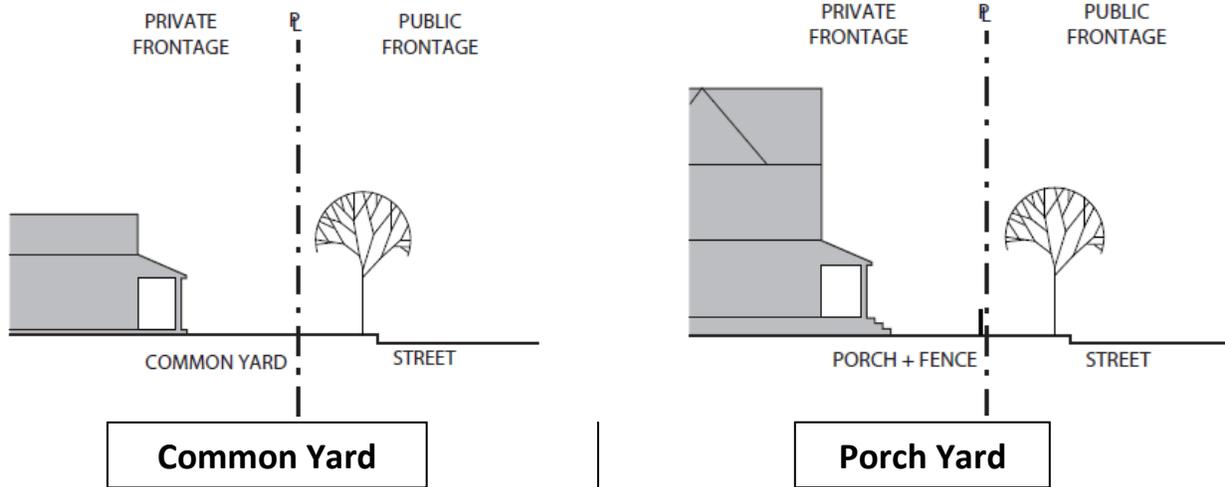
Building Placement- Rear View

PRINCIPAL BUILDING PLACEMENT:

Front Setback, Principal:	15 ft Min, 25 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	15 ft Min, 25 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	5 ft Min	(D)
Building Lot Coverage:	60% Max	
Open Space Lot Coverage:	20% Min	
Frontage Build-Out:	40% Min (along Front Setback, Primary)	
Lot Width:	50 ft Min, 120 ft Max	(E)

PRINCIPAL BUILDING CONFIGURATION:

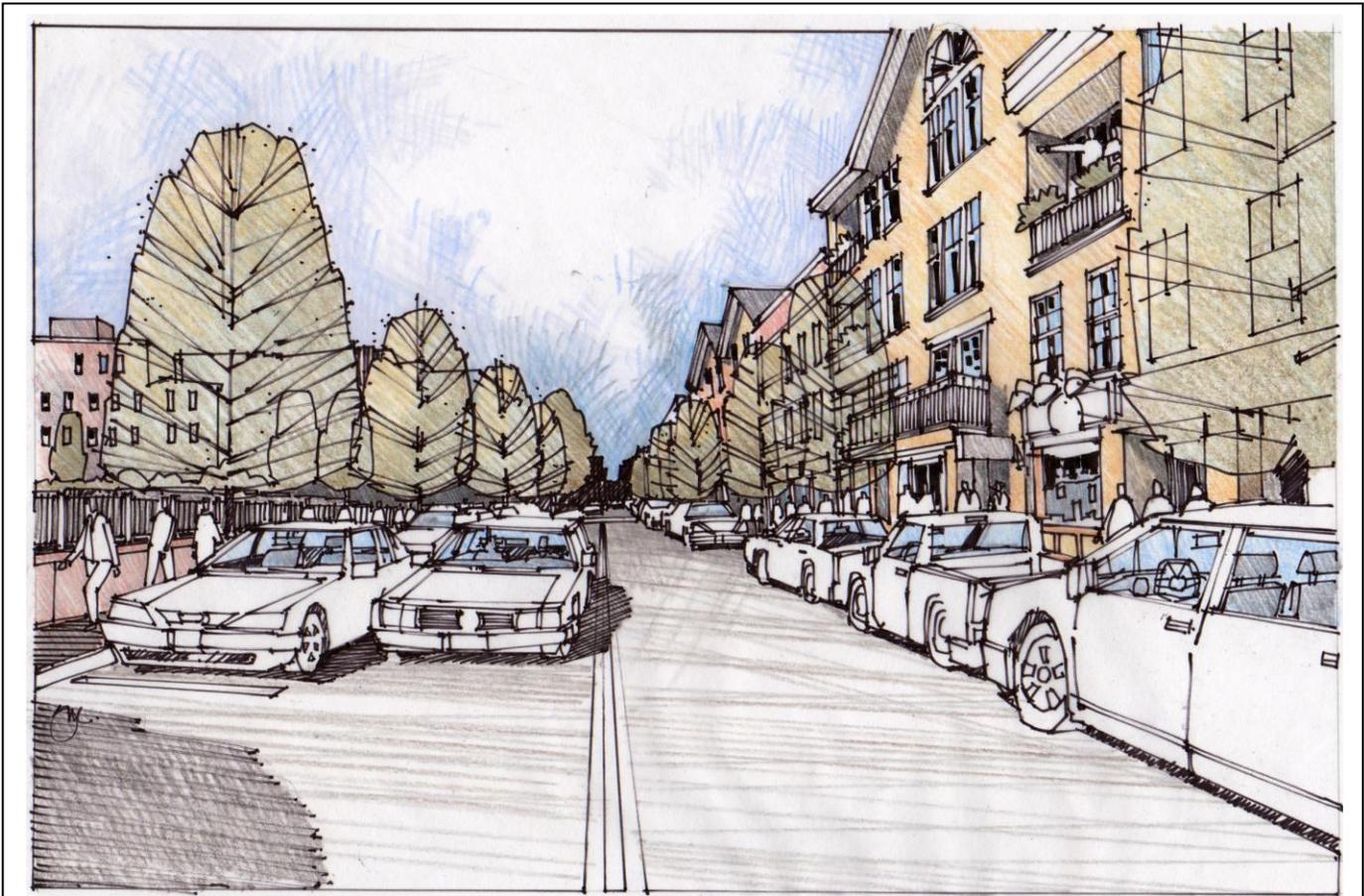
Building Width:	24 ft Min, 64 ft Max	
Building Height Minimum:	2 Story Min	(F)
Building Height Maximum:	2 Story Max (excluding attic story)	(F)



BUILDING FRONTAGE TYPES:	Common Yard; Porch Yard
BUILDING ENTRIES:	Primary entry door shall be provided along ground story front façade.
BUILDING ENVELOPE ARTICULATION:	
Ground Story Facade:	Windows and doors shall comprise a minimum of 25% and maximum 60% coverage of the total ground story facade frontage.
Upper Story Windows	Windows and doors shall comprise a minimum of 20% and maximum 40% coverage of the total upper story facade frontage.
Ground Story Finished Floor Elevation	The ground story shall be a minimum of 2 feet minimum and 6 feet maximum above the front yard elevation (average grade).
Front Facade Wall:	Blank lengths of wall exceeding 10 linear feet are prohibited.

Front Yard Fence:	A front yard fence a minimum of 3 feet and a maximum of 4 feet in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a maximum width of 20 feet; a pedestrian entry way shall be a maximum width of 6 feet.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the minimum or maximum front setback line.
Porch & Stoop Encroachments:	Porches & Stoops may encroach upon the Min front setback line by the following distances: Front Setback, Principal Frontage 10 ft Max; Front Setback, Secondary Frontage 10 ft Max.
Garages	Detached garages shall be located a minimum of 20 feet from any street right of way.
Driveways	Driveways shall be located on the secondary street if possible. Driveways to be a minimum of 8 feet wide and a maximum of 20 feet wide. Driveways are to be paved.
Parking -	Vehicle parking shall only be located on driveways and shall not extend into the street right of way or sidewalk.
Accessory Structures	Accessory structures shall be located a minimum of 20 feet from any street right of way and 5 feet from either side or rear property line.
Landscaping	Landscaping is encouraged but shall not extend into any sidewalk or travel way. . Street trees are encouraged.
Foundation Planting	Foundation plantings are encouraged but should be pruned and maintained to have a 1 foot clearance from building façade to encourage air circulation.

Sec. 60.549 TRADITIONAL DOWNTOWN NEIGHBORHOOD T-4.2



Illustrative View of T-4.2

Intent and Purpose:

Traditional Downtown Neighborhood (T- 4.2)

The Traditional Downtown Neighborhood zone is characterized by a pattern ranging from small to medium sized buildings in a more connective and compact urban environment, and placed to engage in more direct contact between the Public Realm of the street and sidewalk, and the Private Realm of front porches, front stoops and traditional neighborhood-scaled storefronts. The minimum and maximum lot widths, building widths and frontage build-out percentage form a more moderate density and more concentrated street-wall pattern, sustaining increased architectural and social variety, diversity and sidewalk pedestrian vibrancy.

Sec. 60.549 TRADITIONAL DOWNTOWN NEIGHBORHOOD T- 4.2



Key Features

- Front facade detailing
- Bay windows
- Planter Boxes
- Elevated 1st floor for residences (2' minimum to 6' maximum)
- Storefront 1st floor elevation (at grade minimum to 2 foot maximum)
- Storefront window and door coverage (40% to 90%)
- Residential window and door coverage (25% to 60%)

Examples of Traditional Downtown Neighborhood – T-4.2

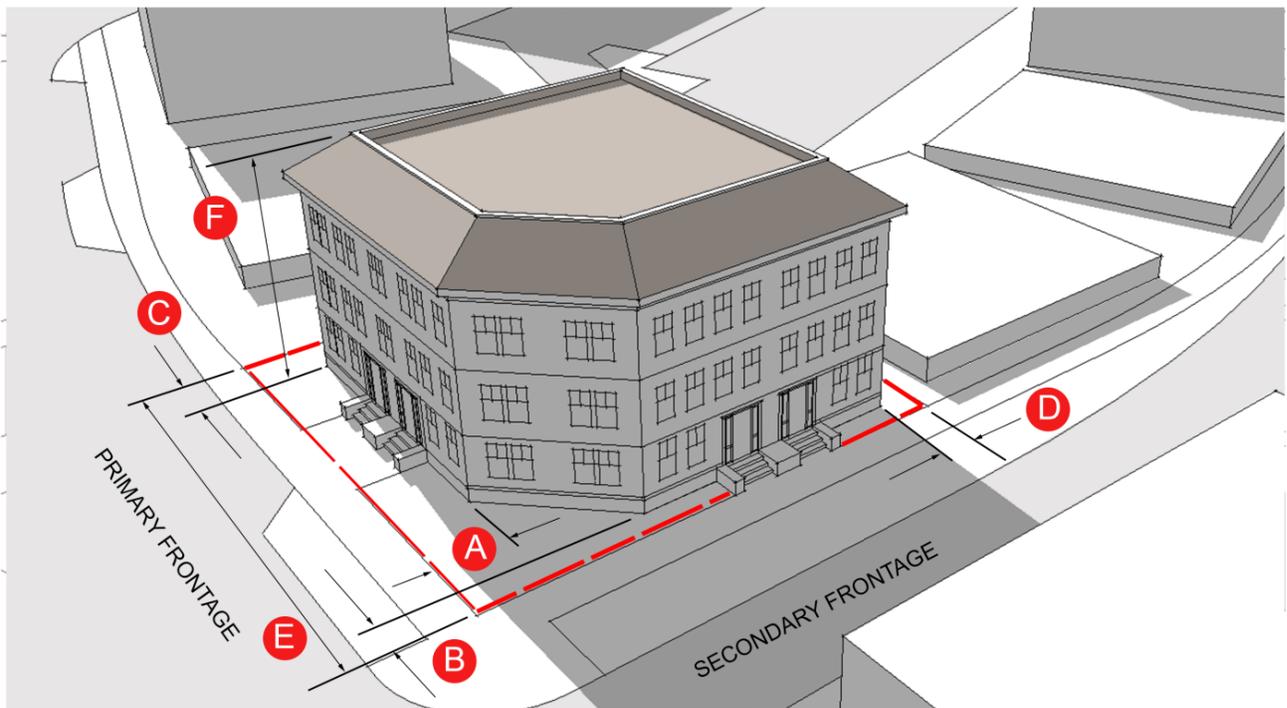
Sec. 60-549.1 BUILDING PLACEMENT & CONFIGURATION T-4.2

PRINCIPAL BUILDING PLACEMENT:

Front Setback, Primary:	5 ft Min, 15 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	5 ft Min, 15 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	70% Max	
Open Space Lot Coverage:	10% Min	
Frontage Build-Out:	60% Min (along Front Setback, Primary)	
Lot Width:	24 ft Min, 120 ft Max	(E)

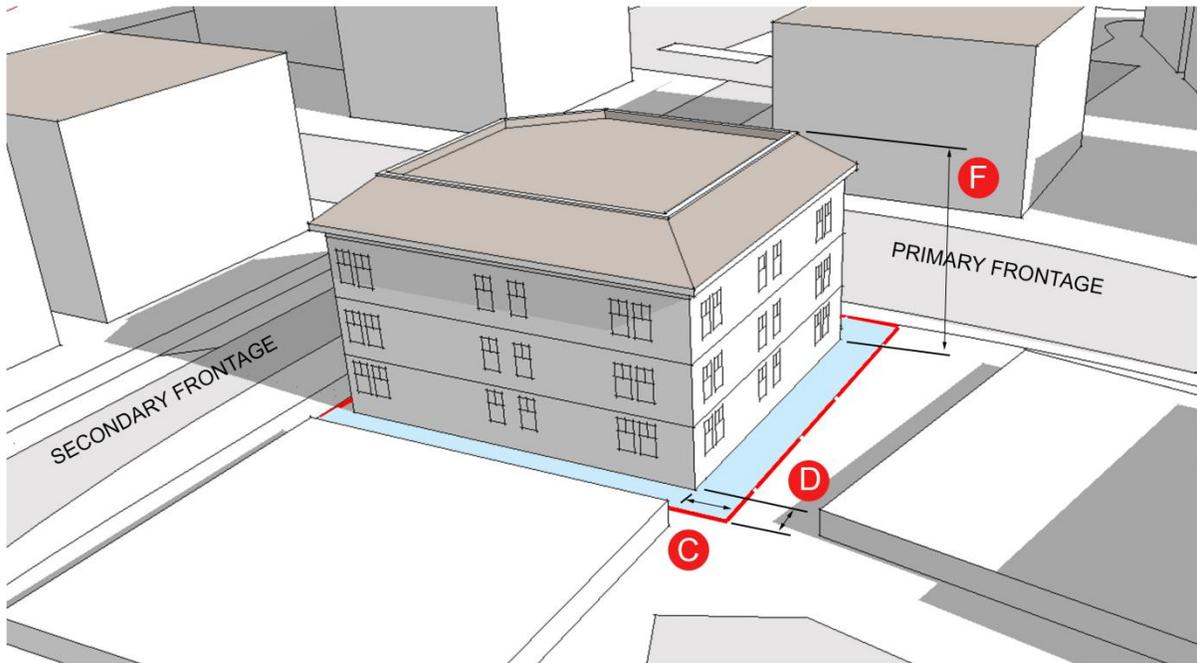
PRINCIPAL BUILDING ONFIGURATION:

Building Width:	12 ft Min, 96 ft Max	
Building Height Minimum:	1 Story Min	(F)
Building Height Maximum:	3 Story Max (excluding attic story)	(F)



Building Placement- Front View

Sec. 60-549.1 BUILDING PLACEMENT & CONFIGURATION T-4.2



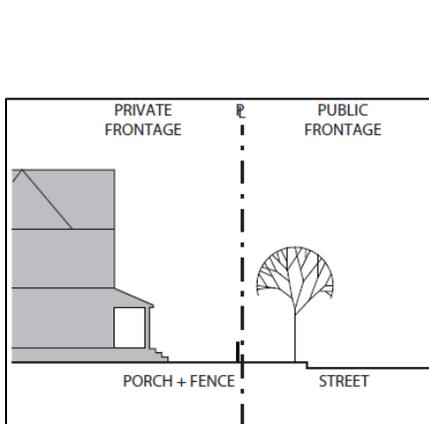
Building Placement- Rear View

PRINCIPAL BUILDING PLACEMENT:

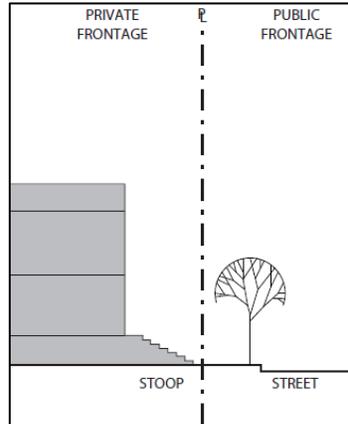
Front Setback, Primary:	5 ft Min, 15 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	5 ft Min, 15 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	70% Max	
Open Space Lot Coverage:	10% Min	
Frontage Build-Out:	60% Min (along Front Setback, Primary)	
Lot Width:	24 ft Min, 120 ft Max	(E)

PRINCIPAL BUILDING CONFIGURATION:

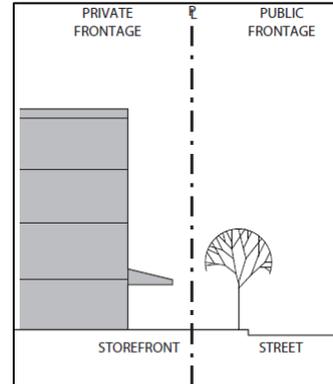
Building Width:	12 ft Min, 96 ft Max	
Building Height Minimum:	1 Story Min	(F)
Building Height Maximum:	3 Story Max (excluding attic story)	(F)



Common or Porch Yard



Stoop Yard Frontage



Storefront Type

BUILDING FRONTAGE TYPES:	Common Yard; Porch Yard, Stoop and Storefront
BUILDING ENTRIES:	Primary entry door shall be provided along ground story front facade.
BUILDING ENVELOPE ARTICULATION:	
Ground Story Facade:	<u>Residential</u> - Windows and doors shall comprise a minimum of 25% and maximum 60% coverage of the total ground story facade frontage. <u>Commercial</u> - Windows and doors shall comprise a minimum of 40% and maximum of 90%.
Upper Story Windows	Windows and doors shall comprise a minimum of 20% and maximum 40% coverage of the total upper story facade frontage.
Ground Story Finished Floor Elevation	<u>Residential</u> - must be a minimum of 2 feet minimum and 6 feet maximum above the front yard elevation (average grade). <u>Commercial</u> - minimum at sidewalk grade to maximum of 2 feet.
Front Facade Wall:	Blank lengths of wall exceeding 10 linear feet are prohibited.

Front Yard Fence:	A front yard fence a minimum of 3 feet and a maximum of 4 feet in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a maximum width of 20 feet; a pedestrian entry way shall be a maximum width of 6 feet.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the minimum front setback line.
Porch & Stoop Encroachments:	Porches & Stoops may encroach upon the Min front setback line by the following distances: Front Setback, Principal Frontage 10 ft Max; Front Setback, Secondary Frontage 10 ft Max.
Garages	Detached garages shall be located a minimum of 20 feet from any street right of way.
Driveways	Driveways shall be located on the secondary street if possible. Driveways to be a minimum of 8 feet wide and a maximum of 20 feet wide. Driveways are to be paved.
Parking -	Vehicle parking shall only be located on driveways or designated parking areas and shall not extend into the street right of way or sidewalk. Commercial Parking shall be located to rear of the property to the greatest extent possible. Parking on a side yard is limited to no more than 60 feet wide or 40% of the lot width. Screening and/or street wall is required.
Accessory Structures	Accessory structures shall be located a minimum of 20 feet from any street right of way and 5 feet from either side or rear property line.
Landscaping	Landscaping is encouraged but shall not extend into any street right of way or sidewalk. . Street trees are encouraged.
Foundation Planting	Foundation plantings are encouraged but should pruned and maintained to have a 1 foot clearance from building façade to encourage air circulation.



Illustrative View of T- 5.1

Intent and Purpose:

Downtown Traditional Center (T- 5.1)

The Downtown Traditional Center zone is characterized by a pattern ranging from medium to larger sized buildings in a more intensely connective and traditionally compact urban environment, and placed to generate constant and direct contact and interplay between the Public Realm of the busy street and large sidewalk, and the Private Realm of the residential building stoops, commercial storefronts and gallery building fronts. The minimum and maximum lot widths, building widths and frontage build-out percentage form a more solid and compact street wall pattern, generating energized, spontaneous and vibrant 18-hour street-life.



Key Features

- Front facade detailing
- Bay windows
- Balconies
- Elevated 1st floor for residences (2' to 6') with stoop frontage and primary entrance
- Residential window and door coverage (25% to 60%)
- Storefront window and door coverage (40% to 90%)



Examples of Downtown Traditional Center – T- 5.1

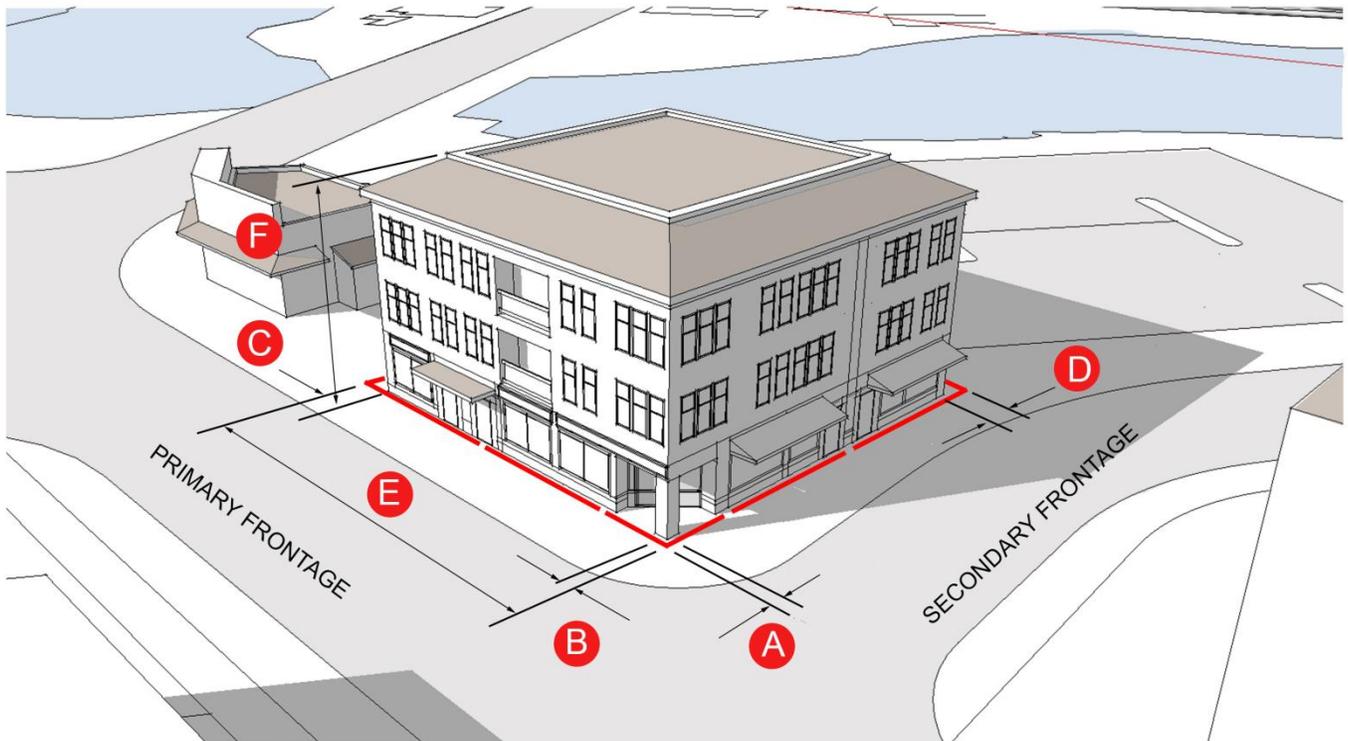
Sec. 60-550.1 BUILDING PLACEMENT & CONFIGURATION T-5.1

PRINCIPAL BUILDING PLACEMENT:

Front Setback, Primary:	0 ft Min, 10 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	0 ft Min, 10 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	75% Max	
Open Space Lot Coverage:	5% Min	
Frontage Build-Out:	75% Min (along Front Setback, Primary)	
Lot Width:	24 ft Min, 160 ft Max	(E)

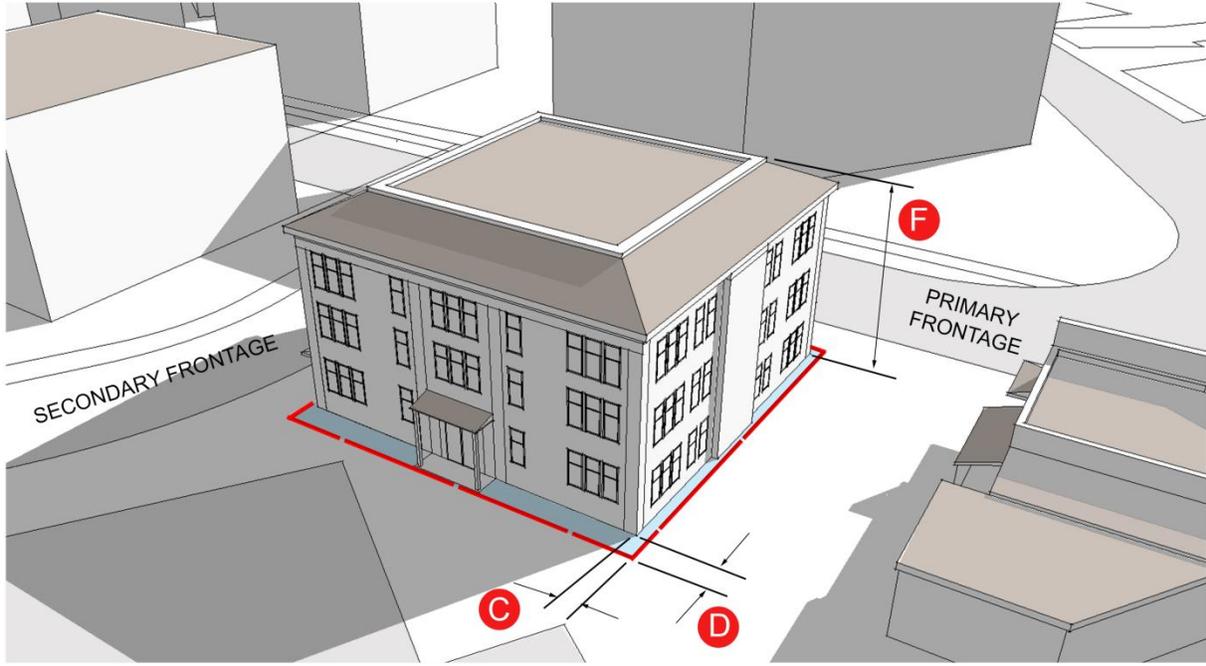
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	12 ft Min, 144 ft Max	
Building Height Minimum:	2 Story Min	(F)
Building Height Maximum:	4 Story Max (excluding attic story)	(F)



Building Placement- Front View

Sec. 60-550.1 BUILDING PLACEMENT & CONFIGURATION T- 5.1



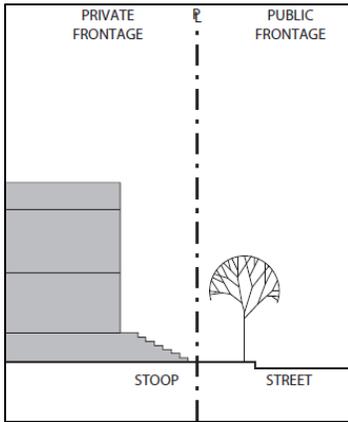
Building Placement- Rear View

PRINCIPAL BUILDING PLACEMENT:

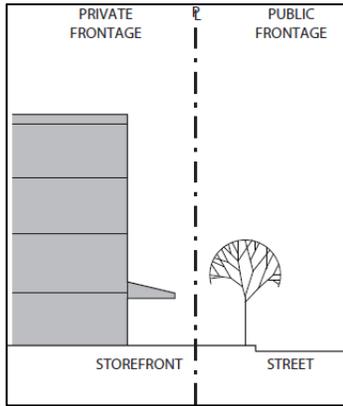
Front Setback, Primary:	0 ft Min, 10 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	0 ft Min, 10 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	95% Max	
Open Space Lot Coverage:	5% Min	
Frontage Build-Out:	75% Min (along Front Setback, Primary)	
Lot Width:	24 ft Min, 160 ft Max	(E)

PRINCIPAL BUILDING CONFIGURATION:

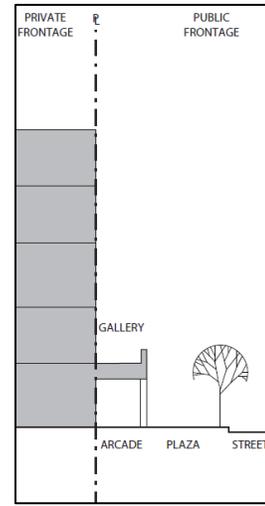
Building Width:	12 ft Min, 144 ft Max	
Building Height Minimum:	2 Story Min	(F)
Building Height Maximum:	4 Story Max (excluding attic story)	(F)



Stoop Frontage Yard



Storefront Frontage



Gallery Frontage

BUILDING FRONTAGE TYPES:	Stoop, Storefront and Gallery
BUILDING ENTRIES:	Primary entry door shall be provided along ground story front façade.
BUILDING ENVELOPE ARTICULATION:	
Ground Story Facade:	Windows and doors shall comprise a minimum of 25% and maximum 60% coverage of the total ground story facade frontage.
Upper Story Windows	Windows and doors shall comprise a minimum of 20% and maximum 40% coverage of the total upper story facade frontage.
Ground Story Finished Floor Elevation	The ground story must be a minimum of 2 feet minimum and 6 feet maximum above the front yard elevation (average grade).
Front Facade Wall:	Blank lengths of wall exceeding 10 linear feet are prohibited.

Front Yard Fence: (Residential)	A front yard fence a minimum of 3 feet and a maximum of 4 feet in height is encouraged to maintain spatial edge of street.
Street Wall/Wall Opening:	A vehicle entry way, as part of a street wall, shall be a maximum width of 20 feet (residential) and 24 feet (commercial); a pedestrian entry way shall be a maximum width of 6 feet.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the minimum front setback line.
Stoop Encroachments:	Stoops may encroach upon the front setback line by the following distances but not encroach in the street right of way.
Garages	Detached garages shall be located a minimum of 20 feet from any street right of way.
Driveways	Driveways shall be located on the secondary street if possible. Driveways to be a minimum of 8 feet wide and a maximum of 20 feet wide.
Parking -	Vehicle parking shall only be located on driveways or designated parking areas and shall not extend into the street right of way or sidewalk. Commercial Parking shall be located to rear of the property to the greatest extent possible. Parking on a side yard is limited to no more than 60 feet wide or 40% of the lot width. Screening and/or street wall is required.
Accessory Structures	Accessory structures shall be located a minimum of 20 feet from any street right of way and 5 feet from either side or rear property line.
Landscaping	Landscaping is encouraged but shall not extend into any street sidewalk or travel way. Street trees are encouraged.
Foundation Planting	Foundation plantings are encouraged and should be pruned and maintained to have a minimum 1 foot clearance from building facade to encourage air circulation.



Illustrative View of T- 5.2

**Intent and Purpose:
Downtown City Center (T- 5.2)**

The Downtown City Center zone is characterized by a pattern ranging from medium to large sized buildings in an intensely connective and highly compact urban environment, and placed to generate dynamic social, cultural and economic exchange, experiences, encounters and enterprise between the Public Realm of the primary transportation corridors and large sidewalks, and the Private Realm of the large residential and commercial building frontages and blocks. The minimum and maximum lot widths, building widths, frontage build-out percentage, and minimum and maximum building heights form a solid, compact and massive street wall pattern generating strong regional social and economic attraction, urban lifestyle options and urban architectural prestige.



Key Features

- Front facade detailing.
- Window box planters.
- Balconies.
- Elevated 1st floor for residences (2' to 6') with stoop frontage and primary entrance.
- Articulated storefront entrance at street level to 2 feet.
- Residential window and door coverage (25% to 60%)
- Storefront window and door coverage (40% to 90%)
- Awnings for storefronts.
- Wide sidewalks.



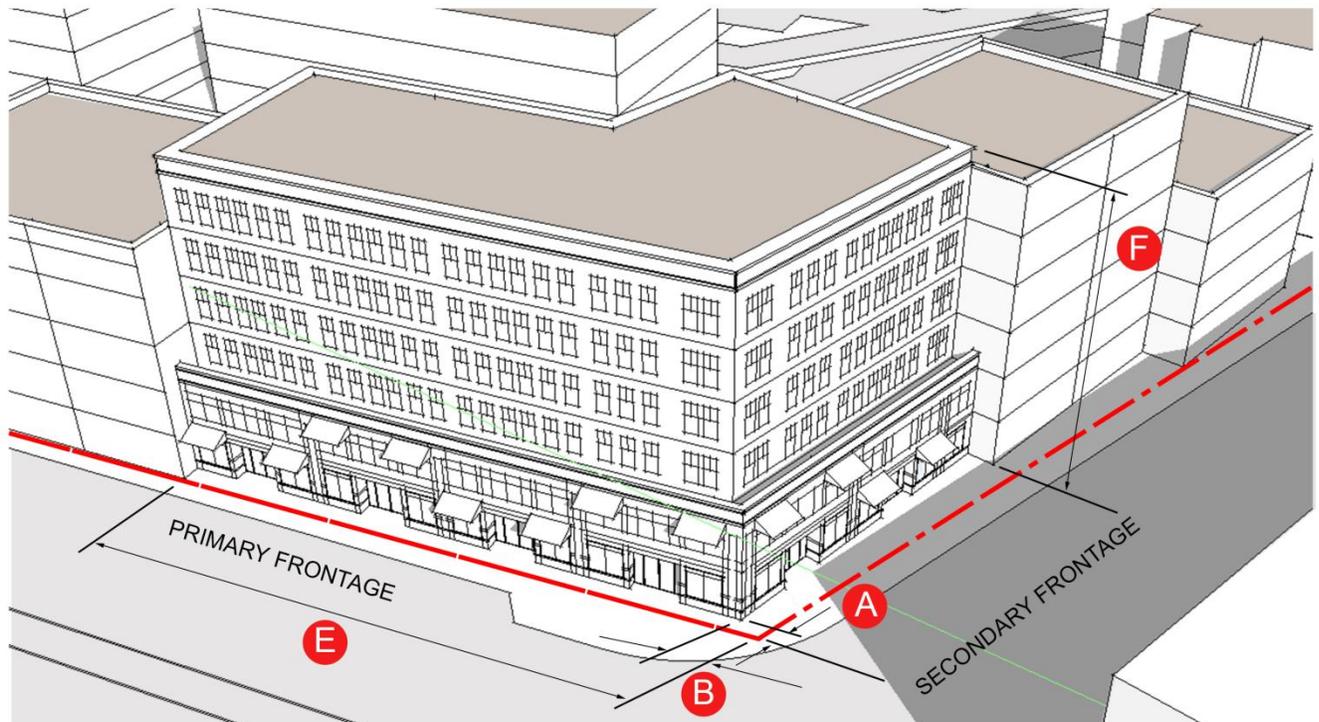
Examples of Downtown City Center- T- 5.2

PRINCIPAL BUILDING PLACEMENT:

Front Setback, Primary:	0 ft Min, 10 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	0 ft Min, 10 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	80% Max	
Open Space Lot Coverage:	5% Min	
Frontage Build-Out:	85% Min (along Front Setback, Primary)	
Lot Width:	24 ft Min, 240 ft Max	(E)

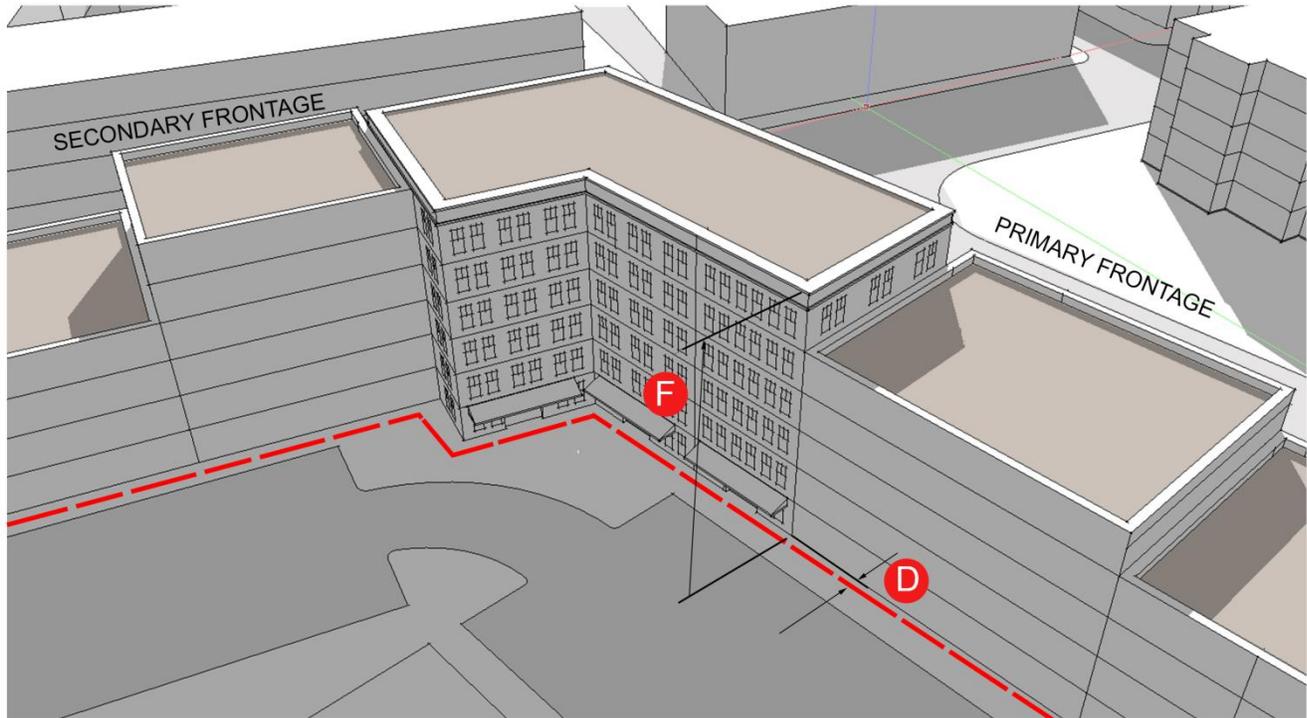
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	12 ft Min, 200 ft Max	
Building Height Minimum:	2 Story Min	(F)
Building Height Maximum:	6 Story Max (excluding attic story)	(F)



T- 5.2 Building Placement- Front View

Sec. 60-551.1 BUILDING PLACEMENT & CONFIGURATION T- 5.2



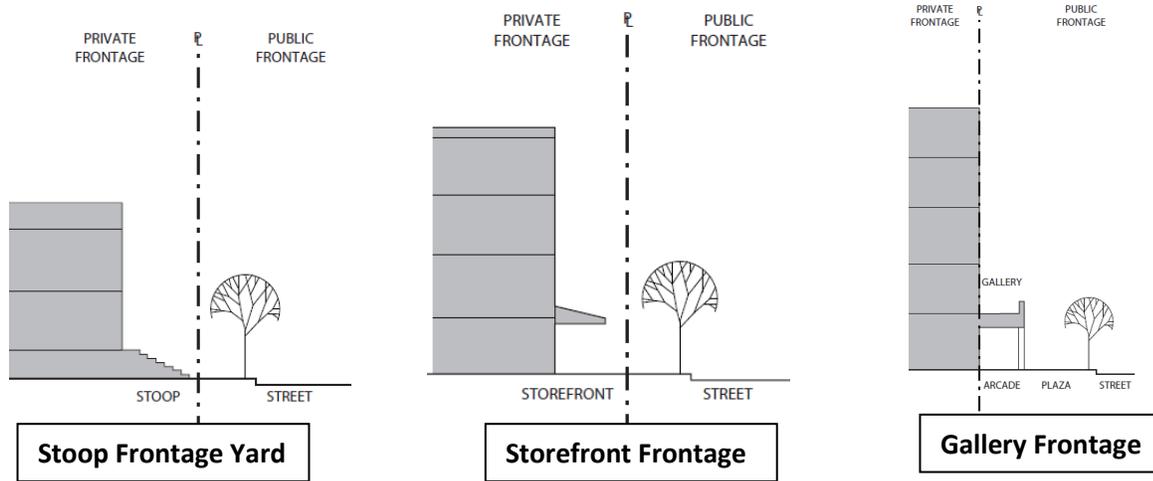
T-5.2 Building Placement- Rear View

PRINCIPAL BUILDING PLACEMENT:

Front Setback, Primary:	0 ft Min, 10 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	0 ft Min, 10 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	85% Max	
Open Space Lot Coverage:	5% Min	
Frontage Build-Out:	80% Min (along Front Setback, Primary)	
Lot Width:	24 ft Min, 240 ft Max	(E)

PRINCIPAL BUILDING CONFIGURATION:

Building Width:	12 ft Min, 200 ft Max	
Building Height Minimum:	2 Story Min	(F)
Building Height Maximum:	6 Story Max (excluding attic story)	(F)



BUILDING FRONTAGE TYPES:.....	Stoop, Storefront and Gallery
BUILDING ENTRIES:.....	Primary entry door shall be provided along ground story front facade.
BUILDING ENVELOPE ARTICULATION:	
Ground Story Facade:	<u>Residential:</u> Windows and doors shall comprise a minimum of 25% and maximum 60% coverage of the total ground story facade frontage. <u>Storefront:</u> Windows and doors shall comprise a minimum 60% and maximum 90% coverage of the total ground story facade frontage.
Upper Story Windows	Windows and doors shall comprise a minimum of 20% and maximum 40% coverage of the total upper story facade frontage.
Ground Story Finished Floor Elevation	<u>Residential:</u> Must be a minimum of 2 feet minimum and 6 feet maximum above the average front yard elevation. <u>Storefront:</u> Must be a minimum of at the average sidewalk elevation and maximum of 2 feet.
Front Facade Wall:	Blank lengths of wall exceeding 15 linear feet are prohibited.

<p>Front Yard Fence: (Residential)</p>	<p>A front yard fence a minimum of 3 feet and a maximum of 4 feet in height is encouraged to maintain spatial edge of street.</p>
<p>Front Yard Fence/Wall Opening:</p>	<p>A vehicle entry way, as part of a front fence/wall, shall be a maximum width of 20 feet; a pedestrian entry way shall be a maximum width of 6 feet.</p>
<p>Required Street Wall Height:</p>	<p>A street wall a minimum of 4 feet and maximum of 6 feet shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk or from the adjacent ground elevation once construction is complete.</p>
<p>Building Projections:</p>	<p>No part of any building, except overhanging eaves, awnings, balconies, bay windows, and other architectural features shall encroach beyond the minimum front setback line.</p>
<p>Stoop Encroachments:</p>	<p>Stoops may encroach upon the front setback line by the following distances but not encroach in the street right of way.</p>
<p>Parking -</p>	<p>Vehicle parking shall only be located on driveways or designated parking areas and shall not extend into the street right of way or sidewalk. Commercial Parking shall be located to rear of the property to the greatest extent possible. Parking on a side yard is limited to no more than 60 feet wide or 40% of the lot width. Screening and/or street wall is required.</p>
<p>Landscaping</p>	<p>Landscaping is encouraged but shall not extend into any street sidewalk or travel way. Street trees are encouraged.</p>



Illustrative View of T-6

Intent and Purpose: Great Fall Metropolitan (T-6)

The Great Falls Metropolitan zone is characterized by a pattern of large metropolitan buildings placed to contain and define the City of Auburn’s emerging preeminent downtown central square, “Great Falls Square” at the intersection of Turner Street & Hampshire Street. Great Falls Square would provide a dominant metropolitan focal point and identifiable urbane center for professional enterprise, institutional concentration, and metropolitan commerce. The Great Falls Metropolitan urban form shall generate strong regional socio-economic gravitational pull, corporate attraction, regional visitor experience, 18-hour social gathering opportunities, and urbane prestige contained within a vibrant downtown destination district.

Key Features

- Front facade detailing.
- Balconies.
- Elevated 1st floor for residences (2' to 6') with stoop frontage and primary entrance.
- Articulated storefront entrance at street level to 2 feet.
- Storefront window and door coverage (40% to 90%)
- Awnings for storefronts.
- Wide sidewalks.



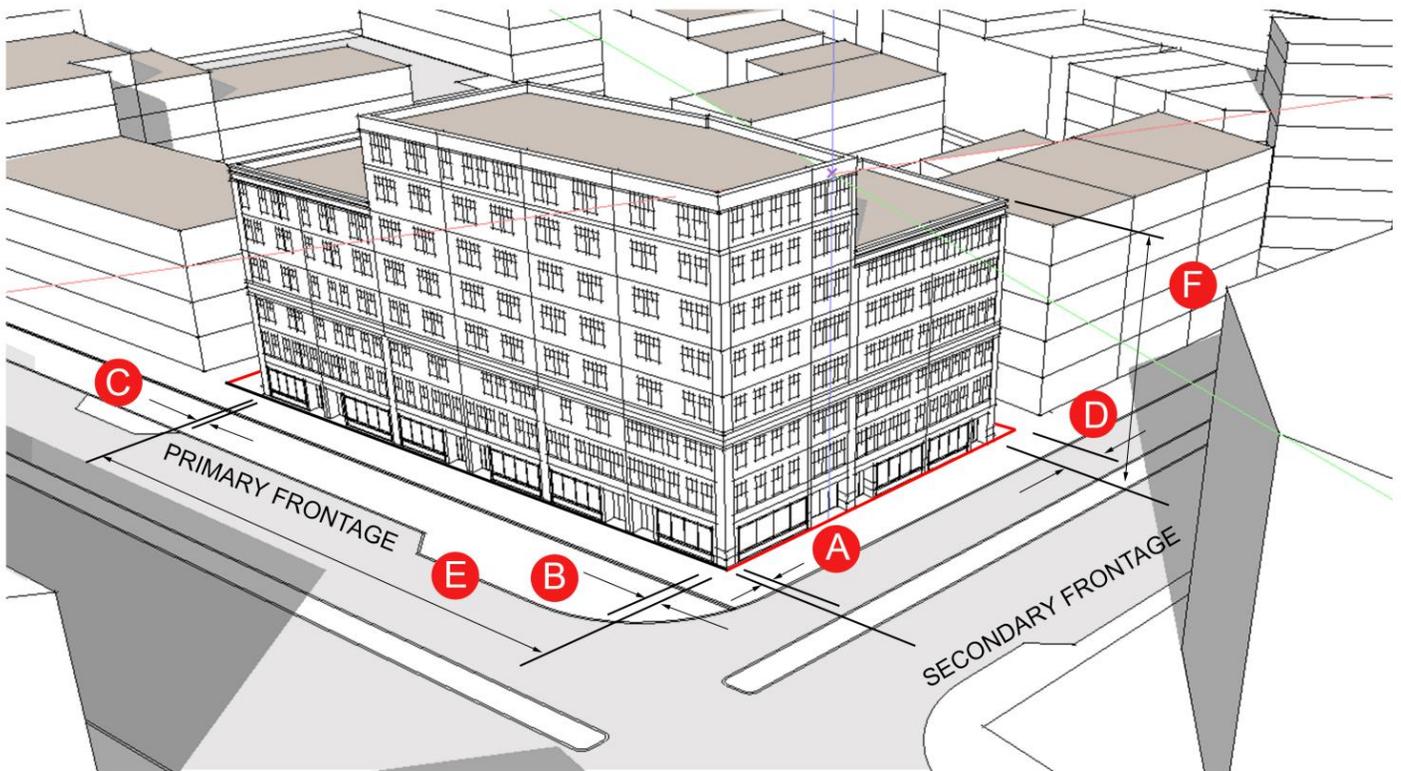
Examples of Great Falls Metropolitan T-6

(Corner Lot) Front Setback, Secondary:

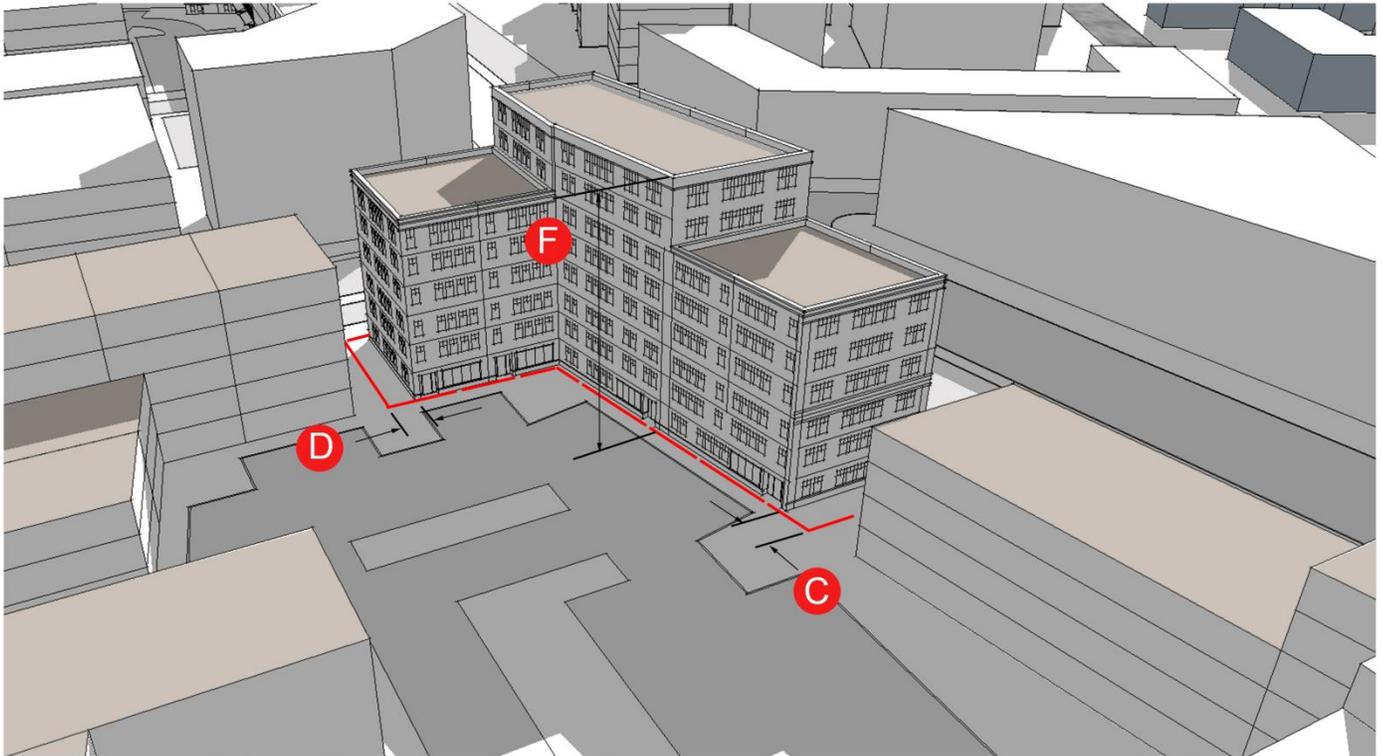
- Side Setback: 0 ft Min, 10 ft Max (A)
- Rear Setback: 0 ft Min, 10 ft Max (B)
- Building Lot Coverage: 5 ft Min (C)
- Open Space Lot Coverage: 10 ft Min (D)
- Frontage Build-Out: 90% Max
- Lot Width: 5% Min

PRINCIPAL BUILDING CONFIGURATION:

- 80% Min (along Front Setback, Primary)
- Building Width: 24 ft Min, 240 ft Max (E)
- Building Height Minimum: 16 ft Min, 224 ft Max
- Building Height Maximum: 4 Story Min (F)
- 8 Story Max (F)



T-6 Building Placement- Front View



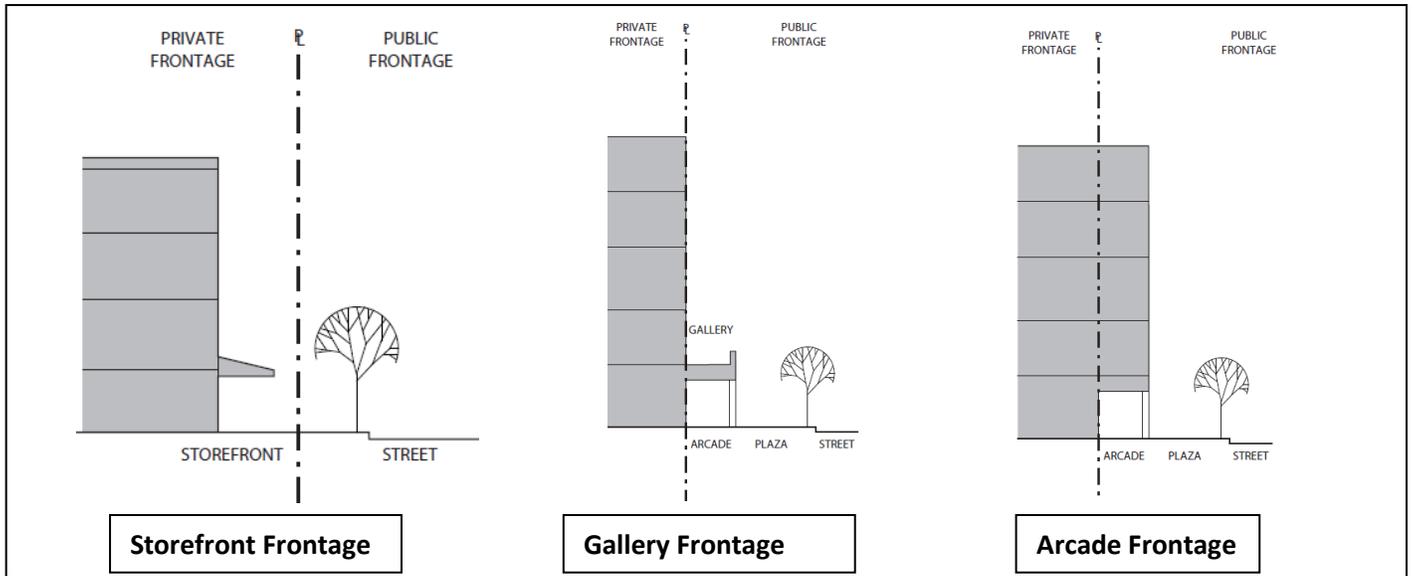
T-6 Building Placement- Rear View

PRINCIPAL BUILDING PLACEMENT:

Front Setback, Primary:	0 ft Min, 10 ft Max	(A)
(Corner Lot) Front Setback, Secondary:	0 ft Min, 10 ft Max	(B)
Side Setback:	5 ft Min	(C)
Rear Setback:	10 ft Min	(D)
Building Lot Coverage:	90% Max	
Open Space Lot Coverage:	5% Min	
Frontage Build-Out:	80% Min (along Front Setback, Primary)	
Lot Width:	24 ft Min, 240 ft Max	(E)

PRINCIPAL BUILDING CONFIGURATION:

Building Width:	16 ft Min, 224 ft Max	
Building Height Minimum:	4 Story Min	(F)
Building Height Maximum:	8 Story Max	(F)



BUILDING FRONTAGE TYPES:	Storefront, Gallery and Arcade
BUILDING ENTRIES:	Primary entry door shall be provided along ground story front facade.
BUILDING ENVELOPE ARTICULATION:	
Ground Story Facade:	Windows and doors shall comprise a minimum 60% and maximum 90% coverage of the total ground story facade frontage.
Upper Story Windows	Windows and doors shall comprise a minimum of 20% and maximum 40% coverage of the total upper story facade frontage.
Ground Story Finished Floor Elevation	Must be a minimum of the average sidewalk elevation and maximum of 2 feet.
Front Facade Wall:	Blank lengths of wall exceeding 15 linear feet are prohibited. Architectural jogs of up to 18 inches in depth are permitted.

<p>Street Wall Opening:</p>	<p>A vehicle entry way, as part of a front fence/wall, shall be a maximum width of 18 feet; a pedestrian entry way shall be a maximum width of 6 feet.</p>
<p>Required Street Wall Height:</p>	<p>A street wall a minimum of 4 feet and maximum of 6 feet shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk or from the adjacent ground elevation once construction is complete.</p>
<p>Building Projections:</p>	<p>No part of any building, except overhanging eaves, awnings, balconies, bay windows, and other architectural features shall encroach beyond the minimum front setback line.</p>
<p>Stoop Encroachments:</p>	<p>Stoops may encroach upon the front setback line by the following distances but not encroach in the street right of way.</p>
<p>Parking -</p>	<p>Residential parking shall only be located on driveways or parking areas and shall not extend into the street right of way or sidewalk. Commercial parking shall be located as per the parking areas diagram.</p>
<p>Landscaping</p>	<p>Landscaping is encouraged but shall not extend into any street sidewalk or travel way. Street trees are encouraged.</p>

Sec. 60-554 FORM BASED CODE USE and PARKING MATRIX

USE	PARKING REQUIREMENT	* * *				
		T-4.1	T-4.2	T 5.1	T-5.2	T-6
Residential Type Use						
Single Family	1 sp/DU	P	P	P		
Duplex	1 sp/DU	P	P	P	P	P
Townhouse	1 sp/DU	P	P	P	P	P
Multi-Family	1 sp/DU plus 1 guest space/4 units	P	P	P	P	P
Bed & Breakfast < 4 Rooms	1 sp/employee and 1 sp/guest	S	P	P	P	P
Bed & Breakfast > 4 Rooms	1 sp/employee and 1 sp/guest	S	S	P	P	P
Hotel	1/2 sp /employee plus 1 sp /room			S	S	P
Elderly/Child Care Facility	1/2 sp /employee plus 1 sp/ 8 users	S	S	S	S	P
Home Occupation	Based on Use Type	P	P	P	P	P
Office/Service Type Use						
Financial/Professional Offices	1 sp/400 sf	S	S	P	P	P
Medical and Dental Clinics	1 sp./400 sf	S	S	P	P	P
Personal Services	1 sp./400 sf	P	P	P	P	P
Retail Type Use						
General Retail	1 sp/400 sf	S	S	P	P	P
Age Restricted Retail (1)	1 sp/400 sf	S	S	S	S	S
Specialty Shops	1 sp/400 sf	S	P	P	P	P
Restaurant up to 30 seats w/16 outdoor	1 sp/4 seats		S	P	P	P
Restaurant over 30 seats w/16 outdoor	1 sp/4 seats		S	S	P	P
Halls, Private Clubs, Indoor Amusement	1 sp/400 sf	S	S	S	P	P
Artist Studios, Performing Art Center	1 sp/400 sf	S	S	P	P	P
Civic						
Places of Worship	1 sp/5 seats	S	S	P	P	_P
Government Offices	1 sp/400 sf			P	P	P
Art Galleries	1 sp/400 sf	S	P	P	P	P
Transportation Facilities	1 sp/400 sf			S	S	S

Notes:

(1) Where more than 50% of floor space is devoted to Age Restricted Goods

* Parking requirements in T-5.1, T- 5.2 and T-6 may be provided by the municipality or private parking resources within 1,000 feet of the principal building, subject to Planning Board approval.

Sec. 60-555 – Form Based Code Administration and Review Process- Purpose.

The purpose of Form-Based Code Administration and Review Process is to:

1. Ensure that the design and built form of development located within the adopted Form Based Code Regulating Plan Boundaries are in compliance with purpose and requirements of Division 14, Form Based Code and Chapter 60, Zoning of the Auburn Code of Ordinance.
2. To facilitate an efficient and timely review and approval of development applications that meets the requirements of the Form Based Code.
3. To ensure that approved development projects will meet the purpose of the Form Based Code, which is “To encourage and reinforce a traditional, contextual, sustainable and multi-modal urban building and street form in Downtown Auburn and the Village Center of New Auburn.”

Sec. 60-556 – Applicability-

Any Administrative (Types 2 and 3) Plan and/or Discretionary Plan, as defined in Section 60-557, located within the Based Code district, shall be required to submit a development application prior to any development activity.

Sec. 60-557. Form Based Code Plan Types-A. Administrative Types-

1. By Right- No Permits Required- Projects such as normal maintenance and for new structures under 200 sq. ft.
2. Minor Administrative- Projects requiring a building permit that comply with all Form Based Code or Zoning regulations, may be approved and permitted by the appropriate City Departmental Staff and will not require Planning Board approval. These projects can be applied for at any time.
3. Major Administrative- Projects that comply with all Form Based Code or Zoning regulations and do not qualify as a Special Exception or Site Plan Review but due to multiple issues, will require review by the appropriate Departments or Agencies.

B. Discretionary Type Plans- The following plan types require review and action by the Plan the Planning Board.

1. Subdivisions of 3 or more lots over a 5 year period or a project creating more than 3 dwelling units. (Subdivision Review)
2. Any project listed as Special Exception or “S” on the Use and Parking Matrix Chart. (Special Exception and Site Plan Review)
3. Any project over a total of 12,000 sf. of new construction. (all floors included) (Special Exception and Site Plan Review)

4. Any amendment to an existing discretionary plan that increases existing development over 25%. (Special Exception and Site Plan Review)

Sec. 60-558 – Form Based Code Development Application Procedure

A. Administrative Project Application Process-

1. Applicant identifies the subject property's zoning/transect district and determines what plan type the project is.
2. Applicant reviews the project's compliance for Form Based Code Development Standards Chapters 60-548 through 551; including all sections on Purpose, Building Placement & Configuration, Building Frontages, External Elements, Lot Layout, and the Parking & Use Matrix Chart; along with any other applicable Zoning Development Regulations.
3. Pre-Development Consultation- All potential development and project applicants are encouraged to contact the Auburn Planning Office for a pre-development consultation to confirm the zoning and discuss the form based code requirements and related zoning and/or other regulatory items. Failure to consult with the Planning Office may result in the delay of acceptance, review and approval of the application.
4. Any Minor or Major Administrative Plan or Discretionary Plan applicant in a Form Based Code district shall complete and submit a Development Review Application, a Form Based Code Development Checklist and the appropriate application fee to the Planning Office.
5. All Form Based Code applications will be reviewed by the Planning Staff for completeness and applicant will be notified within 5 working days if the plan is deemed complete and whether the plan is Administrative or Discretionary. The applicant is responsible for working with the Planning Staff to correct any deficiencies needed to be accepted for further review.
6. Type 2 and 3 Administrative Plans will be reviewed by the appropriate City Departmental Staff who will recommend approving, disapproving or postponing in order to allow time to correct the application. The Director of Planning will notify the applicant of the decision in writing within 15 calendar days of its receipt of a completed application.

B. Discretionary Project Application Process-

1. Applicant Identifies Subject Property's Zoning/Transect and determines what plan type the project is.
2. Applicant reviews the project's compliance for the applicable Form Based Code Development Standards Chapters 60-548 through 551; including all sections on Purpose, Building Placement & Configuration, Building Frontages, External Elements,

Lot Layout, and the Parking & Use Matrix Chart; along with any other applicable Zoning Development Regulations.

3. Pre-Development Consultation- All potential development and project applicants are encouraged to contact the Auburn Planning Office for a pre-development consultation to confirm the zoning and discuss the form based code requirements and related zoning and/or other regulatory items.
4. Discretionary Plans will apply for review and consideration by the Planning Board according to their normal submission requirements, deadline and meeting schedule.
5. Applications not meeting all the requirements of the Form Based Code may include waiver requests as part of their application.

C. Waiver Requests-

1. Any waiver request of Form Based Code standards and requirements must identify what is being requested for the waiver and include a narrative explaining how the waiver, if approved, will allow the project to still meet the purpose of the Form Based Code and the objective of Site Plan Law.

D. Planning Board Approval-

1. The Planning Board shall approve, approve with conditions, disapprove or postpone based on its review of the application meeting all existing requirements, conditions, criteria and provisions of Special Exception, Site Plan Review, Subdivision Law and any other relevant procedural requirement of Chapter 60, Zoning, as part of its consideration of a Form Based Code application.
2. The Planning Board shall provide findings for approval or disapproval based on the application's meeting the purpose of the Form Based Code.