

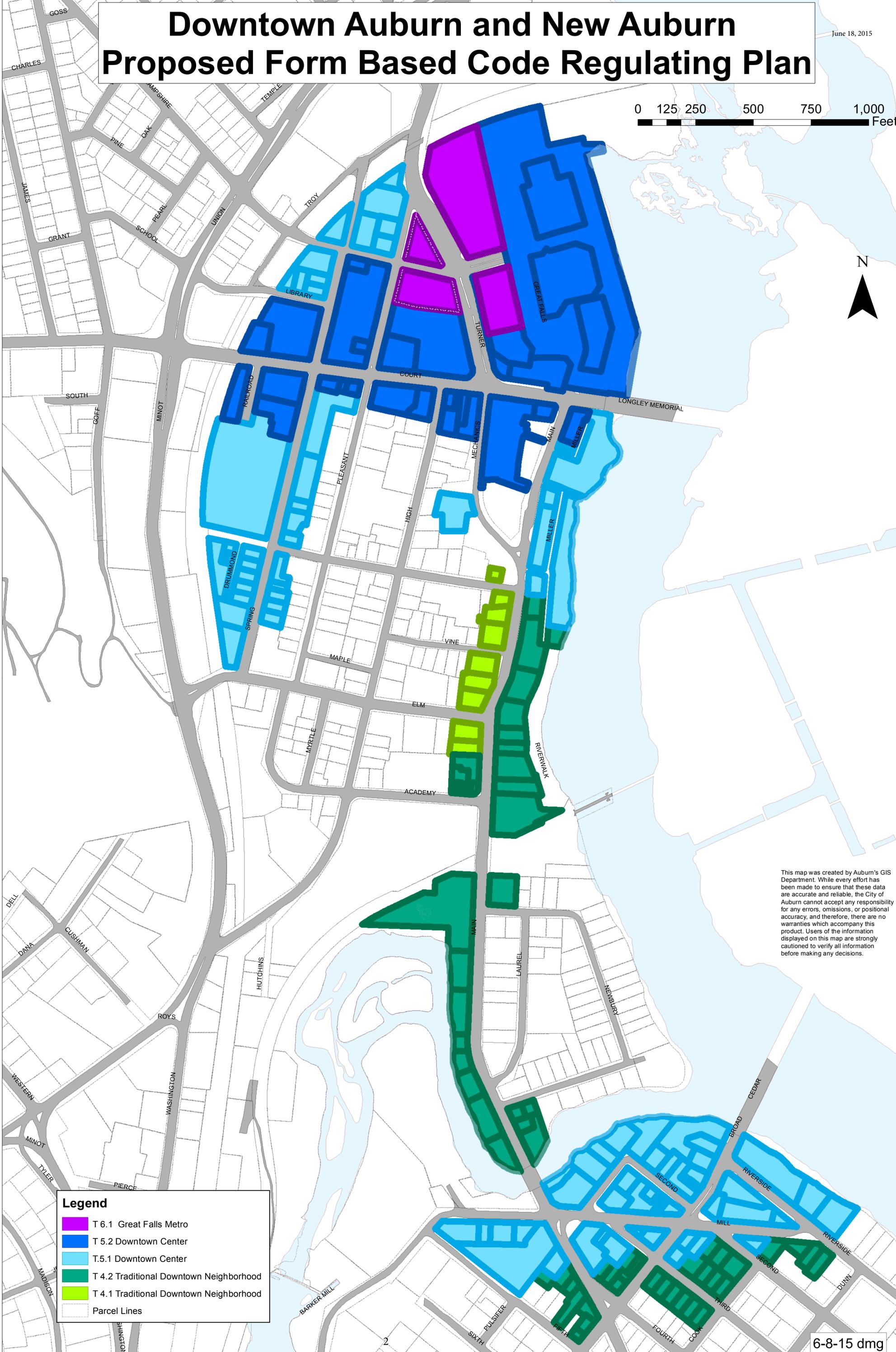
DOWNTOWN AUBURN FORM-BASED CODE

TABLE OF CONTENTS

- Code Introduction/Purpose/How To Use
- Downtown Auburn/New Auburn Regulating Plan
- Building Frontage Types Purpose & Descriptive
- T4.1 Future Street Illustration/Intent & Vision Narrative/Photographs
- T4.1 Development Standards - Building Placement & Configuration, Building Frontages, External Elements
- T4.2 Future Street Illustration/Intent & Vision Narrative/Photographs
- T4.2 Development Standards - Building Placement & Configuration, Building Frontages, External Elements
- T5.1 Future Street Illustration/Intent & Vision Narrative/Photographs
- T5.1 Development Standards - Building Placement & Configuration, Building Frontages, External Elements
- T5.2 Future Street Illustration/Intent & Vision Narrative/Photographs
- T5.2 Development Standards - Building Placement & Configuration, Building Frontages, External Elements
- T6 Future Street Illustration/Intent & Vision Narrative/Photographs
- T6 Development Standards - Building Placement & Configuration, Building Frontages, External Elements
- Streetscape Standards
- Material Standards & Architectural Guidelines
- Street Types
- Definitions (Suggested)
- Administration & Enforcement
- Appeals

Downtown Auburn and New Auburn Proposed Form Based Code Regulating Plan

June 18, 2015



This map was created by Auburn's GIS Department. While every effort has been made to ensure that these data are accurate and reliable, the City of Auburn cannot accept any responsibility for any errors, omissions, or positional accuracy, and therefore, there are no warranties which accompany this product. Users of the information displayed on this map are strongly cautioned to verify all information before making any decisions.

Legend

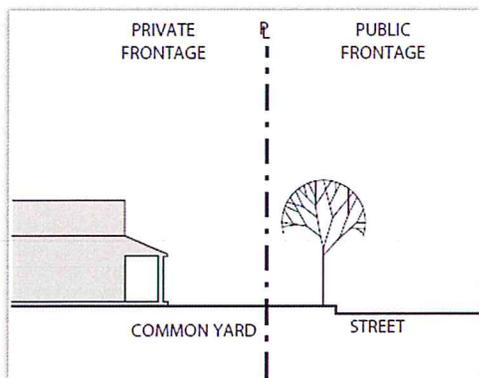
- T 6.1 Great Falls Metro
- T 5.2 Downtown Center
- T.5.1 Downtown Center
- T 4.2 Traditional Downtown Neighborhood
- T 4.1 Traditional Downtown Neighborhood
- Parcel Lines

DOWNTOWN AUBURN FORM-BASED CODE

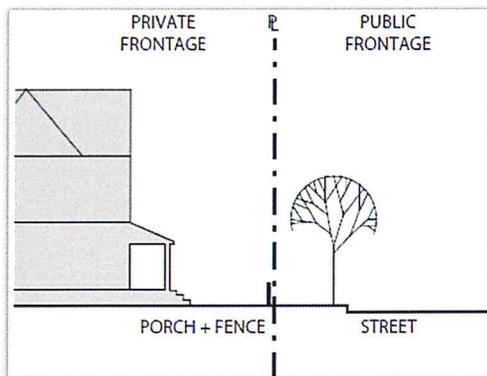
BUILDING FRONTAGE TYPE DESCRIPTIVE

Purpose: Private frontages (Frontage Types) are the components of a building that provide an important transition and relationship between the Public Realm (street and sidewalk) and the Private Realm (front yard and building). These standards supplement the development standards for each Transect zone that the frontage types are allowed within. For each frontage type, a description is provided. These standards are intended to ensure development that reinforces the highly-valued traditional character and human scale of Downtown Auburn & the New Auburn Village Center.

Common Yard: The main façade of the building has a large planted setback from the frontage line, providing a buffer from the downtown street. The front yard remains unfenced from the street and sidewalk, and is visually continuous with adjacent front yards, supporting a common landscape and in harmonious context with other private frontages along the downtown street.
(Permitted in T4.1; T4.2)

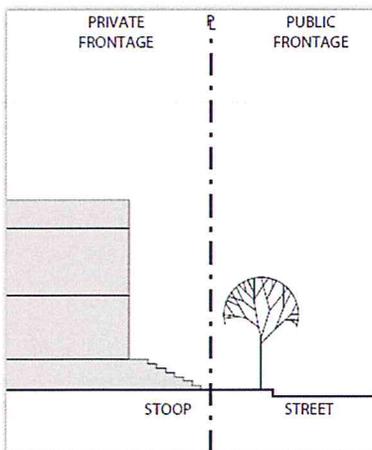


Porch Yard: The main façade of the building has a small-to-medium setback from the frontage line. The front yard is typically very small and may be defined by a fence to spatially maintain the edge of the street. A “projecting” porch is open on three sides and all habitable space is located behind the setback line. An “engaged” or “inset” porch is has two adjacent sides of the porch that are engaged or inset to the building front façade while the other two sides are open.
 (Permitted in T4.1; T4.2)



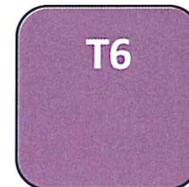
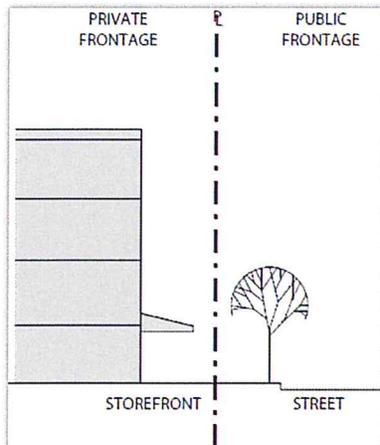
Stoop: The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This Type is appropriate for residential uses with small setbacks.

(Permitted in T4.2; T5.1; T5.2)



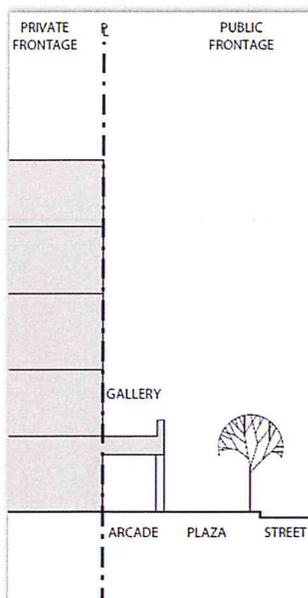
Storefront: The main façade of the building is at or near the frontage line with an at grade entrance along the public way. This Type is intended for retail use. It has substantial glazing (display windows) at the sidewalk level and may include an awning that may overlap the sidewalk.

(Permitted in T4.2; T5.1; T5.2; T6)



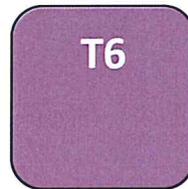
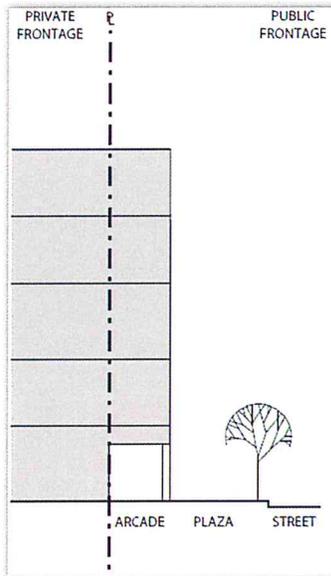
Gallery: The main façade of the building is at or near the frontage line and a continuous, covered space is attached to the length of the façade along the sidewalk Public Realm. This Type is intended for retail, professional and hospitality use. It has substantial glazing (windows) at the sidewalk level.

(Permitted in T5.1; T5.2; T6)



Arcade: The main façade of the building is at or near the frontage line and the ground floor is recessed from the building façade to allow for a continuous, covered passageway. This Type is intended for retail, professional and hospitality use. It has substantial glazing (windows) at the sidewalk level.

(Permitted in T5.1; T5.2; T6)



DOWNTOWN AUBURN FORM-BASED CODE

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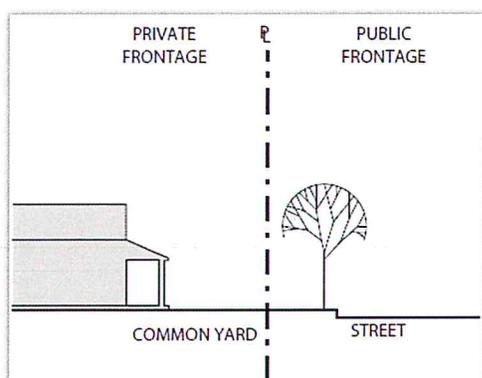
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- T5.1 Development Standards - Building Placement & Configuration, Building Frontages, External Elements
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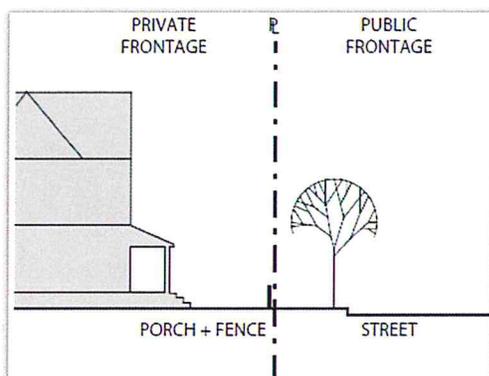
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Purpose: Private frontages (Frontage Types) are the components of a building that provide an important transition and relationship between the Public Realm (street and sidewalk) and the Private Realm (front yard and building). These standards supplement the development standards for each Transect zone that the frontage types are allowed within. For each frontage type, a description is provided. These standards are intended to ensure development that reinforces the highly-valued traditional character and human scale of Downtown Auburn & the New Auburn Village Center.

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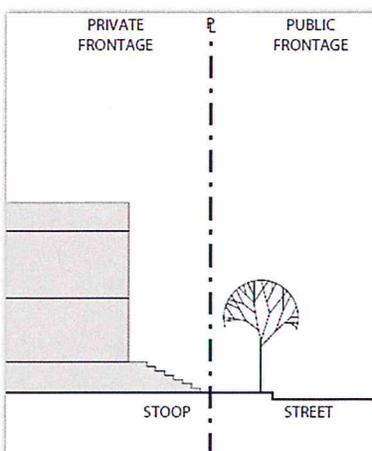


Porch Yard: The main façade of the building has a small-to-medium setback from the frontage line. The front yard is typically very small and may be defined by a fence to spatially maintain the edge of the street. A “projecting” porch is open on three sides and all habitable space is located behind the setback line. An “engaged” or “inset” porch is has two adjacent sides of the porch that are engaged or inset to the building front façade while the other two sides are open.
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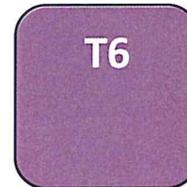
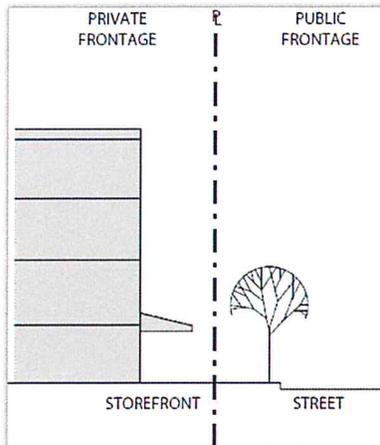
Stoop: The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This Type is appropriate for residential uses with small setbacks.

(Permitted in T4.2; T5.1; T5.2)



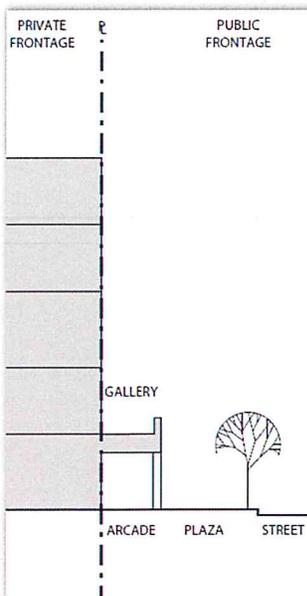
Storefront: The main façade of the building is at or near the frontage line with an at grade entrance along the public way. This Type is intended for retail use. It has substantial glazing (display windows) at the sidewalk level and may include an awning that may overlap the sidewalk.

(Permitted in T4.2; T5.1; T5.2; T6)



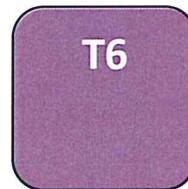
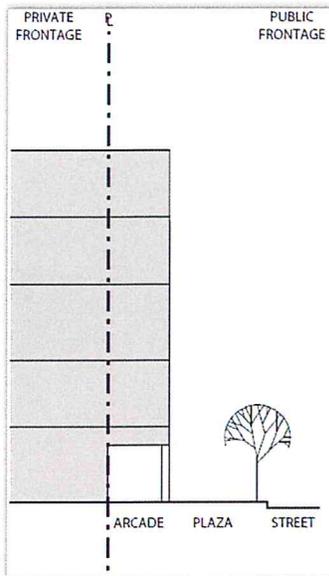
Gallery: The main façade of the building is at or near the frontage line and a continuous, covered space is attached to the length of the façade along the sidewalk Public Realm. This Type is intended for retail, professional and hospitality use. It has substantial glazing (windows) at the sidewalk level.

(Permitted in T5.1; T5.2; T6)



Arcade: The main façade of the building is at or near the frontage line and the ground floor is recessed from the building façade to allow for a continuous, covered passageway. This Type is intended for retail, professional and hospitality use. It has substantial glazing (windows) at the sidewalk level.

(Permitted in T5.1; T5.2; T6)



DOWNTOWN AUBURN FORM-BASED CODE

T4.1

TRADITIONAL MAIN STREET NEIGHBORHOOD

(INSERT T4.1 FUTURE STREET ILLUSTRATION)

(INSERT T4.1 VISION & INTENT NARRATIVE)

(INSERT T4.1 BUILDING & STREET PHOTOGRAPHS)

DEVELOPMENT STANDARDS

T4.1

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	15 ft Min, 25 ft Max
Frontage Buildout:	60% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	80% Max
Open Space Lot Coverage:	20% Min

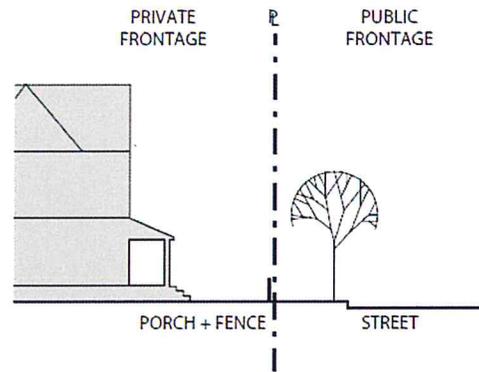
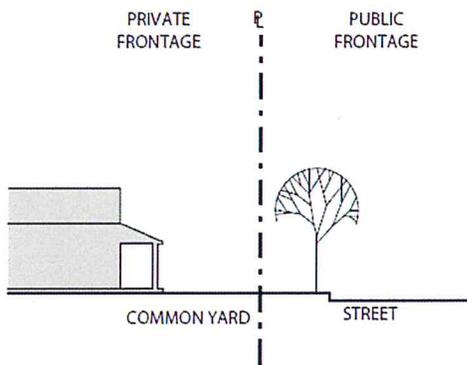
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	N/A
Building Height Minimum:	2 Story Min
Building Height Maximum:	2 Story Max (excluding attic story)
Footprint/Floor Plate:	N/A

DEVELOPMENT STANDARDS

T4.1

BUILDING FRONTAGES



BUILDING FRONTAGES:

Common Yard; Porch Yard

BUILDING ENTRIES:

Primary entry door shall be provided along ground story front façade.

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage.

Upper Story Windows:

Windows & doors shall comprise Min 20% & Max 40% of total façade frontage.

Ground Story Finished Floor Elevation:

2 ft Min & 6 ft Max above front yard elevation.

Front Façade Wall:

Blank lengths of wall exceeding 10 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

DEVELOPMENT STANDARDS

T4.1

EXTERNAL ELEMENTS

Front Yard Fence:	A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the Min front setback line.
Porch & Stoop Encroachments:	Porches & Stoops may encroach upon the Min front setback line by the following distances: Front Setback, Principal Frontage 10 ft Max; Front Setback, Secondary Frontage 10 ft Max.

DOWNTOWN AUBURN FORM-BASED CODE

T4.2

TRADITIONAL DOWNTOWN NEIGHBORHOOD

(INSERT T4.2 FUTURE STREET ILLUSTRATION)

(INSERT T4.2 VISION & INTENT NARRATIVE)

(INSERT T4.2 BUILDING & STREET PHOTOGRAPHS)

DEVELOPMENT STANDARDS

T4.2

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 15 ft Max
Frontage Buildout:	60% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	90% Max
Open Space Lot Coverage:	10% Min

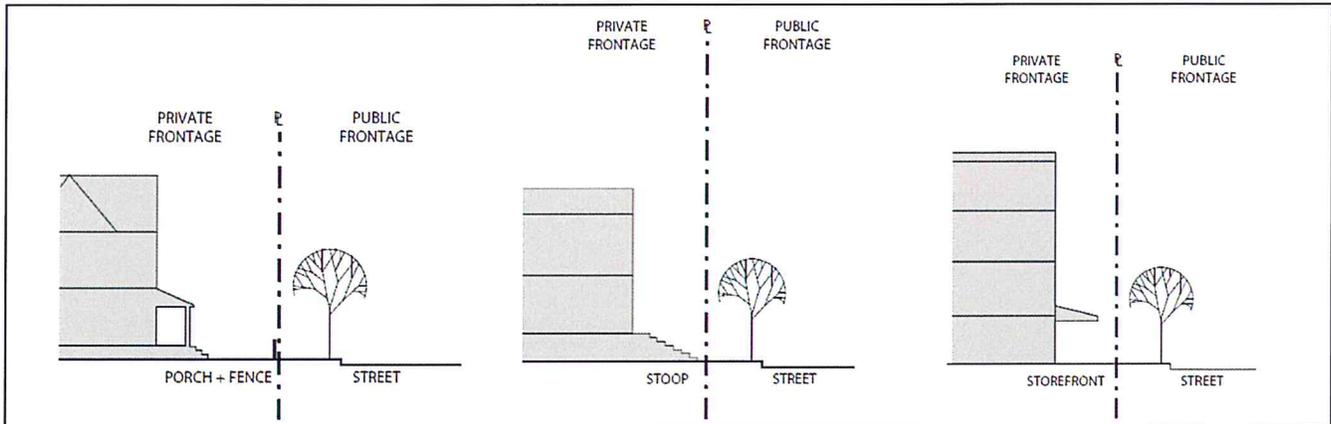
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	N/A
Building Height Minimum:	1 Story Min
Building Height Maximum:	3 Story Max (excluding attic story)
Footprint/Floor Plate:	N/A

DEVELOPMENT STANDARDS

T4.2

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Façade:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Porch Yard; Stoop; Storefront

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage (residential); Min 40% & Max 90% (storefront).

Window & doors shall comprise Min 20% & Max 40% of façade frontage.

Residential: 2 ft Min & 6 ft Max above front yard or sidewalk elevation.

Storefront: Front yard or sidewalk elevation Min & 2 ft Max.

Blank lengths of wall exceeding 10 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

DEVELOPMENT STANDARDS

T4.2

EXTERNAL ELEMENTS

Front Yard Fence:	A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.
Building Projections:	No part of any building , except overhanging eaves, awnings, balconies, bay windows, and other architectural features shall encroach beyond the Min front setback line.
Porch & Stoop Encroachments:	Porches & Stoops may encroach upon the Min front setback line by the following distances: Front Setback, Principal Frontage 10 ft Max; Front Setback, Secondary Frontage 10 ft Max.

DOWNTOWN AUBURN FORM-BASED CODE

T5.1

DOWNTOWN TRADITIONAL CENTER

(INSERT T5.1 FUTURE STREET ILLUSTRATION)

(INSERT T5.1 VISION & INTENT NARRATIVE)

(INSERT T5.1 BUILDING & STREET PHOTOGRAPHS)

DEVELOPMENT STANDARDS

T5.1

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 10 ft Max
Frontage Buildout:	75% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	95% Max
Open Space Lot Coverage:	5% Min

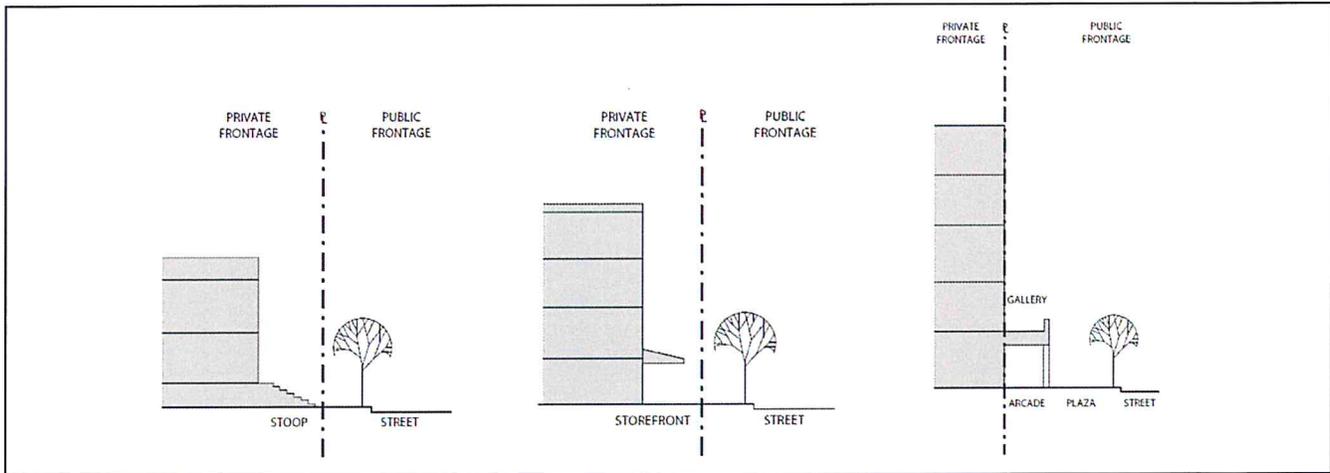
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	N/A
Building Height Minimum:	2 Story Min
Building Height Maximum:	4 Story Max (excluding attic story)
Footprint/Floor Plate:	N/A

DEVELOPMENT STANDARDS

T5.1

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Façade:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Stoop; Storefront; Gallery

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage (residential); Min 60% & Max 90% (commercial).

Windows & doors shall comprise Min 20% & Max 40% of façade frontage.

Residential: 2 ft Min & 6 ft Max above front yard or sidewalk elevation.

Storefront: Front yard or sidewalk elevation Min & 2 ft Max.

Blank lengths of wall exceeding 20 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

DEVELOPMENT STANDARDS

T5.1

EXTERNAL ELEMENTS

Front Yard Fence:	A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.
Required Street Wall Height:	A street wall a Min of 4ft & a Max of 6ft in height shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk, or when not adjacent to a sidewalk, from the ground elevation once construction is complete.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows, and other architectural features shall encroach beyond the Min front setback line.

DOWNTOWN AUBURN FORM-BASED CODE

T5.2

DOWNTOWN CITY CENTER

(INSERT T5.2 FUTURE STREET ILLUSTRATION)

(INSERT T5.2 VISION & INTENT NARRATIVE)

(INSERT T5.2 BUILDING & STREET PHOTOGRAPHS)

DEVELOPMENT STANDARDS

T5.2

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 10 ft Max
Frontage Buildout:	80% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	95% Max
Open Space Lot Coverage:	5% Min

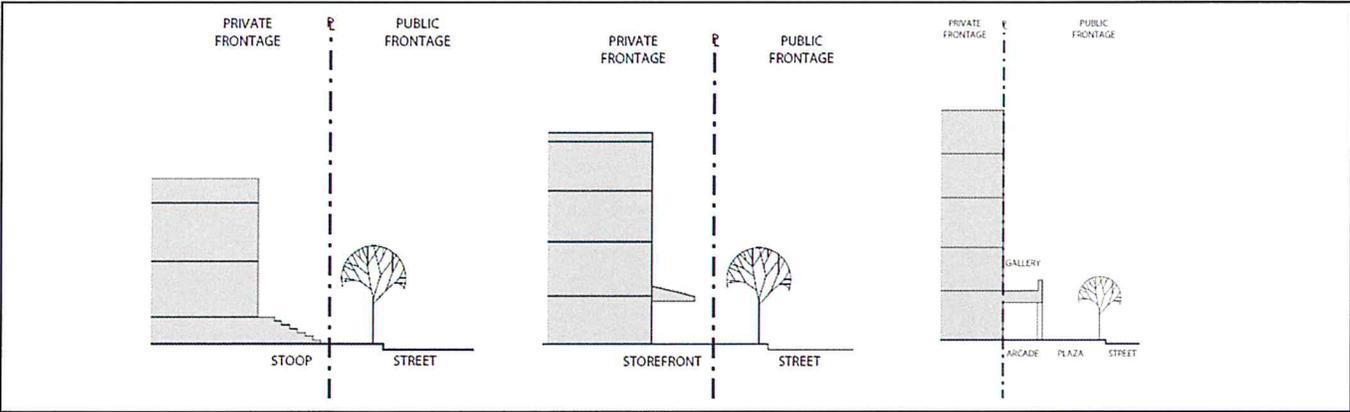
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	N/A
Building Height Minimum:	2 Story Min
Building Height Maximum:	6 Story Max (excluding attic story)
Footprint/Floor Plate:	N/A

DEVELOPMENT STANDARDS

T5.2

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Façade:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Stoop; Storefront; Gallery

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage (residential); Min 60% & Max 90% (commercial).

Windows & doors shall comprise Min 20% & Max 40% of façade frontage.

Residential: 2 ft Min & 6 ft Max above front yard or sidewalk elevation.

Commercial: Sidewalk elevation Min & 2 ft Max.

Blank lengths of wall exceeding 20 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

DEVELOPMENT STANDARDS

T5.2

EXTERNAL ELEMENTS

<p>Front Yard Fence:</p>	<p>A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.</p>
<p>Front Yard Fence/Wall Opening:</p>	<p>A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.</p>
<p>Required Street Wall Height:</p>	<p>A street wall a Min of 4ft & a Max of 6ft in height shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk, or when not adjacent to a sidewalk, from the ground elevation once construction is complete.</p>
<p>Building Projections:</p>	<p>No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the Min front setback line.</p>

DOWNTOWN AUBURN FORM-BASED CODE

T6

GREAT FALLS METROPOLITAN

(INSERT T6 FUTURE STREET ILLUSTRATION)

(INSERT T6 VISION & INTENT NARRATIVE)

(INSERT T6 BUILDING & STREET PHOTOGRAPHS)

DEVELOPMENT STANDARDS

T6

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 10 ft Max
Frontage Buildout:	80% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	95% Max
Open Space Lot Coverage:	5% Min

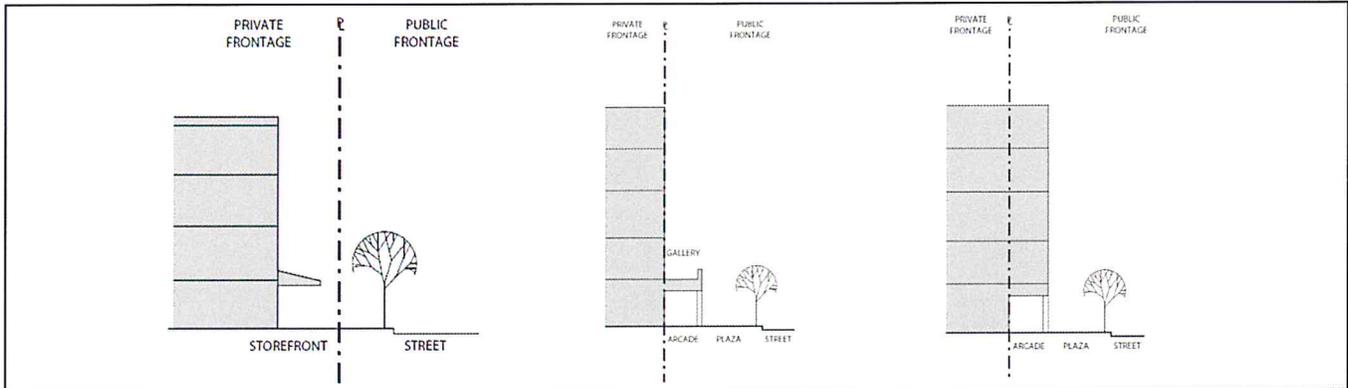
PRINCIPAL BUILDING CONFIGURATION:

Building Width:	N/A
Building Height Minimum:	4 Story Min
Building Height Maximum:	12 Story Max (excluding attic story)
Footprint/Floor Plate:	N/A

DEVELOPMENT STANDARDS

T6

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Façade:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Storefront; Gallery; Arcade

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 60% & Max 90% of total façade frontage.

Windows & doors shall comprise Min 20% & Max 40% of façade frontage.

Sidewalk elevation Min & 2 ft Max.

Blank lengths of wall exceeding 20 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

DEVELOPMENT STANDARDS

T6

EXTERNAL ELEMENTS

Street Wall Opening: | A vehicle entry way, as part of a front street wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.

Required Street Wall Height: | A street wall a Min of 4ft & a Max of 6ft in height shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk, or when not adjacent to a sidewalk, from the ground elevation once construction is complete.

Building Projections: | No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the Min front setback line.

FORM-BASED CODE DEFINITIONS (Suggested)

1. **Architectural Features** means exterior building elements intended to provide ornamentation to the building massing, including but not limited to, eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.
2. **Block** means the aggregate of private lots, passages, rear alleys and rear lanes, circumscribed by thoroughfares.
3. **Building Envelope Standard(s)** means building standards that establish basic parameters governing building form, including the envelope for building placement in three dimensions and certain permitted and required building elements such as storefronts, balconies, street walls, etc. The Building Envelope Standards establish both boundaries within which development may take place and what requirements apply. The intent of the Building Envelope Standards is to shape vital public space throughout the Downtown Auburn Form-Based Code District through placement and envelope controls on buildings that frame the street space.
4. **Building Form** means the overall shape and dimensions of a building.
5. **Build-to-Line** means a line parallel to a lot line or right-of-way where a building façade must be placed.
6. **Civic Building** means a structure operated by governmental or not-for-profit organizations and limited to civic and related uses.
7. **Common Yard** means a private frontage type that has no fences or hedges between front yards or the front yard and the sidewalk across multiple parcels providing an entrance to building. The front yard created remains unfenced as is visually continues with adjacent yards supporting a common landscape and working in conjunction with other private frontages.
8. **Eave** means the edge of a roof which projects beyond the wall.
9. **Encroachment** means any architectural feature, structure or structural element, such as a gallery, fence, garden wall, porch, stoop, balcony, bay window, terrace, or deck that breaks the plane of a vertical or horizontal regulatory limit exceeding into a setback, beyond the Build-to-Line, into the public frontage, or above a height limit.
10. **Expression Line** means a line prescribed at a certain level of a building for the major part of the width of a façade, expressed by a variation in material or by a limited projection such as a molding or balcony.

11. **Facade** means the vertical surface of a building.
12. **Forecourt** means a private frontage where a portion of the façade is close to the frontage line and the central portion is setback. The forecourt created is suitable for vehicular drop-offs.
13. **Frontage** means a strip or extent of land abutting a thoroughfare, civic space or other public right-of-way.
14. **Frontage, Private** means the area between the building façade and the shared lot line between the public right-of-way and the lot.
15. **Frontage, Public** means the area between the curb of the vehicular lanes and the edge of the right-of-way.
16. **Frontage Line** means the lot line(s) of a lot fronting a thoroughfare or other public way or a civic space.
17. **Gallery** means a private frontage type typically used in retail applications where the façade is aligned close to the frontage line with an attached cantilevered shed roof or a lightweight colonnade overlapping the sidewalk.
18. **Illustrative Plan** means a plan or map that depicts (i.e. illustrates but does not regulate) the streets, lots, buildings and general landscaping of the proposed development.
19. **Lightcourt** means a private frontage type that is a below-grade entrance or recess designed to allow light in the basement. This type buffers residential or commercial uses from urban sidewalks and removes the private yard from public encroachment.
20. **Parapet** means a low wall along the edge of a roof or the other portion of a wall that extends above the roof line.
21. **Primary Entrance** means a section of building elevation which contains the street level principal entrance of the business, including the businesses on upper floors or in a basement.
22. **Principal Entrance** means the main point of access for pedestrians into a building.
23. **Public Realm** means the physical and social domain of the public that is held in common either by their physical presence or visual association. This includes but is not limited to plazas, squares, parks, thoroughfares, public frontages, private frontages, civic buildings and civic spaces.

24. **Regulating Plan** means a set of maps that shows the transect zones, special districts, and special requirements for areas subject to, or potentially subject to, regulation by a Form Based Code or a Traditional Neighborhood Community Plan. It may also show streets and open public spaces, designate where various building form standards (based on intensity of urbanism) for building placement, design and use will apply. The Regulating Plan graphically shows, applies and places the regulations and standards established in a Form Based Code.
25. **Shopfront** means a private frontage, typically for retail use with substantial glazing and an awning, where the façade is aligned close to the frontage line with the building entrance at the level of the sidewalk.
26. **Stoop** means a private frontage where the facade is aligned close to the frontage line with the first story elevated from the sidewalk for privacy and with an exterior stair and landing at the entrance.
27. **Storefront** means the portion of a frontage composed of the display window and/or entrance and its components including, windows, doors, transoms and sill pane that is inserted into various frontage types, such as shopfront or gallery to accommodate retail uses.
28. **Transect (Rural-to-Urban)** means a cross-section of the environment showing a range of different habitats. The Rural-to-Urban Transect of the human environment is divided into multiple transect zones that describe the physical form and character of a place according to the intensity of its land use and urbanism.
29. **Transect Zone** means one of the several areas on the Regulating Plan.