



AUBURN PLANNING BOARD MEETING

February 12, 2013

Agenda

6:00 P.M. - City Council Chambers (Auburn Hall)

ROLL CALL

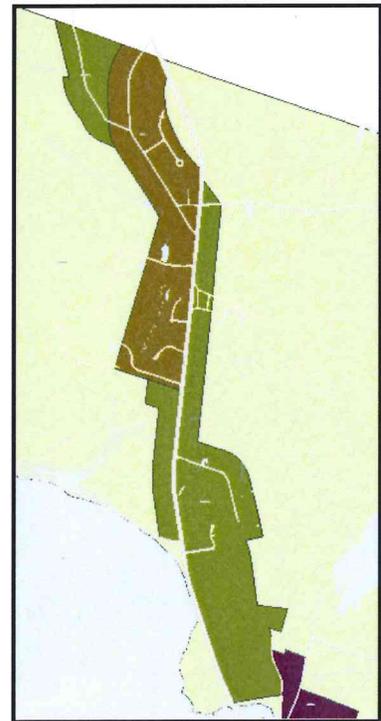
MINUTES:

Approval request of the January 8, 2013 Planning Board meeting minutes.

PUBLIC HEARINGS:

The City of Auburn received a petition to amend the Zoning Map in the area of Blanchard Road from Low Density Country Residential (LDCR) to Low Density Rural Residential (LDRR) to reduce the minimum lot size from 3 acres to 1 acre and for conformance with the City of Auburn Comprehensive Plan. The proposed changes include a strip of land 450' deep from the centerline of and parallel to Blanchard Road on the parcels at 16 Blanchard Road (PID # 367-035), 2527 Turner Road (PID 345-025), 117 Blanchard Road (PID# 345-024), 96 Blanchard Road (PID# 345-016) , 120 Blanchard Road (PID# 345-017), 145 Blanchard Road (PID# 345-023), 170 Blanchard Road (PID# 345-018), 48 Hathaway Street (PID# 345-032-001).

Based on the Comprehensive plan, staff will be recommending that the Planning Board and City Council consider applying the change to a larger area to include the existing areas within the LDCR zoning district along Turner Road, Hathaway Street, Stone Road and a portion of Oak Hill Road. The areas shown in dark green on the map to the right are being recommended for change from LDCR to LDRR. Changing any Agricultural zoning to residential is not recommended and not supported by the Comprehensive plan.



OLD BUSINESS:

None at this time.

MISCELLANEOUS:

- Discussion on complete streets with LA Bike Ped Committee representative.
- Lake Auburn TRC update.
- Comp Plan implementation update.

ADJOURNMENT

Auburn Planning Board Meeting Minutes

January 8, 2013

Roll Call

Full Members present: Dan Bilodeau, Robert Bowyer Presiding, Evan Cyr, Robert Gagnon, Emily Mottram, and Dan Philbrick.

Full Members absent: Marc Tardif

Associate Members present: Mia Poliquin Pross and Kenneth Bellefleur. Mr. Bellefleur participated as a Full Member for this meeting.

Also present: City Planner Eric Cousens who represented City staff.

Chairman Bowyer stated that any action on the December 11, 2012 minutes would be deferred until after the Public Hearing.

Public Hearings:

Auburn Business Development Corporation is seeking an amendment to a Major Subdivision and a Site Location of Development Permit for the proposed Auburn Industrial Subdivision, an eight (8) Lot Subdivision of 98.85+/- acres, to be located off Lewiston Junction Road, (Parcel ID #'s 118-002, 118-004 and a portion of 130-001), Pursuant to Chapter 60, Article XVI, Division 4, Subdivision of the City of Auburn. The purpose of the amendment is to update the plans to reflect the Army Corp. of Engineer and Maine DEP Permit Requirements and to extend the approval.

Chairman Bowyer explained the procedure that is used for Public Hearings.

Eric read the staff report.

Robert Gagnon asked if there was any access to Foster Road from lot #8. Eric replied that they were not intending to access Foster Road unless emergency vehicle access was required, and then there could be a gated entrance at that location.

There was continued discussion about the access to Foster Road amongst the Board members.

Chris Branch, Regional Manager for Sebago Technics, spoke about the project.

Emily Mottram asked how they were intending to access lot 8. Mr. Branch replied lot 8 would be accessed through lot 6.

Dan Bilodeau asked if there was any impact or changes to the existing recreational trail that was mapped out through there. He mentioned that skiers and snowmobilers went through that one area. Mr. Branch said that to the best of his knowledge there would not be any changes.

Bob Gagnon asked if they were intending to record all 12 plans and Mr. Branch replied they would be recording plans 3, 4, 5 and 6 and then renumbering them.

Chairman Bowyer requested that the plans have dates on them and that the formal decision of the Planning Board reference the specific plan dated. Mr. Branch stated that they put revision dates on all of their plans and planned to do so for this one also.

Open Public Hearing

A motion was made by Robert Gagnon and seconded by Dan Bilodeau to close the public hearing. After a vote, the motion carried 7-0-0.

A motion was made by Dan Bilodeau to approve the amendment to a Major Subdivision and a Site Location of Development Permit for the proposed Auburn Industrial Subdivision, an eight (8) Lot Subdivision of 98.85+/- acres, to be located off Lewiston Junction Road, (Parcel ID #'s 118-002, 118-004 and a portion of 130-001), Pursuant to Chapter 60, Article XVI, Division 4, Subdivision of the City of Auburn. The purpose of the amendment is to update the plans to reflect the Army Corp. of Engineer and Maine DEP Permit Requirements and to extend the approval.

The motion was seconded by Robert Gagnon.

Chairman Bowyer questioned why effluent was mentioned in the findings for this proposal since water and sewer was available. After some discussion, Chairman Bowyer felt contented with the findings as they were.

After a vote, the motion carried 7-0-0.

A request to approve the December 11, 2012 meeting minutes was made by staff.

A motion was made by Robert Gagnon and seconded by Emily Mottram to approve the December 11, 2012 Planning Board meeting minutes. After a vote, the motion carried 7-0-0.

OLD BUSINESS:

None at this time.

MISCELLANEOUS

Eric stated that the Water District (LAWPCA) was working on a water quality diagnostic study. He said there wasn't much information available yet as they were still gathering data and no decisions had been made as to what was causing the algae bloom at the lake.

Eric stated that the City Manager was working on the Technical Review Committee that the Comp Plan discussed and he was hoping to convince the City Council that we need some

specific professional help as far as identifying what other communities are doing to deal with similar issues. He said we will be developing an RFP for that study and looking for input from the Board to make sure it addresses all of the issues that have been discussed throughout the Comprehensive Planning process.

Eric stated the Planning Board approval for the sludge composting facility in South Auburn was going to expire in the spring. He said that LAWPCA operated the facility and was in the process of putting together plans that will identify how they have changed over the years and what their plans are for the future.

ADJOURNMENT

A motion was made by Robert Gagnon and seconded by Emily Mottram to adjourn. After a vote, the motion carried 7-0-0.

City of Auburn, Maine

"Maine's City of Opportunity"

Office of Planning & Permitting

Planning Board Report

To: Auburn Planning Board

From: Eric J. Cousens, City Planner

Re: Public hearing for a recommendation to the City Council on a proposal to amend the City Of Auburn Zoning Map in the area of Blanchard Road, Turner Road, Hathaway Street, Stone Road and a portion of Oak Hill Road from Low Density Country Residential (LDCR) to Low Density Rural Residential (LDRR).

Date: February 12, 2013 Planning Board Meeting

PROPOSAL

The City of Auburn has received a petition from at least twenty-five (25) registered voters to amend the zoning map in the area of Blanchard Road. The proposed changes include a strip of land 450' deep from the centerline of and parallel to Blanchard Road on the parcels at 16 Blanchard Road (PID # 367-035), 2527 Turner Road (PID 345-025), 117 Blanchard Road (PID# 345-024), 96 Blanchard Road (PID# 345-016), 120 Blanchard Road (PID# 345-017), 145 Blanchard Road (PID# 345-023), 170 Blanchard Road (PID# 345-018), 48 Hathaway Street (PID# 345-032-001).

It is staff's opinion that the proposal is consistent with the comprehensive plan and would correct some existing nonconformities for parcels along Blanchard Road. Based on the Comprehensive plan, staff recommends that the Planning Board consider applying the change to a larger area to include the existing areas within the LDCR zoning district along Turner Road, Hathaway Street, Stone Road and a portion of Oak Hill Road. The areas shown in dark green with red outlines on the attached map show the difference between the "petitioned map change area" and the "comp plan and staff recommended map change area." Public notice has been sent to property owners within 500' of the larger area to ensure that the Board has input from any one affected by either change.

I was told by some residents that the area under petition was already zoned Rural Residence in the past (essentially the same as the proposed LDRR) and wanted to provide the history of those changes for the Boards' discussion. Much of the area (750' strip along Rt. 4) was in the RR District on the 1967-68 zoning maps with additional area added in 1984. In 1985 there is a limited record of zoning amendments in the Planning Board Minutes but none appear to include the Rt.4 and Blanchard Road area that we are currently discussing. The Council minutes, however, do include discussion on the Rt. 4 and North Auburn area. It is my

understanding, based on the file review and discussions with staff from that period, that the Council unveiled its own zoning plan for much of the City without review and recommendation by the Planning Board as required by ordinance. The council then passed a large scale map amendment including many new LDCR zoning districts in formerly agricultural areas, some of which were owned by Councilors and their families. In a landmark zoning case, the Inhabitants of the City of Auburn sued the Auburn City Council for acting inconsistently with the City's Comprehensive Plan. When the Inhabitants prevailed, many of the changes were deemed illegal and reversed. The court decision came out shortly before an election and the Council composition changed substantially that year. It appears that the LDCR zone was considered consistent with the Comprehensive Plan in some residential areas at that time and remained in place in much of the area that we are currently discussing.

The City's Comprehensive Plan illustrates the subject area as "Residential – Low Density" as shown on the future land use map.

Page 102, Auburn Comprehensive Plan: 2. CATEGORY: LIMITED GROWTH AREAS, TYPE A: DEVELOPMENT AREAS, DESIGNATION: RESIDENTIAL

Low Density Residential Development District (LDRD)

Objective – Allow for low density residential development (primarily detached single family homes) on the fringe of the built up area where public services can be reasonably provided, but where public sewerage is not available and is not likely to be available in the foreseeable future (see Figure 2.3).

Allowed Uses – The allowed uses in the Low Density Residential Development District should be similar to the uses currently allowed in the existing Rural Residential District, including single and two-family homes and town-house style units.

Development Standards – The residential density in the Low Density Residential Development District should be one unit per acre. The development standards should be similar to the standards for the existing Rural Residential District, except for the lot width/frontage requirement. The current frontage requirements along existing public roads should be maintained, including the provision for larger frontage in areas currently zoned Very Low Density Country Residential. The frontage standards should allow lot widths of as little as 125-150 feet for lots that front on a new internal street, and for back lots with as little as 50 feet of frontage on an internal street. The standards should allow the size of individual lots to be reduced and the lots clustered to allow a portion of a development to be preserved as open space, provided that adequate provisions can be made for on-site sewage disposal and water supply and the overall density requirement is met.

The LDRR zoning district conforms to the "Residential – Low Density" classification. Much of the area along Rt. 4 is already in the RR zoning district as can be seen on the attached map.

Staff recommends that the Board consider expanding the amended area to include the area outlined in red on the attached map and currently zoned LDCR.

Based on the Comprehensive Plan and Future Land Use Map, staff is supportive of the proposal whether the or not the Board sees fit to expand upon the petitioned area.

II. PLANNING FINDINGS / CONSIDERATIONS:

Staff has evaluated the proposed rezoning and suggests the following findings:

- A. The City's Future Land Use Map shows the area as "Residential – Low Density". The Low Density Rural Residential zoning designation is consistent with the future land use map.

III. RECOMMENDATION:

Staff recommends that the Planning Board forward a favorable recommendation to the City Council to rezone the property in the area of Blanchard Road, Turner Road, Hathaway Street, Stone Road and a portion of Oak Hill Road from Low Density Country Residential (LDCR) to Low Density Rural Residential (LDRR) as outlined on the attached map, pursuant to Chapter 60, Article XVII, Division 2 of the Ordinances of the City of Auburn and based on the above findings.



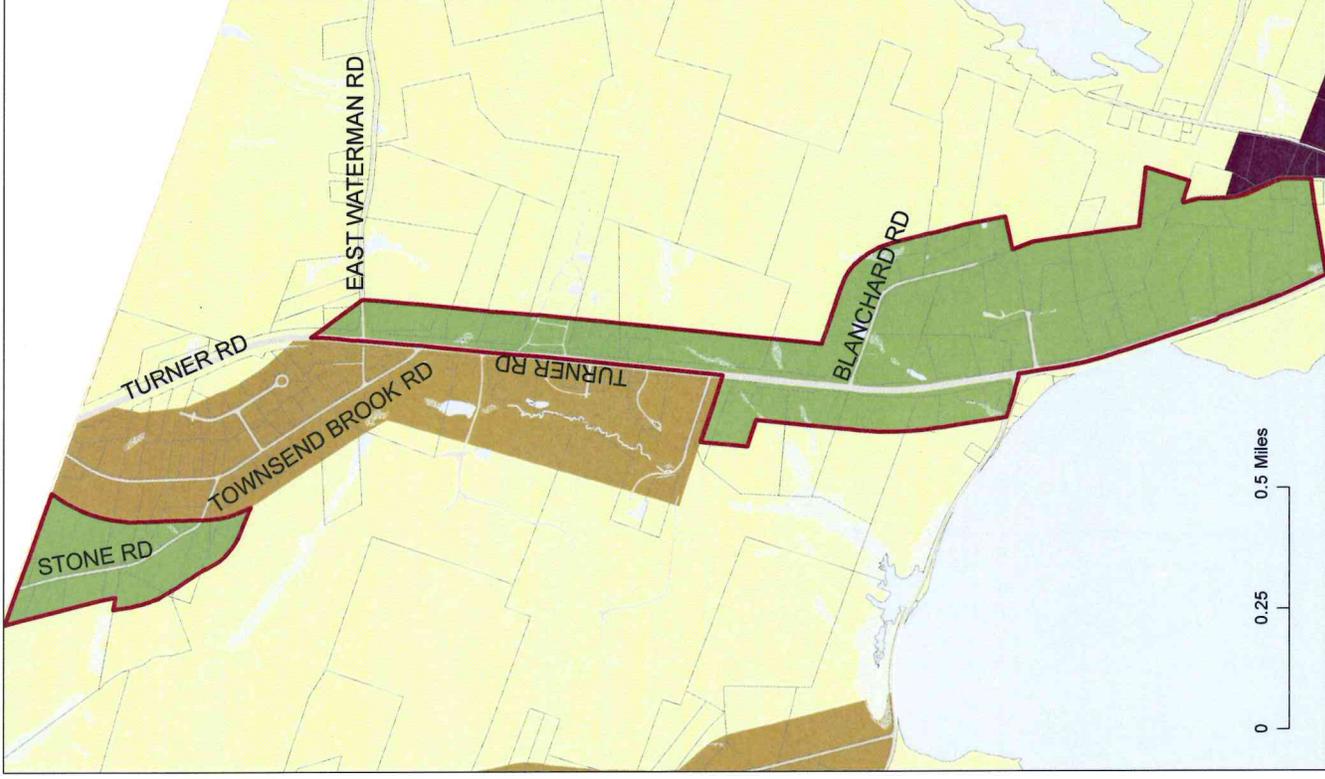
Eric Cousens
Director of Planning and Permitting

Proposed Zoning Amendment

Petitioned Map Change Area



Comp Plan & Staff Recommended Map Change Area



City of Auburn Maine

- Current Zoning
- AG - Agriculture and Resource Protection
 - LDCR - Low Density Country Residential
 - RR - Rural Residential
 - SR - Suburban Residential
- Proposed Map Change Area

The data used for this map were derived from Auburn's digital databases. Although we strive to provide the best data we can, the City of Auburn cannot accept any responsibility for any errors, omissions, or positional inaccuracies that may appear in the information displayed on this map. Users of the information displayed on this map are strongly cautioned to verify all information before making any decisions.

