



City of Auburn, Maine

Planning & Permitting

Eric Cousens, Director

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

Development Review Application

PROJECT NAME: Twin City Thunder Hockey Academy

PROPOSED DEVELOPMENT ADDRESS: 1400 Hotel Road Auburn Maine 04210

PARCEL ID #: 217-071

REVIEW TYPE: Site Plan ☒
Subdivision ☐

Site Plan Amendment ☐
Subdivision Amendment

PROJECT DESCRIPTION: Existing site & building to be repurposed as a Hockey training area with dormitory.

CONTACT INFORMATION:

Applicant

Name: Cam Robichaud

Address: 153 Whitney Street

City / State: Auburn, Maine

Zip Code: 04210

Work #:

Cell #: 207-784-2941

Fax #: 207-784-3856

Home #:

Email: cam@twincitythunder.com

Property Owner

Name: Godspeed LLC

Address: 1400 Hotel Road

City / State: Auburn, Maine

Zip Code: 04210

Work #: (800)-649-4197

Cell #:

Fax #:

Home #:

Email:

Project Representative

Name: Travis Nadeau c/o Platz Assoc.

Address: Two Great Falls Plaza

City / State: Auburn, Maine

Zip Code: 04210

Work #: 207-784-2941

Cell #: 207-740-7603

Fax #: 207-784-3856

Home #:

Email: tnadeau@platzassocaites.com

Other professional representatives for the project (surveyors, engineers, etc.),

Name:

Address:

City / State

Zip Code

Work #:

Cell #:

Fax #:

Home #:

Email:

PROJECT DATA

The following information is required where applicable, in order complete the application

IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area	<u>203,646</u>	sq. ft.
Proposed Total Paved Area	<u>41,717</u>	sq. ft.
Proposed Total Impervious Area	<u>203,646</u>	sq. ft.
Proposed Impervious Net Change	<u>0</u>	sq. ft.
Impervious surface ratio existing	<u>32.9</u>	% of lot area
Impervious surface ratio proposed	<u>32.9</u>	% of lot area

BUILDING AREA/LOT COVERAGE

Existing Building Footprint	<u>118,172</u>	sq. ft.
Proposed Building Footprint	<u>118,172</u>	sq. ft.
Proposed Building Footprint Net change	<u>0</u>	sq. ft.
Existing Total Building Floor Area	<u>58,866</u>	sq. ft.
Proposed Total Building Floor Area	<u>58,866</u>	sq. ft.
Proposed Building Floor Area Net Change	<u>0</u>	sq. ft.
New Building	<u>NO</u>	(yes or no)
Building Area/Lot coverage existing	<u>9.7</u>	% of lot area
Building Area/Lot coverage proposed	<u>9.7</u>	% of lot area

ZONING

Existing	<u>General Business</u>
Proposed, if applicable	<u>No Change</u>

LAND USE

Existing	<u>Business</u>
Proposed	<u>Dormitory</u>

RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units	<u>0</u>
Proposed Number of Residential Units	<u>12 sleeping rooms</u>
Subdivision, Proposed Number of Lots	<u>n/a</u>

PARKING SPACES

Existing Number of Parking Spaces	<u>100 spaces available</u>
Proposed Number of Parking Spaces	<u>No Change</u>
Number of Handicapped Parking Spaces	<u>2</u>
Proposed Total Parking Spaces	<u>12 required with 100 available</u>

ESTIMATED COST OF PROJECT: \$277,125.00 budget

DELEGATED REVIEW AUTHORITY CHECKLIST

SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	<u>203,646</u> sq. ft.
Proposed Disturbed Area	<u>0</u> sq. ft.
Proposed Impervious Area	<u>203,646</u> sq. ft.

1. If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.
2. If the proposed impervious area is greater than one acre including any impervious area created since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.
3. If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.
4. If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.

TRAFFIC ESTIMATE

Total traffic estimated in the peak hour-existing (Since July 1, 1997) _____passenger car equivalents (PCE)

Total traffic estimated in the peak hour-proposed (Since July 1, 1997) _____passenger car equivalents (PCE)

If the proposed increase in traffic exceeds 100 one-way trips in the peak hour then a traffic movement permit will be required.

Zoning Summary

1. Property is located in the GENERAL BUSINESS zoning district.
2. Parcel Area: 14.20 acres / 618,552 square feet(sf).

Regulations	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	<u>10,000 SQFT</u>	<u>/ 618,552</u>
Min Street Frontage	<u>100'</u>	<u>/ 250'</u>
Min Front Yard	<u>25'</u>	<u>/ 25' existing</u>
Min Rear Yard	<u>25'</u>	<u>/ 25' existing</u>
Min Side Yard	<u>25'</u>	<u>/ 25' existing</u>
Max. Building Height	<u>45'</u>	<u>/ 16' existing</u>
Use Designation	<u>R-1 (Hotel/Dormitory)</u>	
Parking Requirement	<u>1 space/ per Unit</u>	
Total Parking:	<u>12 required / 100 provided+</u>	
Overlay zoning districts (if any):	<u>None / /</u>	
Urban impaired stream watershed?	YES/ <input checked="" type="checkbox"/> NO If yes, watershed name _____	

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submissions shall include fifteen (15) complete packets containing the following materials:

1. 5 Full size plans and 10 smaller (no larger than 11" x 17") plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed by the property owner or designated representative.
(NOTE: All applications will be reviewed by staff and any incomplete application will not be accepted until all deficiencies are corrected.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

Refer to the application checklist for a detailed list of submittal requirements.

To view the City of Auburn Zoning Ordinance, go to:

www.auburnmaine.gov under Government, select Departments of the City, then Planning, Permitting & Code. On the left menu, choose Subdivisions, Land Use, Zoning Ordinance. Or click HERE.



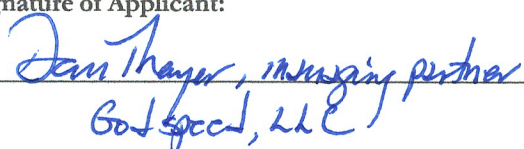
For additional information on Site Plan Review, please click HERE or scan code:

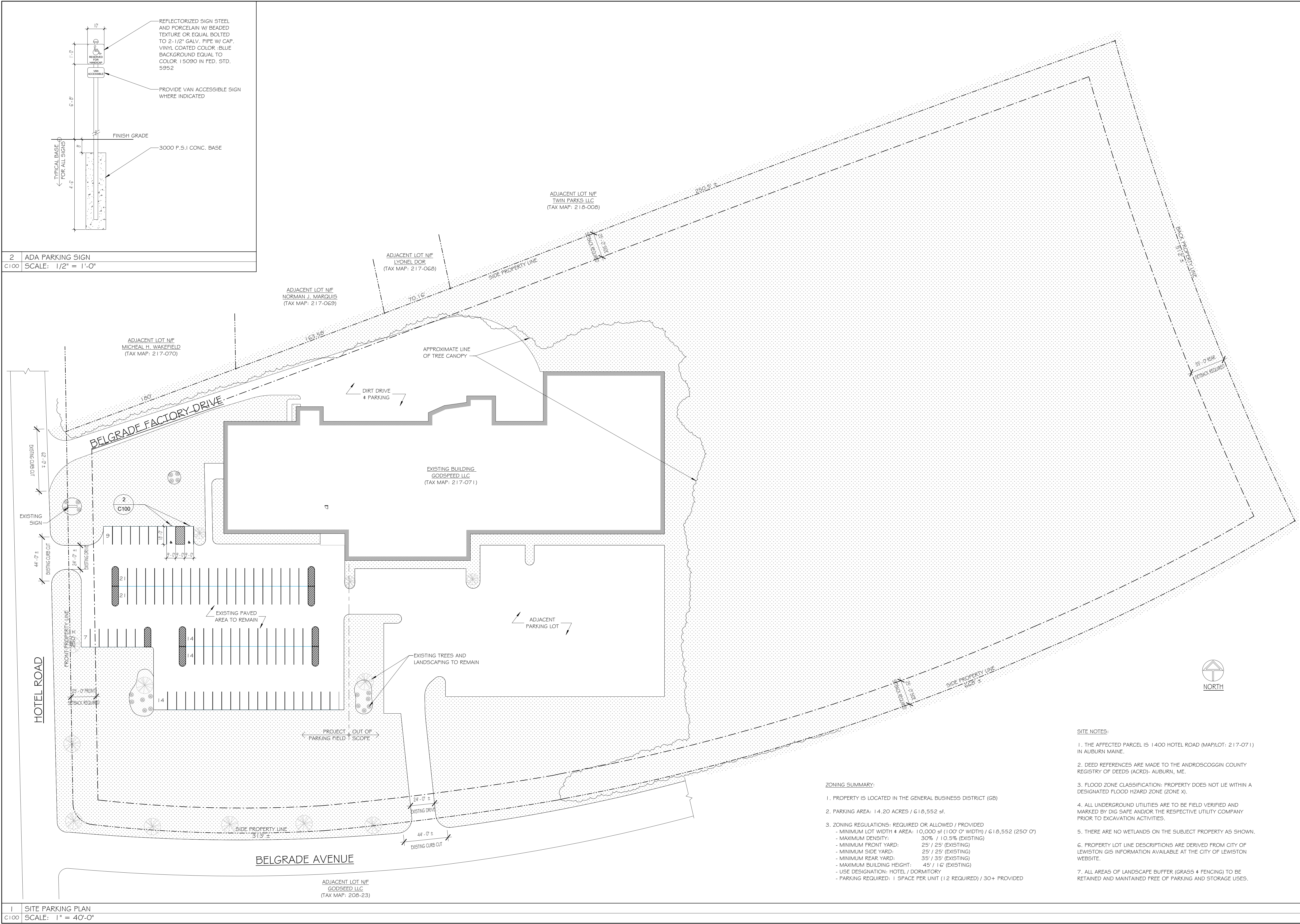


For additional information on Special Exceptions, please click HERE or scan code:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.

Signature of Applicant: 	Date: <u>9/6/2022</u>
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2	ADA PARKING SIGN
C100	SCALE: 1/2" = 1'-0"

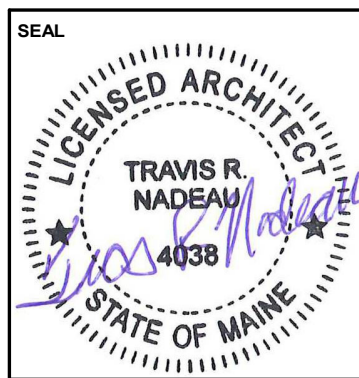
1	SITE PARKING PLAN
C100	SCALE: 1" = 40'-0"

- ZONING SUMMARY:**
- PROPERTY IS LOCATED IN THE GENERAL BUSINESS DISTRICT (GB)
 - PARKING AREA: 14.20 ACRES / 618,552 sf.
 - ZONING REGULATIONS: REQUIRED OR ALLOWED / PROVIDED
 - MINIMUM LOT WIDTH & AREA: 10,000 sf (100' 0" WIDTH) / 618,552 (250' 0")
 - MAXIMUM DENSITY: 30% / 10.5% (EXISTING)
 - MINIMUM FRONT YARD: 25' / 25' (EXISTING)
 - MINIMUM SIDE YARD: 25' / 25' (EXISTING)
 - MINIMUM REAR YARD: 35' / 35' (EXISTING)
 - MAXIMUM BUILDING HEIGHT: 45' / 16' (EXISTING)
 - USE DESIGNATION: HOTEL / DORMITORY
 - PARKING REQUIRED: 1 SPACE PER UNIT (12 REQUIRED) / 30+ PROVIDED

- SITE NOTES:**
- THE AFFECTED PARCEL IS 1400 HOTEL ROAD (MAP/LOT: 217-071) IN AUBURN MAINE.
 - DEED REFERENCES ARE MADE TO THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS (ACRD)- AUBURN, ME.
 - FLOOD ZONE CLASSIFICATION: PROPERTY DOES NOT LIE WITHIN A DESIGNATED FLOOD HZARD ZONE (ZONE X).
 - ALL UNDERGROUND UTILITIES ARE TO BE FIELD VERIFIED AND MARKED BY DIG SAFE AND/OR THE RESPECTIVE UTILITY COMPANY PRIOR TO EXCAVATION ACTIVITIES.
 - THERE ARE NO WETLANDS ON THE SUBJECT PROPERTY AS SHOWN.
 - PROPERTY LOT LINE DESCRIPTIONS ARE DERIVED FROM CITY OF LEWISTON GIS INFORMATION AVAILABLE AT THE CITY OF LEWISTON WEBSITE.
 - ALL AREAS OF LANDSCAPE BUFFER (GRASS & FENCING) TO BE RETAINED AND MAINTAINED FREE OF PARKING AND STORAGE USES.

PLATZ ASSOCIATES
Architects - Engineers
Construction Managers
Tel 207-784-2941
Fax 207-784-3856
Two Great Falls Plaza, Auburn, Maine 04210

Proposed Renovation of:
**Twin City Thunder
Hockey Academy**
1400 Hotel Road,
Auburn, Maine, 04210



ORIGINAL DATE: 06/01/2022		
DRAWING ISSUE		
No.	DESCRIPTION	DATE

JOB NO.
202206

DRAWN BY WMC	CHECKED BY TRN
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SHEET TITLE SITE PARKING PLAN

SHEET

C100

Twin City Thunder Hockey Academy
1400 Hotel Road, Auburn, Maine, 04210

PROJECT NUMBER:

202206

CODE REVIEW

APPLICABLE STANDARDS

Maine Uniform Building & Energy Code (MUBEC)
International Building Code (IBC) 2018
International Energy Conservation Code (IECC) 2015
ASHRAE 62.1 Ventilation for Acceptable Indoor Air Quality 2007
ASHRAE 62.2 Ventilation for Acceptable Indoor Air Quality in Low-Rise Residential Buildings 2007
ASHRAE 90.1 Energy Standard for Buildings Except Low-Rise Residential Buildings 2007
ASTM E1463-06 Radon Standard (Maine Model Standard) 2006
NFPA 1 Fire Prevention Code 2018
NFPA 10 Portable Fire Extinguisher Code 2007
NFPA 13 Fire Sprinkler Installation Code 2016
NFPA 101 Life Safety Code 2018
NFPA 211 Chimney Code 2006
State of Maine Internal Plumbing Code
National Electric Code 2017
ADA, ADAAG 2004, ANSI 117.1 2020

BUILDING INFORMATION

Fit up / Renovation Footprint & GYM 11,085 sf (1 Story)
Level of exit discharge = 1st Floor
Existing building, formerly marketing business
Type 3B Construction
Full NFPA 13 sprinkler system, supervised
Full Fire Alarm system proposed, monitored

CLASSIFICATION OF USE AND OCCUPANCY

International Building Code- 2018
Section 303.3: Assembly A-2 (Cafeteria)
Section 303.4: Assembly A-3 (Gymnasiums)
Section 310.3: Residential R-2 (Dormitory Including Classrooms per Section 303.12)

507.4.1 Mixed Occupancy w/ Residential & Assembly

Table 508.4 Required separation of occupancies
Residential – Assembly = 1 hour with sprinkler

420.2 Separation Walls
Walls separating dwelling units & sleeping units shall be constructed of fire partitions in accordance with 708.
"Fire Partition" – a vertical assembly of materials designed to restrict the spread of fire in which openings are protected."
420.5 Automatic sprinkler system
Group R shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8
420.6 Fire alarm system and smoke alarms
Fire alarm systems and smoke alarms shall be provided in Group R-2 occupancies in accordance with Sections 907.2.6, 907.2.8, 907.2.9, 907.2.10

NFPA 101- Life Safety Code- 2018
6.1.2 Assembly (Ch 12)
6.1.8.1.4 Dormitory (Ch 28)

6.1.14.4 Separated Occupancies
Table 6.1.14.4 Dormitories - Assembly (A-1)
2-Hour separation required*
(may be reduced by 1 hour with automatic sprinklers, no less than 1 hour)

CONSTRUCTION CLASSIFICATION / TYPE / FIRE RESISTANCE RATING

International Building Code- 2018
Table 601
Type 3B
2-Hour Exterior Bearing Walls
0 hour fire resistance rating required for all other building elements
708 Fire Partitions
Separation walls are required in Group R Occupancies
708.3 Fire-resistance rating in Group R Occupancies
Fire partitions shall have a fire resistance rating of not less than 1 hour.
Exception:
Corridor walls: greater than 10 people & sprinkler system - ½ hour walls permitted
Dwelling units & sleeping unit separation in type 5B with sprinkler system = ½ hour walls permitted

NFPA 220 - 2018 - Type 3B

GENERAL BUILDING HEIGHTS, AREA & CONSTRUCTION TYPE LIMITATIONS

International Building Code - 2018
Table 504.4 & 506.2
R-2 / type 3B = 3 story above grade plane allowed - 48,000 sf
A-3 / type 3B = 3 story above grade plane allowed - 28,500 sf
A-2 / type 3B = 3 story above grade plane allowed - 28,500 sf

NFPA 101- Life Safety Code- 2018
26.1.6 Minimum Construction Requirements - No special requirements
30.1.6 Minimum Construction Requirements - No special requirements
38.1.6 Minimum Construction Requirements - No special requirements

OCCUPANT LOAD FACTOR

International Building Code- 2018
Table 1004.1.2 Max floor area allowed by occupant
Residential 200 gross sf / person
Business 100 gross sf / person
NFPA 101- Life Safety Code- 2018
7.3.1.2 Residential 200 sf gross / person
Business 150 sf gross / person
Storage 500 sf gross / person
Max # of occupants
apartments(R-2) = 6
shelter space (R-3) = 8
business office (B) = 10
Storage = 6
30 people total

FIRE PROTECTION (SPRINKLER) REQUIREMENTS

International Building Code- 2018
903.2.1.2: Group A-2: automatic sprinkler required @ 5,000 sf / 100+ Occupants
903.2.1.3: Group A-3: Sprinkler required @ > 12,000 sf / 300+ Occupants
903.2.8: Sprinkler Required (Per Section 420.4)
903.2.8 Group R
An automatic sprinkler system is required

NFPA 101- Life Safety Code- 2018
12.3.5.1 Auto Sprinkler Not Required Under 200 Occupants
28.3.5.1 Automatic sprinkler system required

FIRE ALARM SYSTEM REQUIREMENTS (detection, alarm, and communication)

International Building Code- 2018
907.2.8 Group R-2
Manual fire alarm system – Required (Per Section 420.5)

NFPA 101- Life Safety Code- 2018
28.3.4.1.1 Fire alarm system - Required
12.3.4.1.2 Fire alarm system - Required in Mixed Occupancy Buildings

- G000 COVER SHEET
- C100 SITE PARKING PLAN
- AR100 EXISTING FLOOR PLAN
- A002 CONSTRUCTION TYPES
- A003 DOOR TYPES & SCHEDULES
- A100 FIRST FLOOR PLAN
- A110 LIFE SAFETY PLAN
- A300 INTERIOR DETAILS & ELEVATIONS
- A301 ADA DETAILS & INTERIOR ELEVATIONS
- A400 REFLECTED CEILING PLAN - RATINGS DETAILS

MEANS OF EGRESS COMPONENTS

International Building Code- 2018
Section 507.4.1(3): Exit Doors From Group A-2 Occupancies shall discharge directly to exterior & existing NFPA 13 sprinkler system to remain
Table 1017.2 Exit access travel distance – residential use with sprinkler = 250' max with existing NFPA 13 sprinkler system
NFPA 101- Life Safety Code- 2018
7.1.3.1 Exit access corridors
Corridors used as exit access and serving an area having an occupant load exceeding 30 shall be separated from other parts of the building by walls having not less than a 1-hour fire resistance rating in accordance with 8.3
7.2.1.3.5 In existing buildings, where the door opening discharges to the outside or to an exterior balcony or exterior exit access, the floor level outside the door opening shall be permitted to be one step lower than that of the inside, but shall be not more than 8" lower.
7.2.1.3.6 In existing buildings, a door assembly at the top of a stair shall be permitted to open directly at a stair provided that the door leaf does not swing over the stair and that the door opening serves an area with an occupant load of fewer than 50 persons.
7.2.2.2.1.2 A New Stair Width = 36" min where total occupant load <50 persons, except projections of 4.5" at or below handrail height on each side.
7.2.2.2.1.2 B New Stair Width = 44" min, where occupant load <2000 persons, except projections of 4.5" at or below handrail height on each side.
Table 7.2.2.2.1.1 A New Stairs.
Riser height = 7" max, 4" min
Tread depth = 11" min
Clear head height = 6'8" min
Max height bet. Landings = 12'
Table 7.2.2.2.1.1 B Existing Stairs.
Minimum width = 36"
Riser height = 8" max
Tread depth = 9" min
Clear head height = 6'8" min
Max height bet. Landings = 12'
7.2.2.4.4 Handrails: New handrails on stairs shall not be less than 34", not more than 38" above the surface of the tread.
Existing required handrails shall not be less than 30", not more than 38" above the surface of the tread.
7.2.2.4.5.2 Guards: Guards shall not be less than 42" high, located where any change in elevation exceeds 30"
7.4 Number of exits: From balcony, mezzanine, story = 2 min
7.9 Emergency Lighting
Shall be provided for means of egress in accordance with 7.9
7.10.1.2.1 Means of EgressMust be visible from any direction of exit access
7.10.1.3 Tactile signage required
28.3.6.1.3: In Sprinklered Buildings, Corridor Walls shall have 1/2" hour Fire Rating

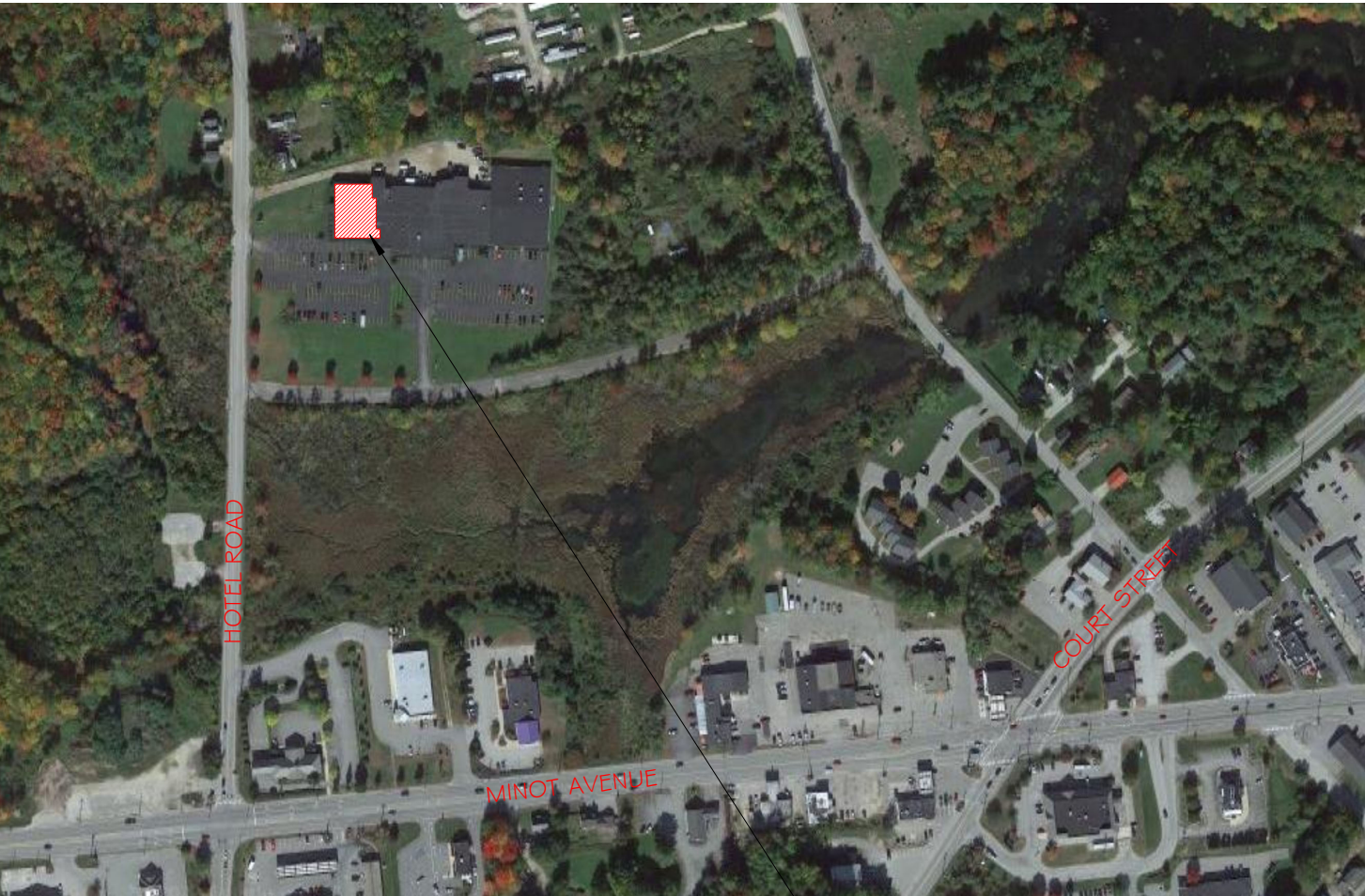
SPECIFIC REQUIREMENTS FOR OCCUPANCY TYPE

NFPA 101- Life Safety Code- 2018
10.2.8 Interior wall and ceiling finish
(note: NFPA 2012 Edition) Other than as required in 10.2.4, where an approved auto sprinkler system is installed in accordance with Section 9.7, Class C interior wall and ceiling finish materials shall be permitted in any location where Class B is required, and Class B interior wall and ceiling finish shall be permitted in any location where class A is required.
12.2.1.2: Where Bathtubs abd Showers are present, Grab Bars Shall be Provided per CH24.28
28.3.7.2: In Sprinklered Buildings, Dormitory Rooms to be Separated by 1/2 hour Fire Rated Walls

Dormitories
Dead end corridors – 50' Max.
Common path of travel – 50' Max.
Travel distance – 200' Max.

Assembly
Dead end corridors – 20' Max.
Common path of travel – 20' Max. (75' Max. @ 50< Occupants)
Travel distance – 200' Max. (250' Max. with Sprinkler per section 9.7)

26.2.1.1 Primary means of escape
Every sleeping room and living area shall have access to a primary means of escape located to provide a safe path of travel to the outside. (interior stair, exterior stair, or a fire escape stair)
26.2.1.2 Secondary means of escape
In addition to the primary route, every sleeping room and living area shall have access to a secondary means of escape.
26.2.2.4.1 Interior stairs shall be enclosed with ½ hour fire barriers, smoke actuated self-closing doors.



AREA PLAN
N.T.S.

PROJECT LOCATION -
HOTEL ROAD
AUBURN, ME.

ARCHITECT:

PLATZ ASSOCIATES
Tel 207-784-2941 Architects - Engineers
Fax 207-784-3856 Construction Managers
Two Great Falls Plaza, Auburn, Maine 04210

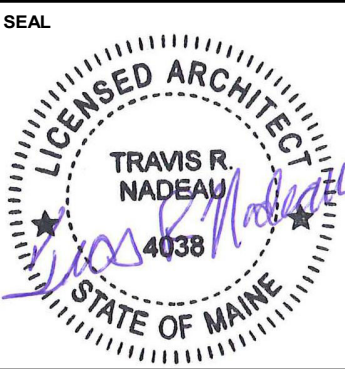
CONSTRUCTION MANAGER

CORPORATE CONSTRUCTION

66 HIGH ST., SABATTUS, MAINE 04280
TEL. (207) 577-0377

PLATZ ASSOCIATES
Architects - Engineers
Construction Managers
Tel 207-784-2941
Fax 207-784-3856
Two Great Falls Plaza, Auburn, Maine 04210

Twin City Thunder
Hockey Academy
1400 Hotel Road,
Auburn, Maine, 04210



ORIGINAL DATE: 06/01/2022		
DRAWING ISSUE		
No.	DESCRIPTION	DATE

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202206

DRAWN BY WMc	CHECKED BY TRN
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SHEET TITLE COVER SHEET

SHEET G000



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

Construction Permit

No. 28863

In accordance with the provisions of M.R.S.A. Title 25, Chapter 317, Sec.317 and Title 5, Section 4594-F, permission is hereby granted to construct or alter the following referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from application form/plans shall be made without prior approval in writing. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Each permit issued shall be displayed at the site of construction.

Building: TWIN CITY THUNDER HOCKEY ACADEMY
Location: 1400 HOTEL RD, AUBURN, ME 04210-4026
Owner: CAM ROBICAUD
Owner Address: CAM ROBICAUD
153 WHITNEY ST
AUBURN, ME 04210-6018

Occupancy Type: Hotel/Dormitories
Secondary Use: Other
Use Layout: Separated Use
Supervised Sprinkler System
Monitored Fire Alarm System
Barrier Free
Construction Mode: Renovation
Unprotected Ordinary: Type III (200)
Final Number of Stories: 1

Permit Date: 08/29/2022

Expiration Date: 02/28/2023



COMMISSIONER OF PUBLIC SAFETY

Copy 1 - Owner



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

Construction Permit

No. 28863

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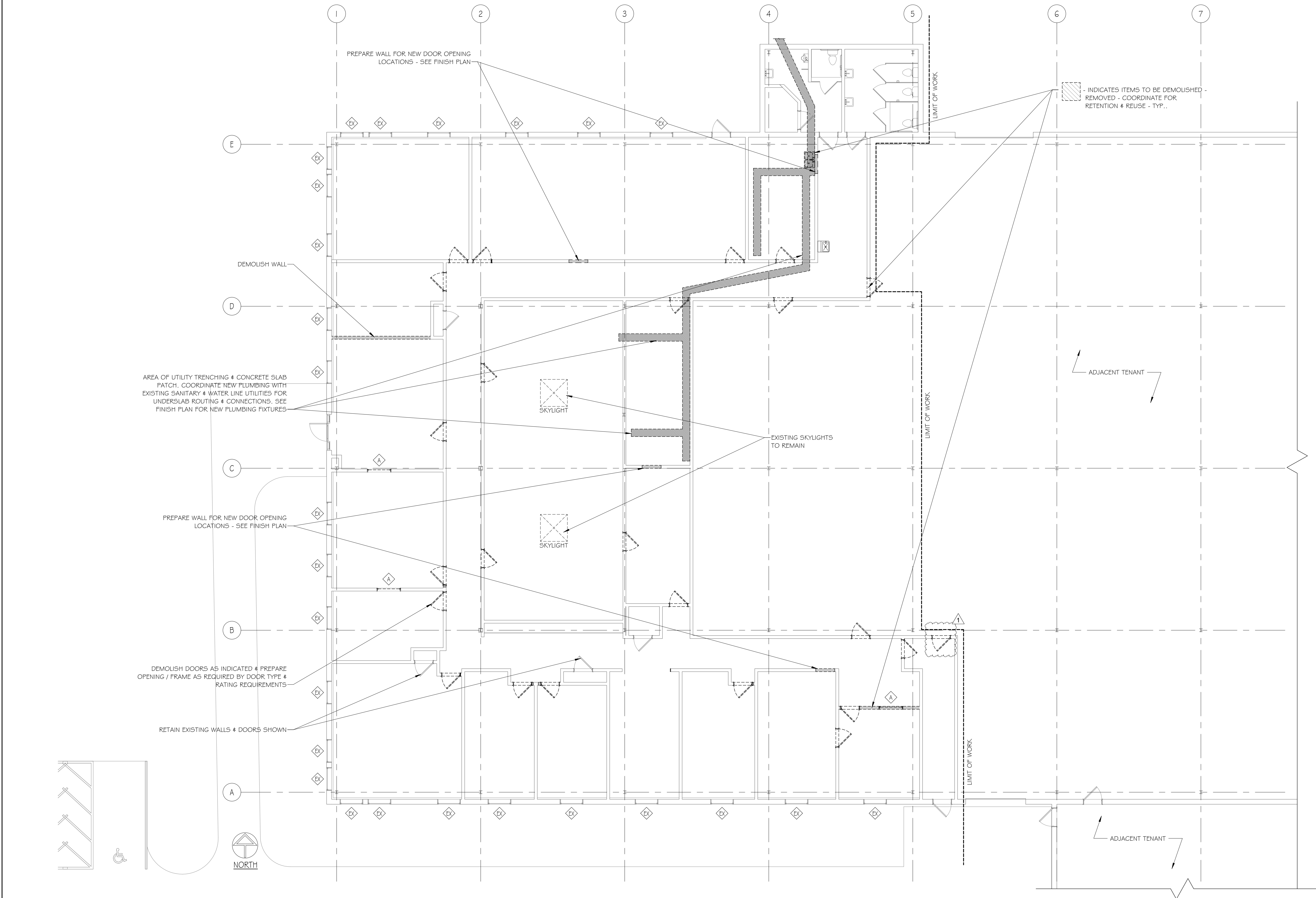
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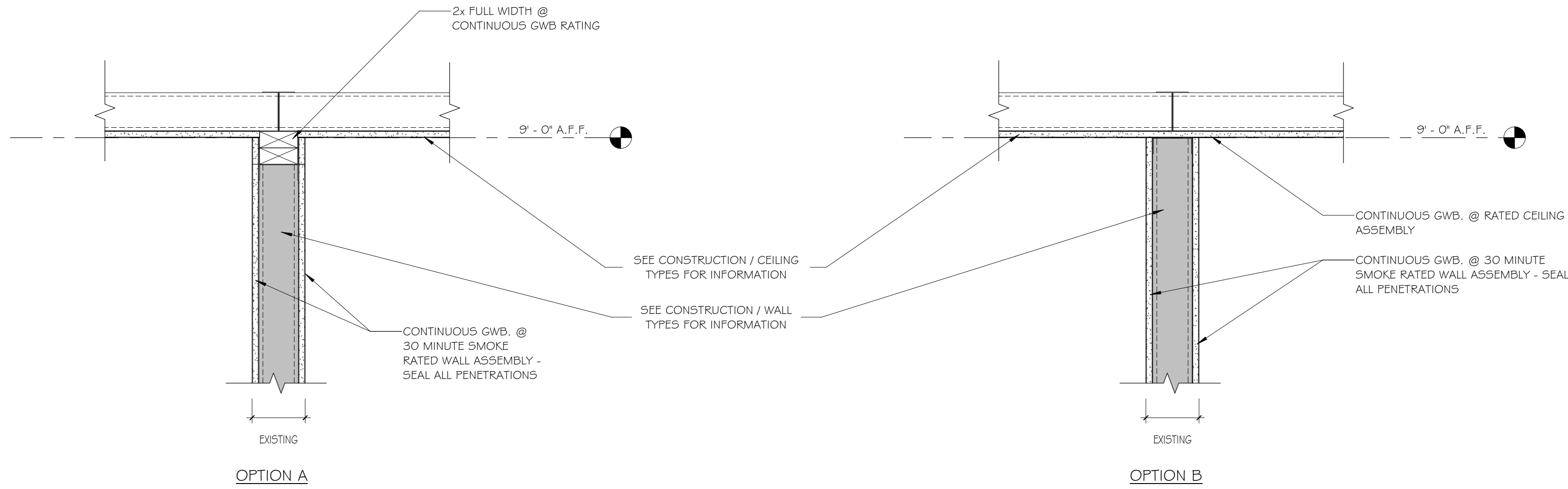
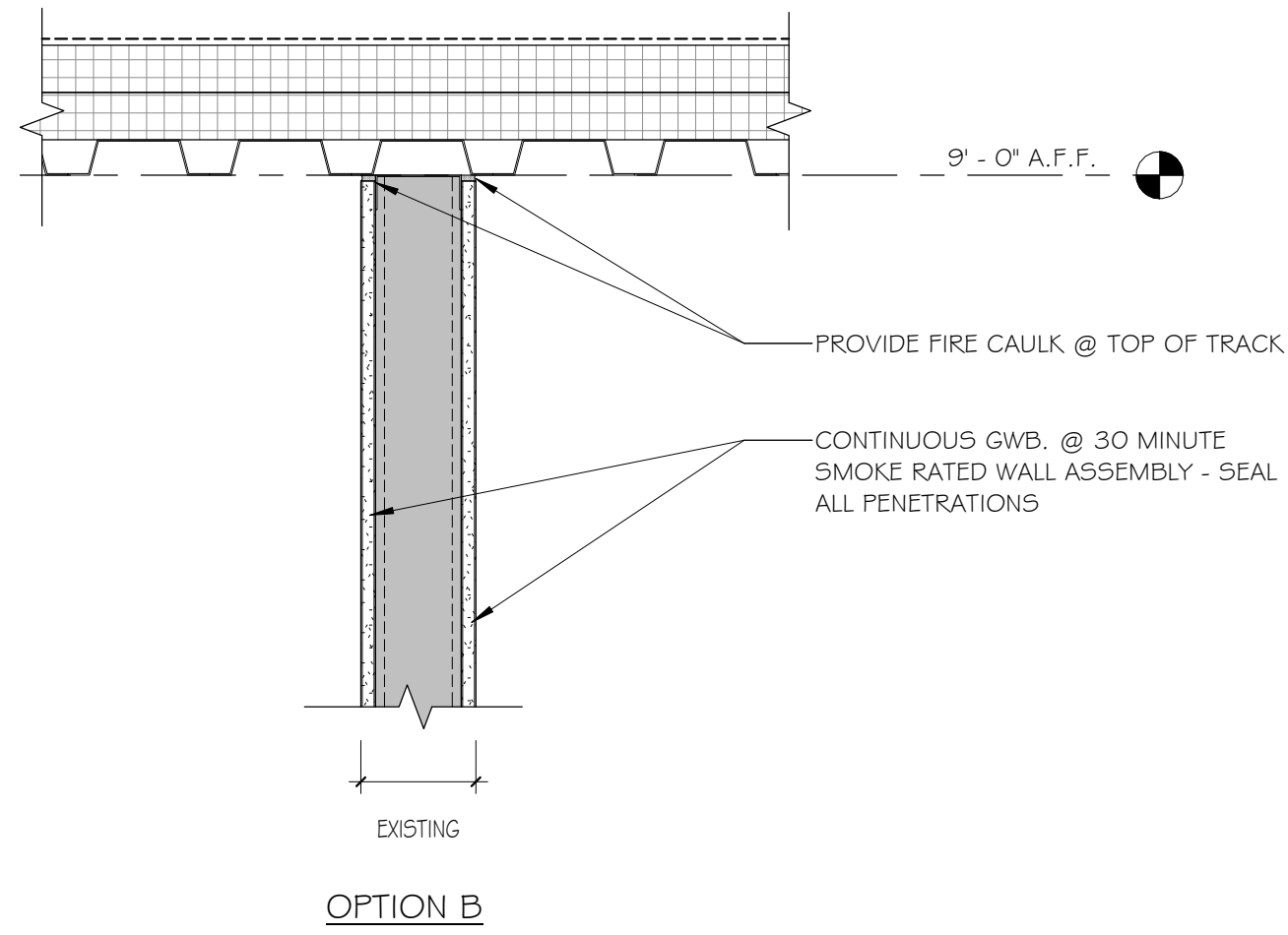
Permit Date: 08/29/2022

Expiration Date: 02/28/2023

COMMISSIONER OF PUBLIC SAFETY

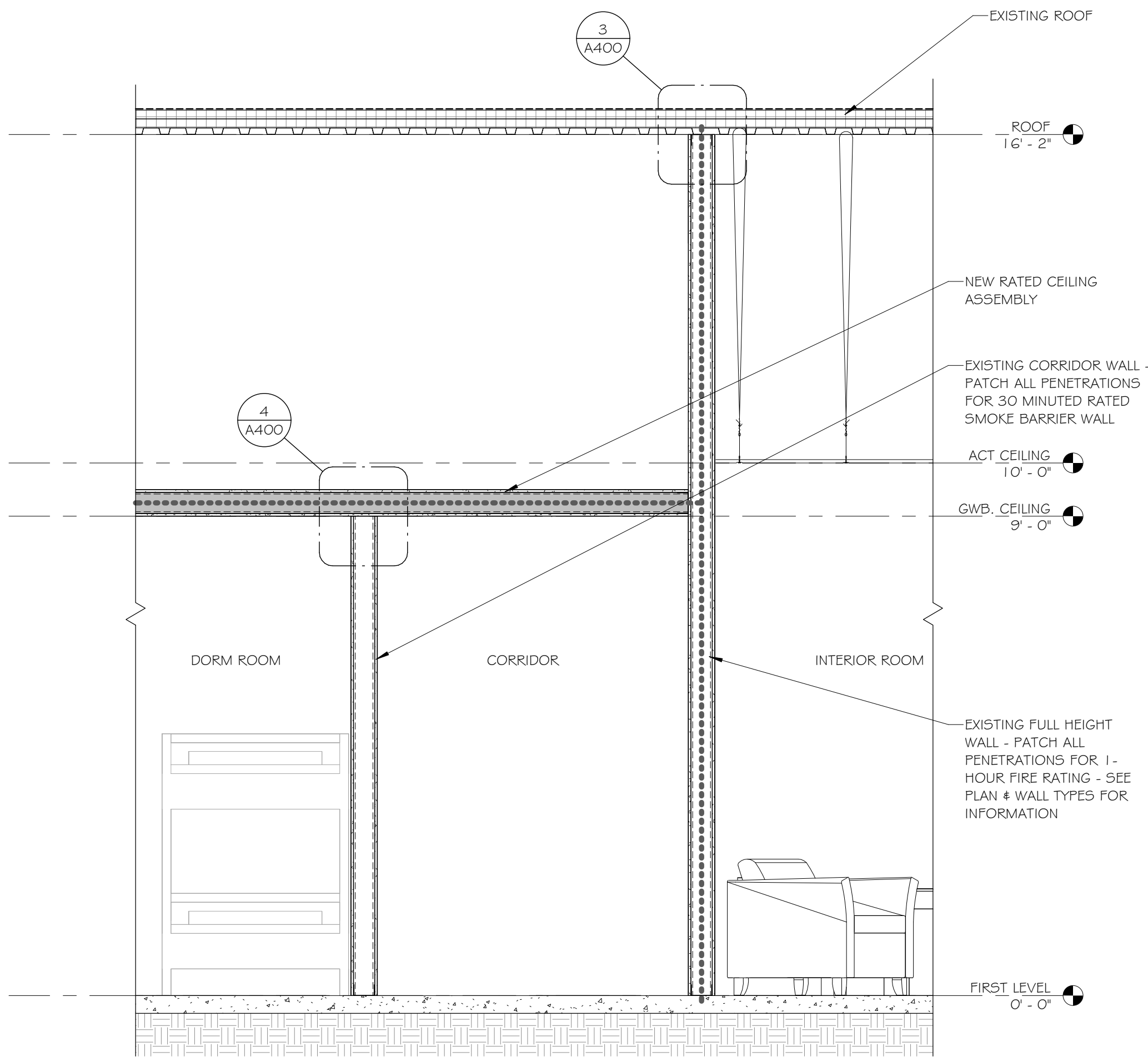


- EXISTING CONDITIONS NOTES:
1. ALL EXISTING BUILDING INFORMATION WAS PROVIDED BY THE CLIENT FROM A SUPPLIED CAD FILE.
 2. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF THE WORK AFFECTED.
 3. INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO DRILLING OR CUTTING OF SLABS OR STRUCTURAL MEMBERS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING WORK.
 4. PRIOR TO CORE DRILLING, COORDINATE THE LOCATION OF EACH CORE DRILL WITH THE EXISTING STRUCTURE, PIPING, CONDUIT, MECHANICAL AND ELECTRICAL ELEMENTS BELOW SLAB. NOTIFY THE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
 5. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF FIRE RATED ELEMENTS TO MATCH THE RATING OF THE ELEMENT.
 6. DETAILS ARE GENERALLY NOTED ONLY ONCE. THEY ARE TYPICAL FOR SIMILAR CONDITIONS ELSEWHERE UNO.
 7. FURNITURE IS FOR REFERENCE ONLY AND IS TO BE FURNISHED AND IS INSTALLED BY OTHERS EXCEPT AS NOTED ON DRAWINGS.
 8. ALL WOOD THAT COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

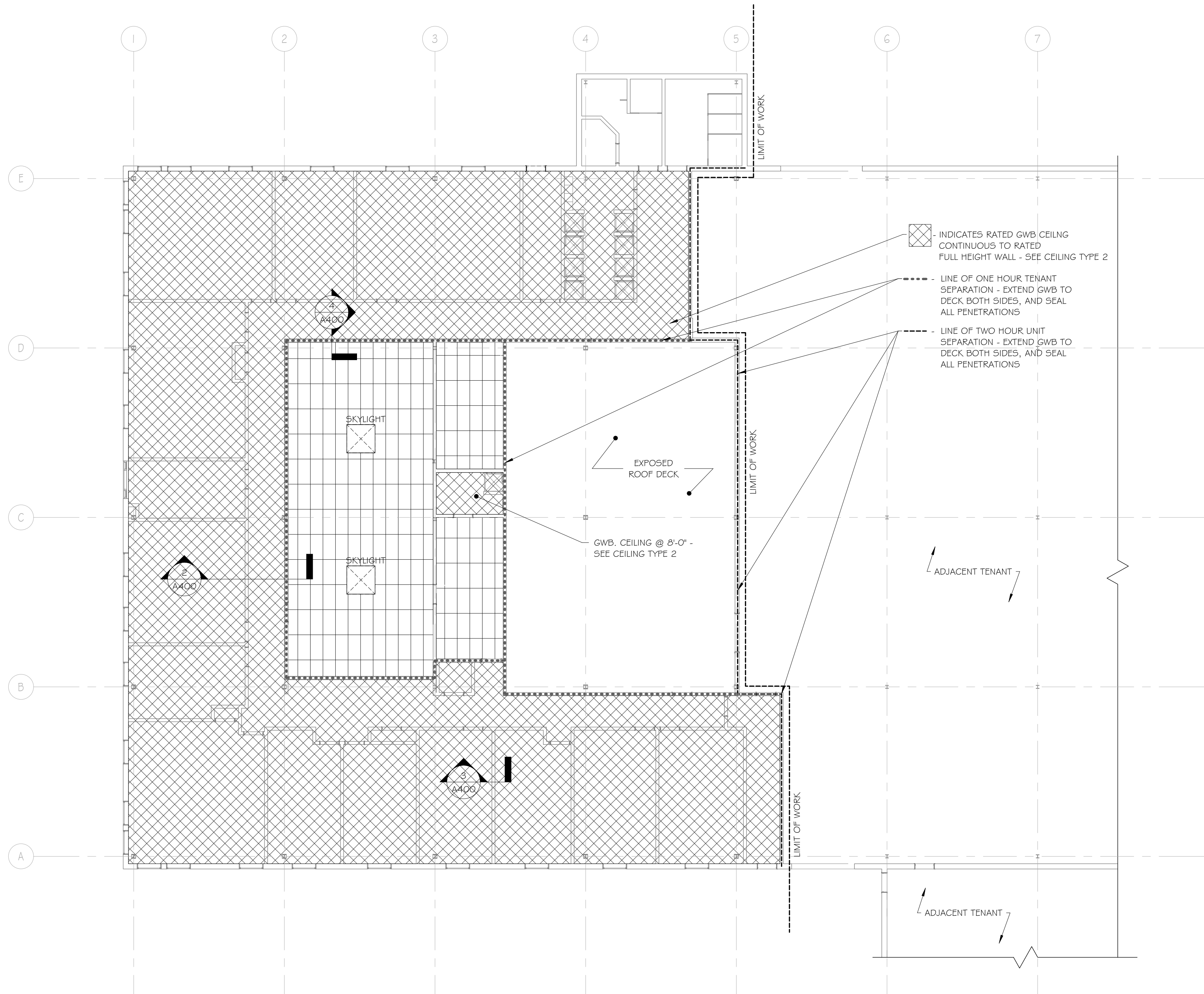


4 COMMON / ASSEMBLY SEPERATION WALL - TOP TERMINATION DETAIL
A400 SCALE: 1 1/2" = 1'-0"

3 DORM ROOM PARTY WALL - TOP TERMINATION DETAIL
A400 SCALE: 1 1/2" = 1'-0"



2 SECTION AT RATED CEILING AT CORRIDOR
A400 SCALE: 1/2" = 1'-0"



1 FIRST LEVEL REFLECTED CEILING PLAN
A400 SCALE: 3/32" = 1'-0"

8	RESERVED
7	

FRONT APPROACH - PULL

FRONT APPROACH - PUSH

SIDE APPROACH - PULL

SIDE APPROACH - PUSH

SIDE ELEVATION VIEW

FRONT ELEVATION VIEW

SIDE WALL

BACK WALL

CONTROL END WALL

ACCESSIBLE & ADAPTABLE SHOWER

7

RESERVED

6

ADA DOOR W/ CLOSER CLEARANCES
SCALE: 1/4" = 1'-0"

5

ADA LINEN SHELF DETAIL
SCALE: 3/8" = 1'-0"

4

ACCESSIBLE & ADAPTABLE SHOWER DETAIL
SCALE: 1/2" = 1'-0"

ADA UTILITY REACH REQUIREMENTS AT LAUNDRY

ADA TOE CLEARANCE AT SINK

ADA WATER CLOSET

ADA DETAILS & INTERIOR ELEVATIONS

3

ADA UTILITY REACH REQUIREMENTS AT LAUNDRY
SCALE: 1" = 1'-0"

2

ADA TOE CLEARANCE AT SINK
SCALE: 1/2" = 1'-0"

1

ADA WATER CLOSET
SCALE: 1/2" = 1'-0"

A301

ADA DETAILS & INTERIOR ELEVATIONS

PLATZ ASSOCIATES

Tel 207-784-2941
Fax 207-784-3856

Architects - Engineers
Construction Managers

Two Great Falls Plaza, Auburn, Maine 04210

Proposed Renovation of:

Twin City Thunder
Hockey Academy

1400 Hotel Road,
Auburn, Maine, 04210

SEAL

TRAVIS R. NADEAU
4038
STATE OF MAINE

ORIGINAL DATE:

06/01/2022

DRAWING ISSUE

No. DESCRIPTION DATE

1 Revision 08/26/2022

JOB NO.

202206

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WMC

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GLR

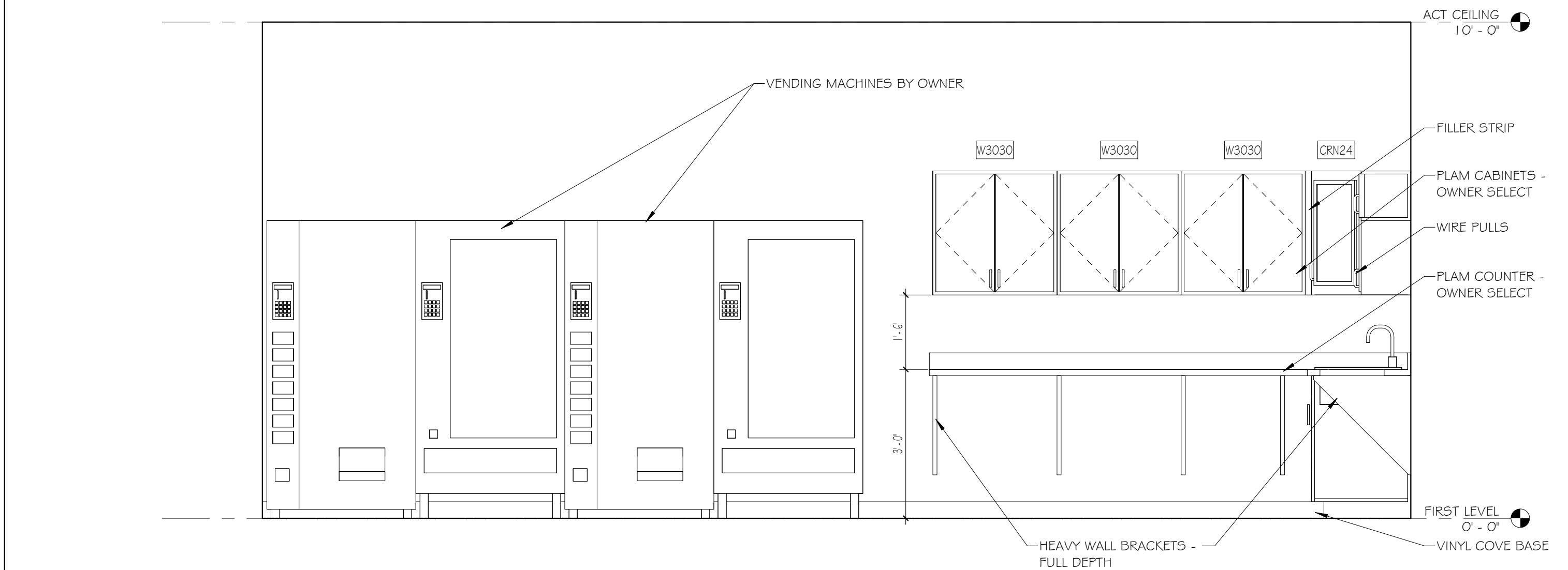
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ADA DETAILS & INTERIOR ELEVATIONS

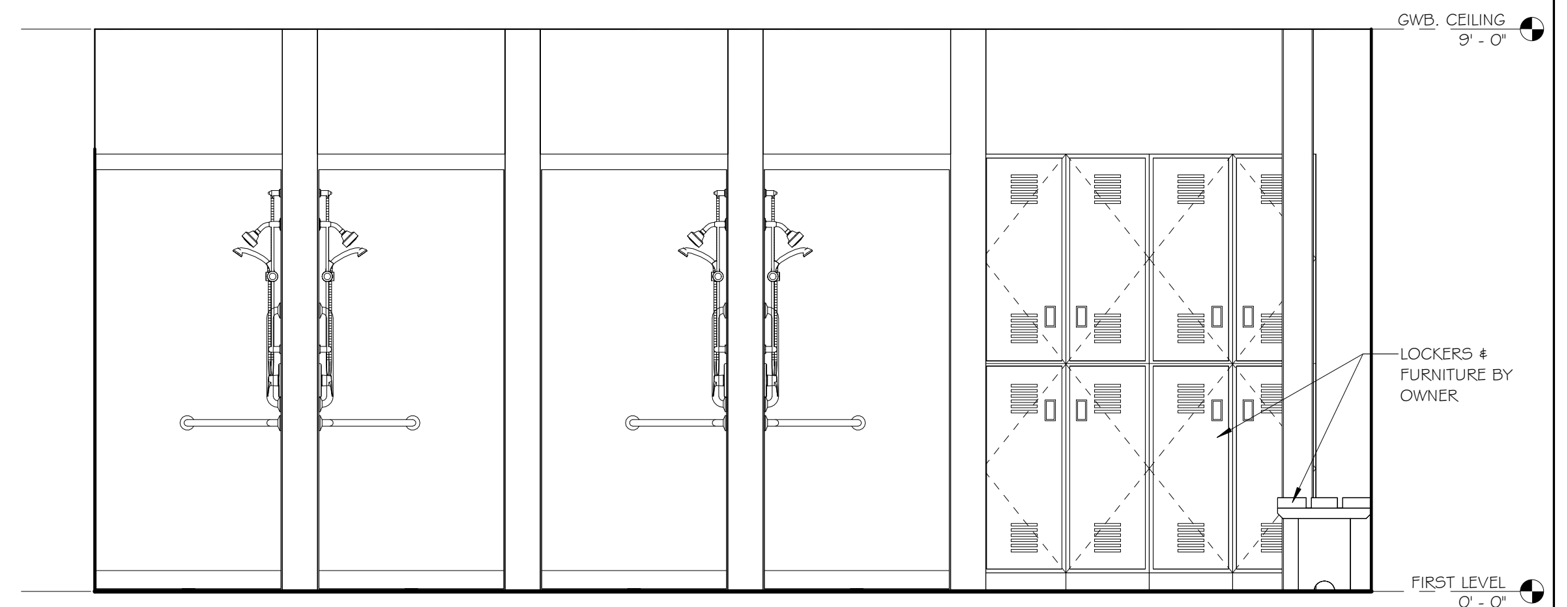
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A301

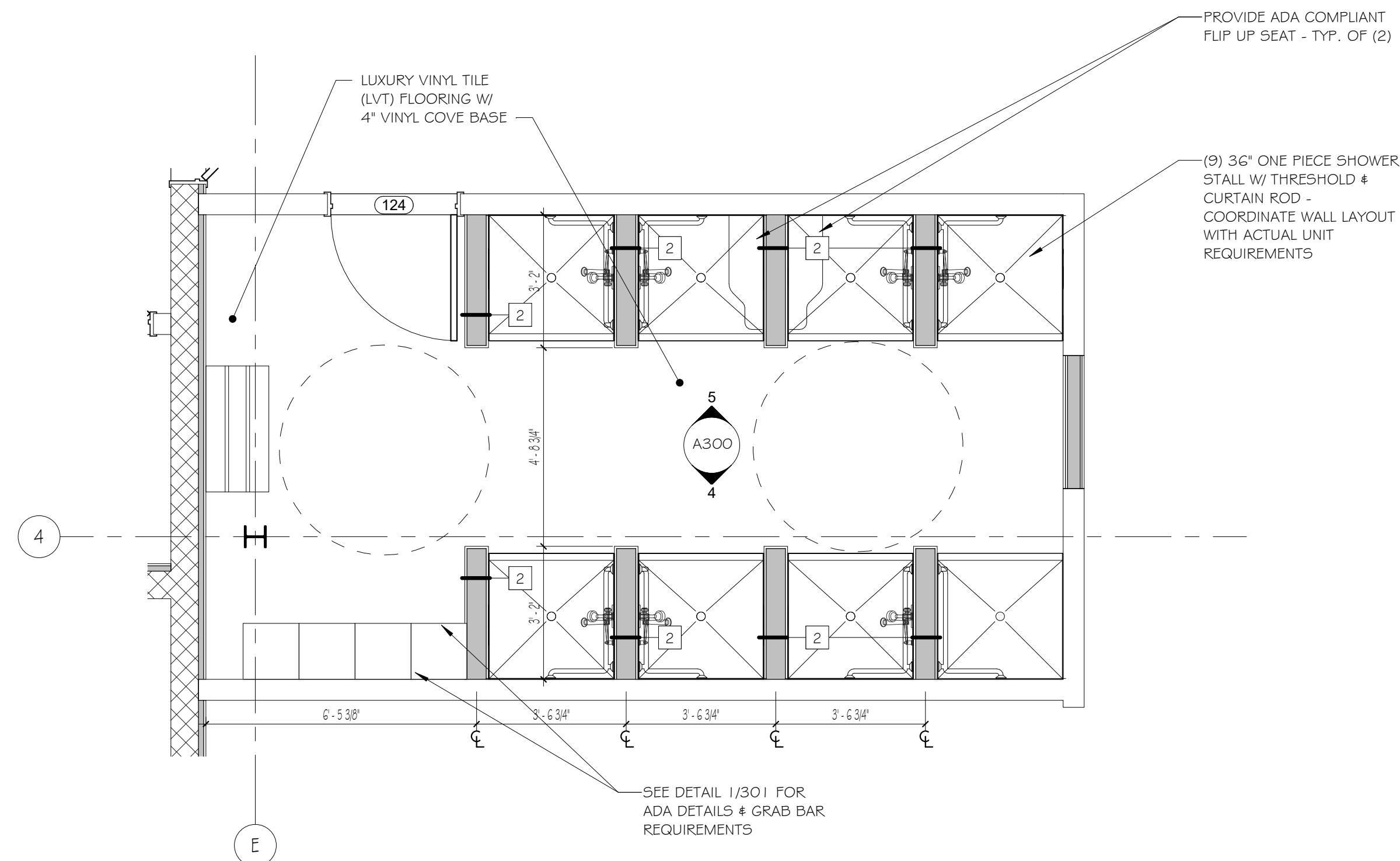
1/2022 (6) - Twin City
Thunder/REDWITTLayers
Blog.jpg



7	DINING ROOM ELEVATION 1
A300	SCALE: 1/2" = 1'-0"



4	RESROOM ELEVATION B
A300	SCALE: 1/2" = 1'-0"



3

SEE DETAIL 1/A301 FOR ADA DETAILS & GRAB BAR REQUIREMENTS

36" ONE PIECE SHOWER STALL W/ THRESHOLD & CURTAIN ROD

VERIFY CLEARANCE IN MANUFACTURING CONDITIONS

SEE DETAIL 2/301 FOR ADA SINK DIMENSIONAL & CLEARANCE REQUIREMENTS

(1) SOAP DISPENSER & (1) PAPER TOWEL DISPENSER PER SINK TYP.

LUXURY VINYL TILE (LVT) FLOORING W/ 4" VINYL COVE BASE

A300 3

125

C

I	FIRST LEVEL FLOOR PLAN - CALLOUT I
A300	SCALE: 3/8" = 1'-0"

EMERGENCY FIXTURE LEGEND:

- CO

CO DETECTOR

S

SMOKE DETECTOR

PORTABLE FIRE EXTINGUISHER

EXIT SIGN w/ EMERGENCY LIGHTS (BATTERY BACKUP)

EXIT SIGN - DIRRECTIONAL

EMERGENCY LIGHTS (BATTERY BACKUP)

EXIT

EXIT ROUTE

FIRST AID CABINET

EMERGENCY LIGHT (BATTERY BACKUP)

P

FIRE ALARM PULL STATION
- HORN / STROBE LIGHT

STROBE LIGHT

LOW FREQUENCY APPLIANCE

M

MONITOR MODULE

K

KNOX BOX

FS

SPRINKLER FLOW SWITCH

TS

SPRINKLER TAMPER SWITCH

PS

SPRINKLER PRESSURE SWITCH

FP

FIRE PUMP MONITOR POINTS

FACP

FIRE ALARM PANEL

ANNC

ANNUNCIATOR

1 20VAC DEVICES TANDEM WIRED FOR LOCAL ONLY DETECTION AND NOTIFICATION SUPPLIED AND INSTALLED BY AN ELECTRICIAN

STROBE ONLY, LOCAL ONLY 1 20VAC

SS

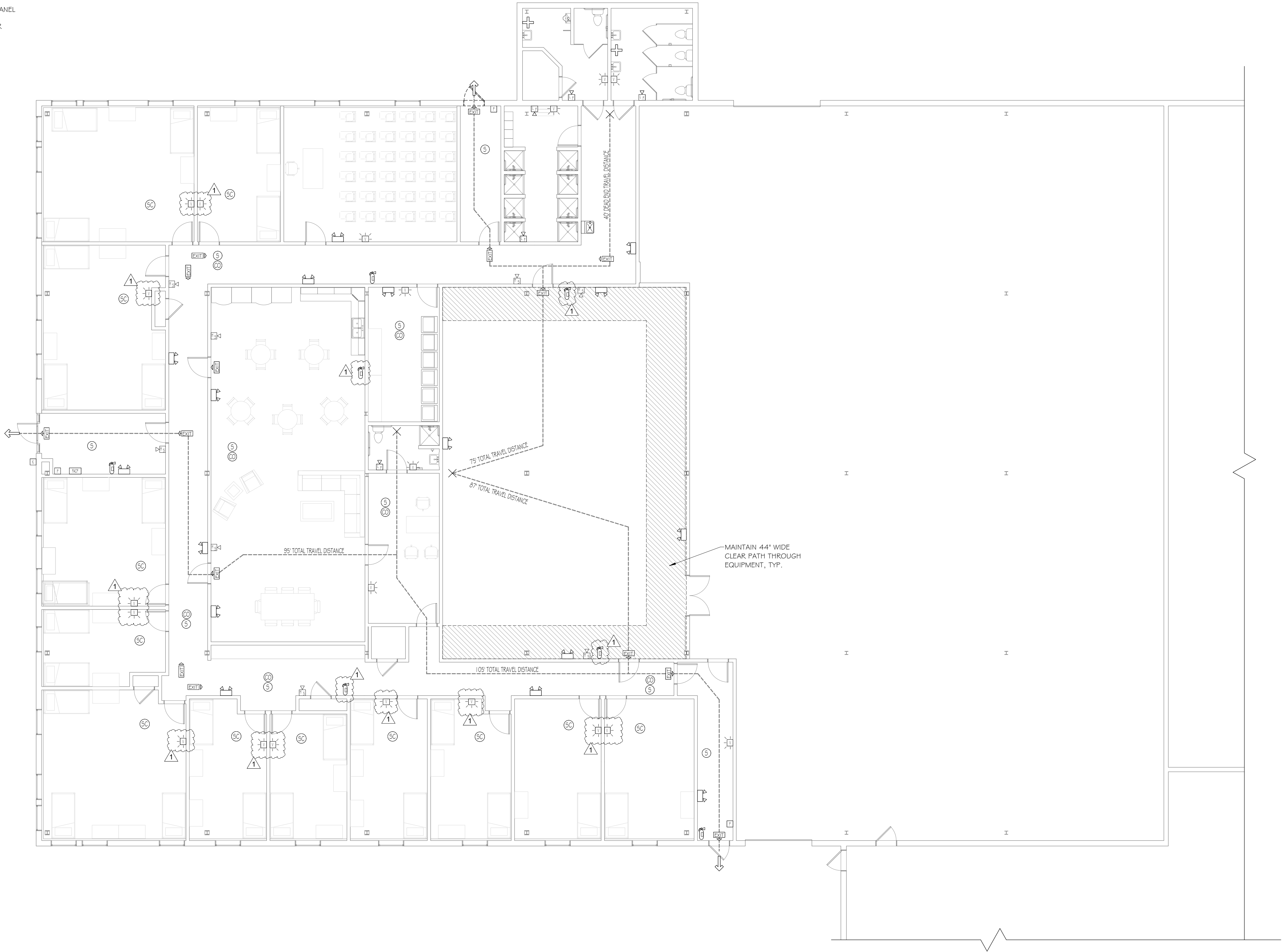
SMOKE DETECTOR, LOCAL ONLY 1 20VAC

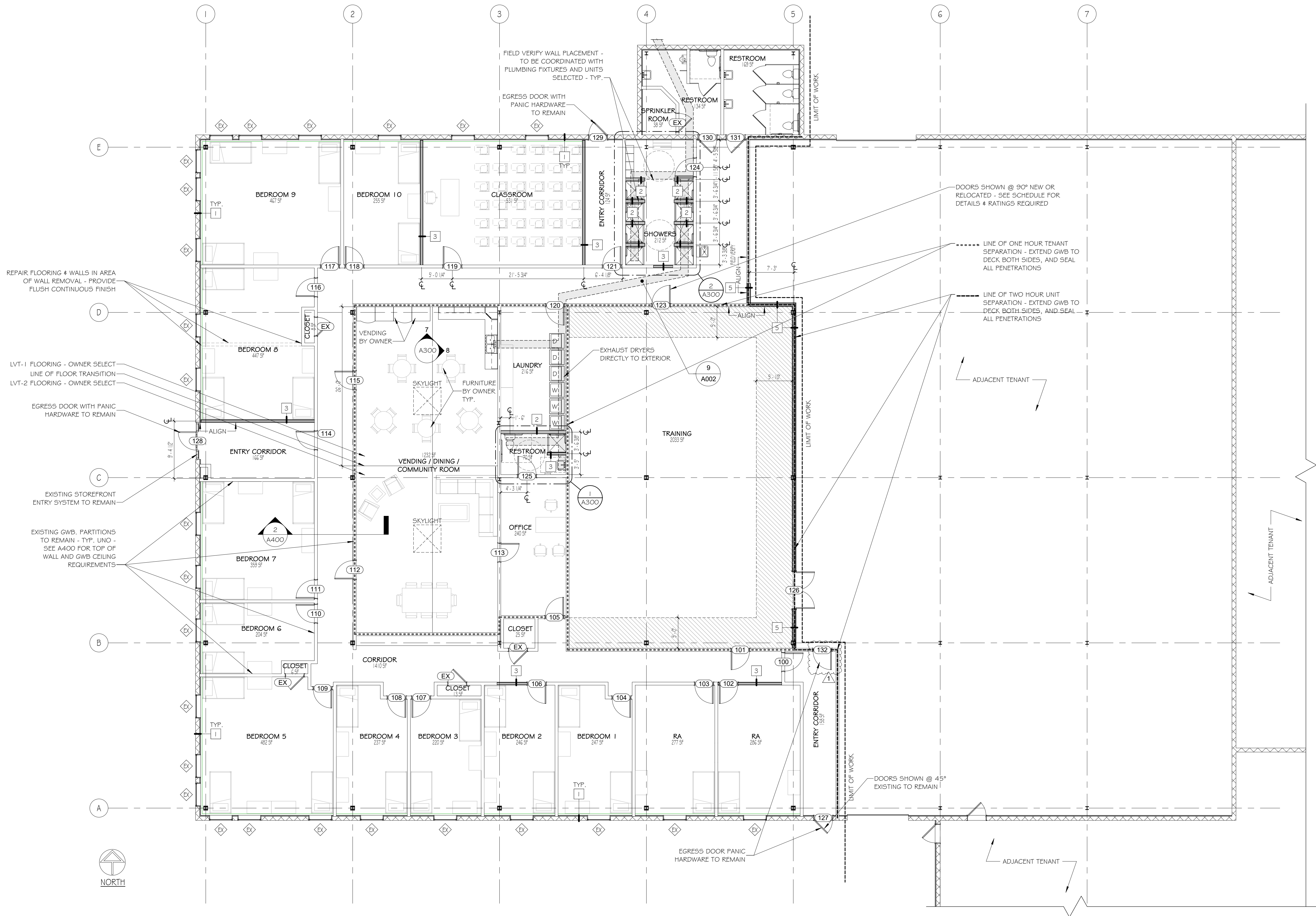
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COMBO SMOKE-GO DETECTOR, LOCAL ONLY 1 20VAC

GENERAL LIFE SAFETY NOTES:

1. INSTALL ALL LIFE SAFETY FIXTURES PER ALL CODE AND LOCAL AHJ REQUIREMENTS, WITH FIXTURE TYPES AND LOCATIONS COORDINATED WITH OWNER.
2. PROVIDE A FIRE ALARM SYSTEM PER IIBC SECTION 804.4, I.6 FOR EXISTING BUILDINGS, COORDINATED WITH OWNER.
3. PROVIDE RECESSED LED OR SURFACE-MOUNTED HEAD LIGHTING TO ILLUMINATE THE MEANS OF EGRESS WITHIN UNIT, PER IIBC SECTION 805.7.1.
4. ALL NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING SHALL COMPLY WITH NFPA 70, PER IIBC SECTION 801.1.
5. ALL ENCLOSED AREAS OTHER THAN CLOSETS, HALLWAYS, LAUNDRY AREAS, BATHROOMS AND KITCHENS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS, PER IIBC SECTION 808.3.1.
6. TWO DUPLEX OUTLETS TO BE PROVIDED AT KITCHEN, PER IIBC SECTION 808.3.2.
7. ONE DUPLEX OUTLET TO BE PROVIDED ON SEPARATE CIRCUIT FROM WASHER/DRYER AT LAUNDRY, PER IIBC SECTION 808.3.3.
8. PROVIDE GROUND FAULT INTERRUPTION AS REQUIRED BY NFPA 70 ON NEW ELECTRICAL OUTLETS, PER IIBC SECTION 808.3.4.
9. PROVIDE AT LEAST ONE LIGHTING OUTLET IN THE BATHROOM, HALLWAY, STAIRWAY, AND OUTSIDE ENTRANCE/EXIT, PER IIBC SECTION 808.3.5.
10. PROVIDE EQUIPMENT CLEARANCES AS REQUIRED BY NFPA 70, PER IIBC SECTION 808.3.7.
11. PROVIDE LOCAL EXHAUST FOR ALL NEW EQUIPMENT, AS REQUIRED, PER IIBC SECTION 809.3.
12. PROVIDE EMERGENCY LIGHTING FOR MEANS OF EGRESS PER SECTION 31.2.9 & 7.8.





4	RESERVED
~	

Mark	Type Mark	Panel Type	Frame Type	Width	Height	Thickness	Hardware Set	NOTE
100	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	30 MINUTE SMOKE
101	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	90 MINUTE LABEL
102	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
103	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
104	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
105	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
106	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
107	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
108	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
109	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
110	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
111	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
112	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	60 MINUTE LABEL
113	C	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	60 MINUTE LABEL
114	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	30 MINUTE SMOKE
115	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	60 MINUTE LABEL
116	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
117	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
118	A	Solid Core		3' - 0"	7' - 0"	0" - 1 3/4"	1	30 MINUTE SMOKE
119	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	60 MINUTE LABEL
120	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	60 MINUTE LABEL
121	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	30 MINUTE SMOKE
123	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	90 MINUTE LABEL
124	C	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	4	90 MINUTE LABEL
125	C	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	4	90 MINUTE LABEL
126	D	STL. INS.		6' - 0"	7' - 0"	0" - 1 3/4"	3	90 MINUTE LABEL
127	EX	Existing	Existing	3' - 0"	7' - 0"	0" - 1 3/4"	*	*W/ CLOSING PANIC HARDWARE
128	EX	Existing	Existing	3' - 0"	7' - 0"	0" - 1 3/4"		*W/ CLOSING PANIC HARDWARE
129	EX	Existing	Existing	3' - 0"	7' - 0"	0" - 1 3/4"		*W/ CLOSING PANIC HARDWARE
130	EX	Existing	Existing	3' - 0"	7' - 0"	0" - 1 3/4"	*	*W/ CLOSING PANIC HARDWARE
131	EX	Existing	Existing	3' - 0"	7' - 0"	0" - 1 3/4"	*	*W/ CLOSING PANIC HARDWARE
132	B	STL. INS.		3' - 0"	6' - 8"	0" - 1 3/4"	2	90 MINUTE LABEL *W/ CLOSING PANIC HARDWARE

HARDWARE SET #1
SLEEPING ROOM ENTRY DOOR - FIRE RATED
3 HINGES
1 GRADE II LEVER WITH KEY & INTERCONNECTED DEADBOLT
1 DOOR VIEWER
1 DOOR STOP*
1 THRESHOLD
1 WEATHERSTRIPPING
1 THRESHOLD SWEEP SEAL
1 DOOR CLOSER

HARDWARE SET #2
RESTROOM / STOREROOM / COMMUNITY DOOR
3 HINGES
1 EMERGENCY PUSH BAR
1 DOOR STOP
1 THRESHOLD
1 DOOR CLOSER

HARDWARE SET #3
INTERIOR TWO PANEL DOOR
6 HINGES (HAGER BB1191 4 1/2" U52GD NRP)
1 STOREROOM GRADE I LEVER LOCK
2 CLOSER (R & L)
(W/ INTERIOR ACTUATED BOLT LOCK & DUMMY HANDLE @ SECOND DOOR LEAF)

HARDWARE SET #4
INTERIOR PASSAGE DOOR
3 HINGES
1 PASSAGE LEVER SET
1 DOOR STOP
1 THRESHOLD
1 DOOR CLOSER

HARDWARE SET #5
BUILDING ENTRY
3 HINGES
1 EMERGENCY PUSH BAR
1 DOOR STOP
1 THRESHOLD
1 DOOR CLOSER

NOTE: ALL DOOR HARDWARE TO BE THE FOLLOWING OR ARCHITECT / OWNER APPROVED EQUAL
HINGES: PRE-HUNG BY DOOR SUPPLIER TO MATCH LOCK FINISH. INTERIOR: 1-3/4" DOORS TO BE HAGER BB1279 4-1/2"x4-1/2" U52GD.
EXTERIOR: HAGER BB1191 4-1/2" U532D
LOCKS:
GRADE II: SCHLAGE S SERIES
GRADE I: SHLAGE ND SERIES
DOOR VIEWERS: HAGER 1755
DOOR STOP*: HAGER 236 or 243
THRESHOLD: HAGER 412
WEATHER STRIP: HAGER 726
THRESHOLD SWEEP SEAL: HAGER 802
CLOSER: YALE 3501

3	DOOR HARDWARE SCHEDULE
~	

<p>GENERAL NOTES: 1. ALL EXTERIOR GLAZED DOORS TO HAVE U AND SOLAR HEAT GAIN COEFFICIENTS (SHGC) THAT MEET ENERGY STAR REQUIREMENTS FOR NORTHERN CLIMATE AND HAVE AN AIR LEAKAGE RATE (AL) OF .30 SFM/SF OR LESS. 2. UNLESS OTHERWISE NOTED, ALL DOORS WILL BE LOCATED CENTRAL TO THE WALL, OR 3" OFF FROM ADJACENT WALL FINISH TO THE OPENING. 3. PROVIDE 2X BLOCKING ALL-AROUND DOOR AND WINDOW OPENINGS. 4. PROVIDE LOW EXPANSION FOAM BETWEEN DOOR FRAME & ROUGH OPENING. 5. INSTALL DOORS PER MANUFACTURER SPECIFICATIONS & REQUIREMENTS.</p> <p>A DOOR TYPE A INTERIOR RATED UNIT ENTRY DOOR</p> <p>B DOOR TYPE B INTERIOR RATED</p> <p>C DOOR TYPE C INTERIOR</p> <p>D DOOR TYPE D INTERIOR RATED</p>	<p>2</p> <p>DOOR SCHEDULE</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------

PLATZ ASSOCIATES

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Construction Managers

Two Great Falls Plaza, Auburn, Maine 04210

Proposed Renovation of:
Twin City Thunder
Hockey Academy
1400 Hotel Road,
Auburn, Maine, 04210

SEAL

REGISTERED ARCHITECT

TRAVIS R. NADEAU

4038

STATE OF MAINE

ORIGINAL DATE:
06/01/2022

DRAWING ISSUE		
No.	DESCRIPTION	DATE
1	Revision	08/28/2022

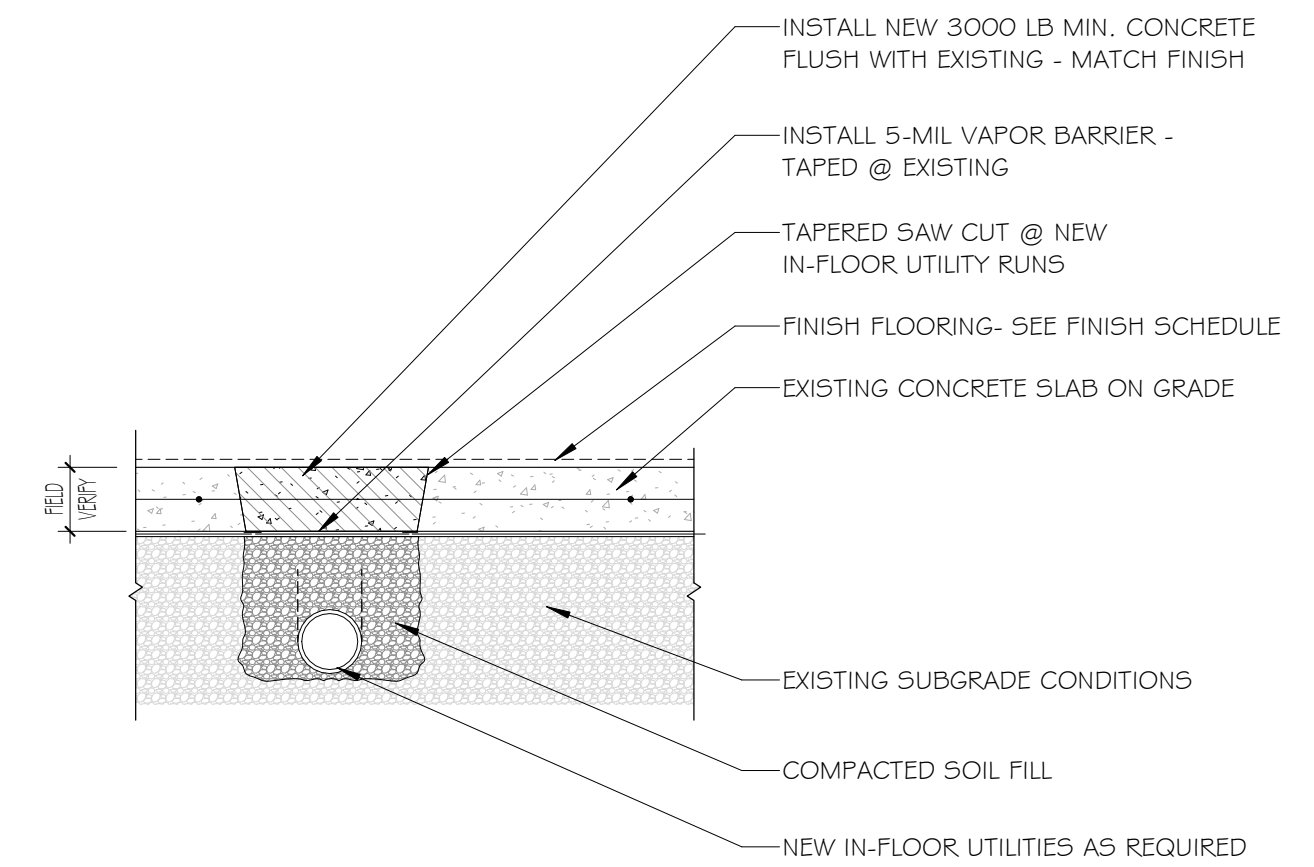
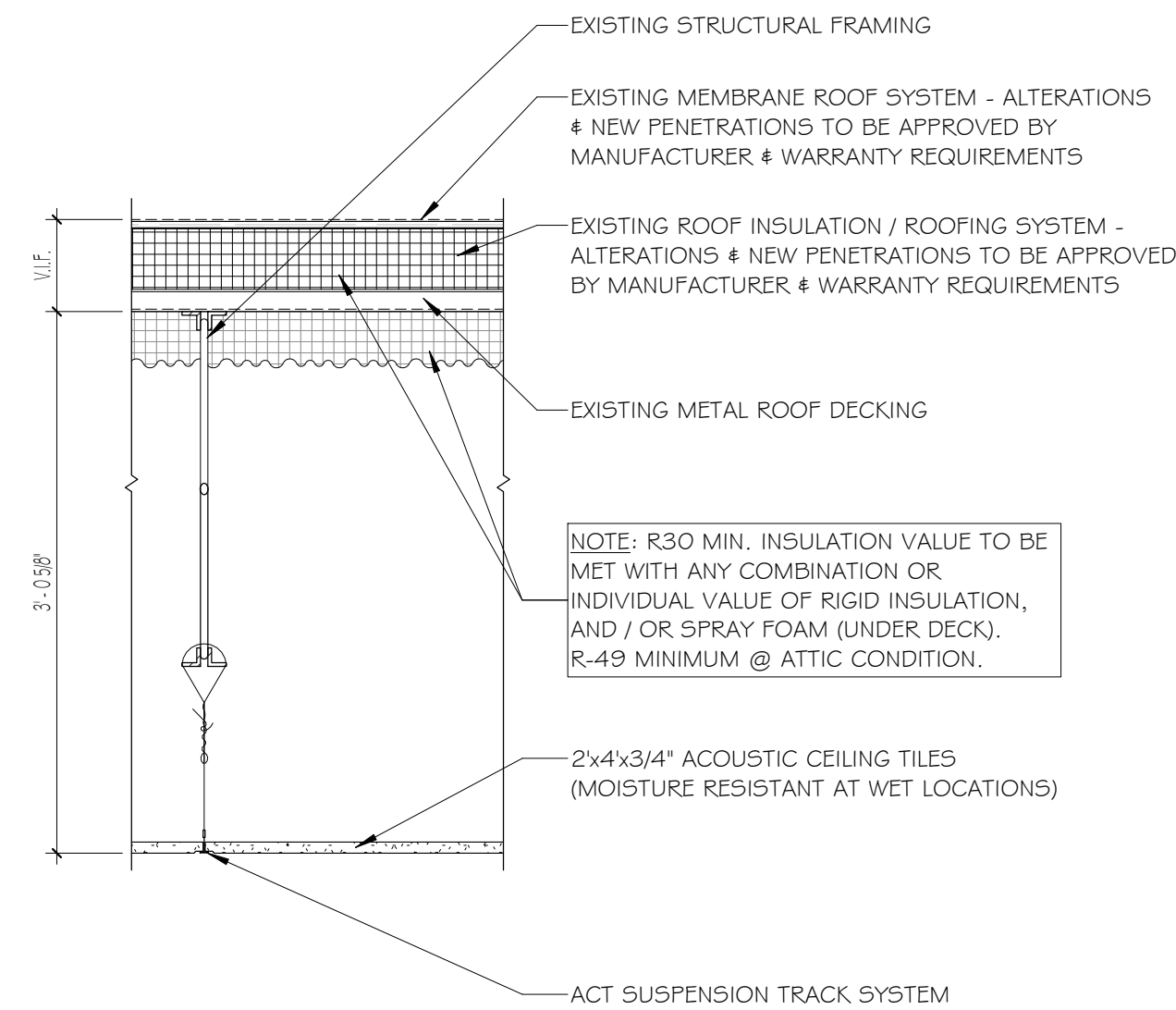
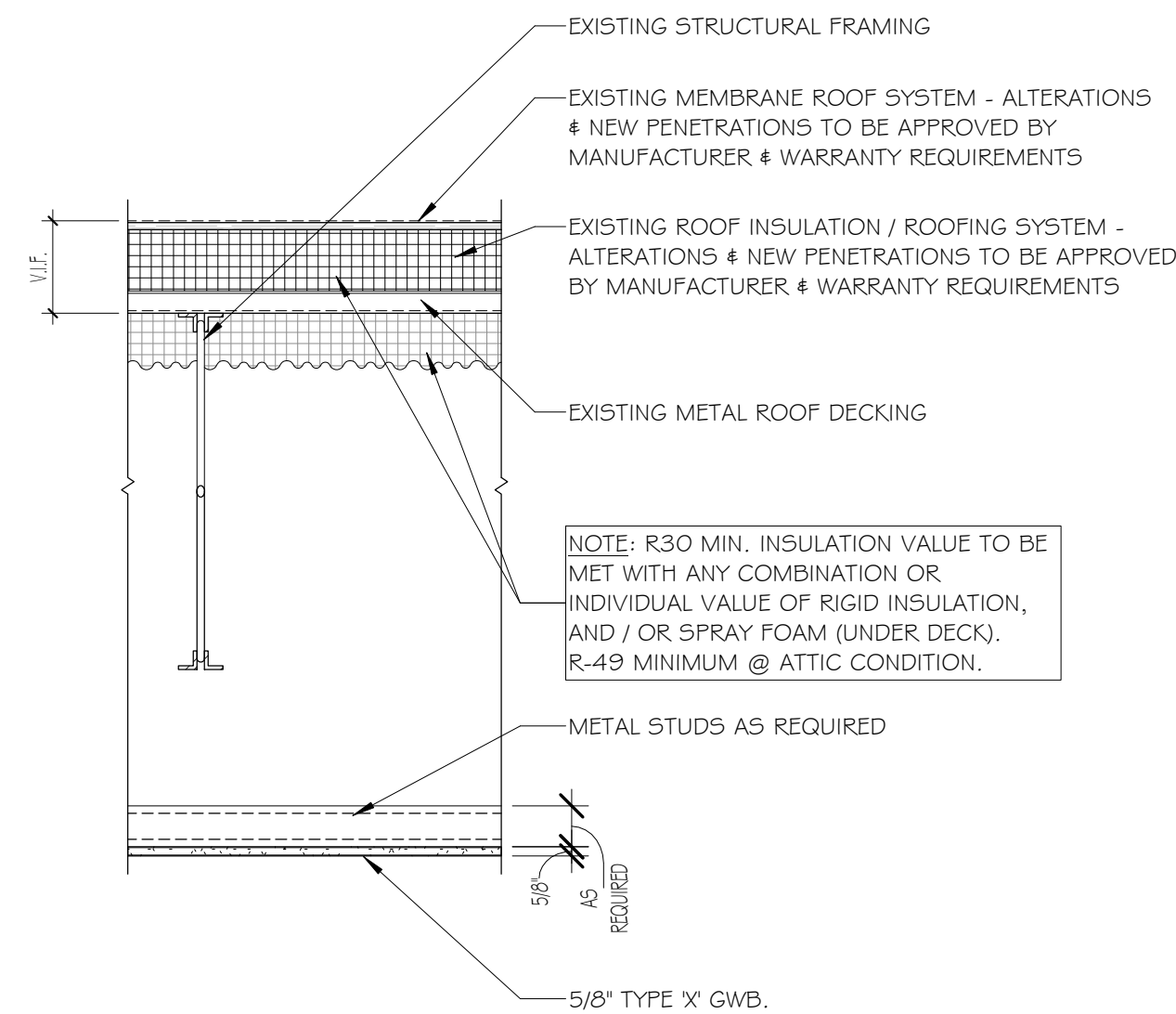
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202206

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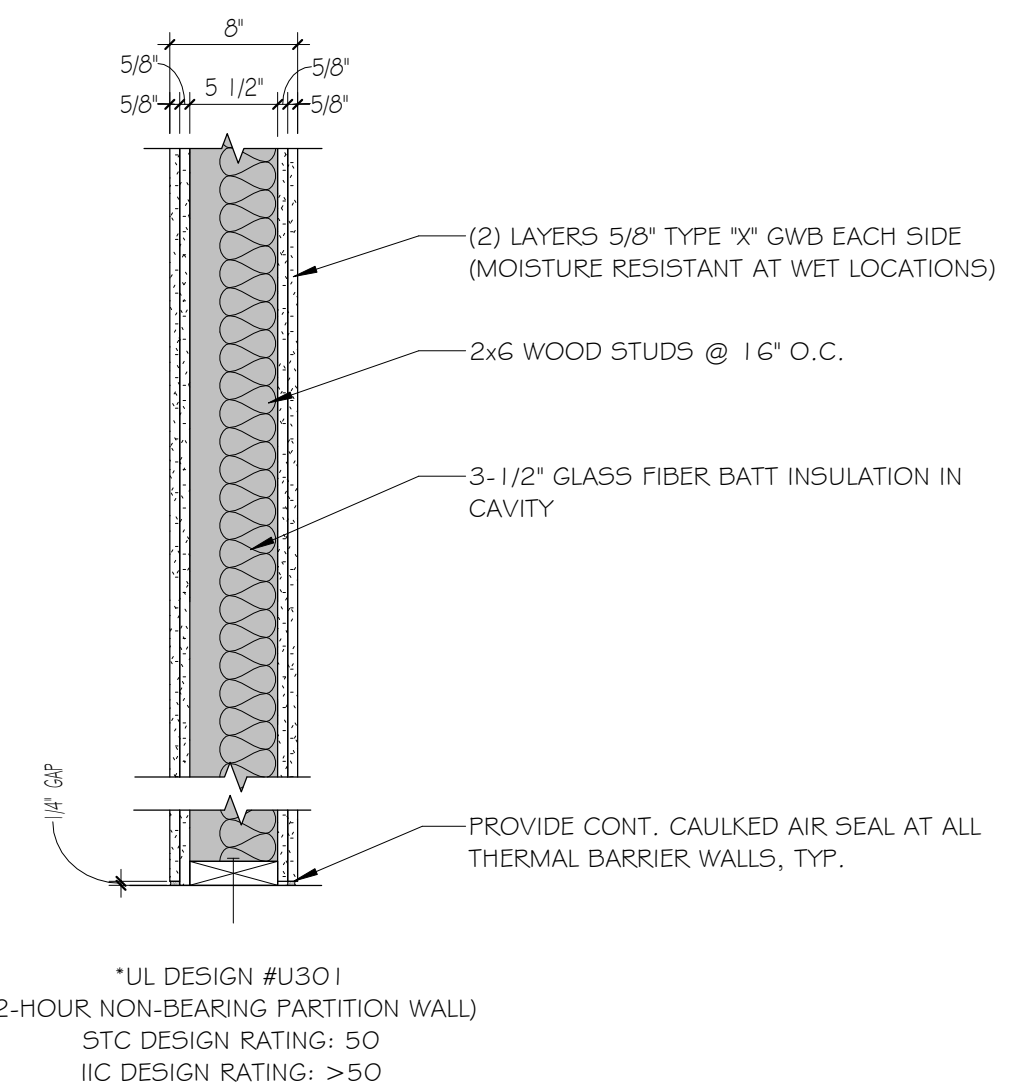
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SHEET TITLE
DOOR TYPES & SCHEDULES

SHEET
A003

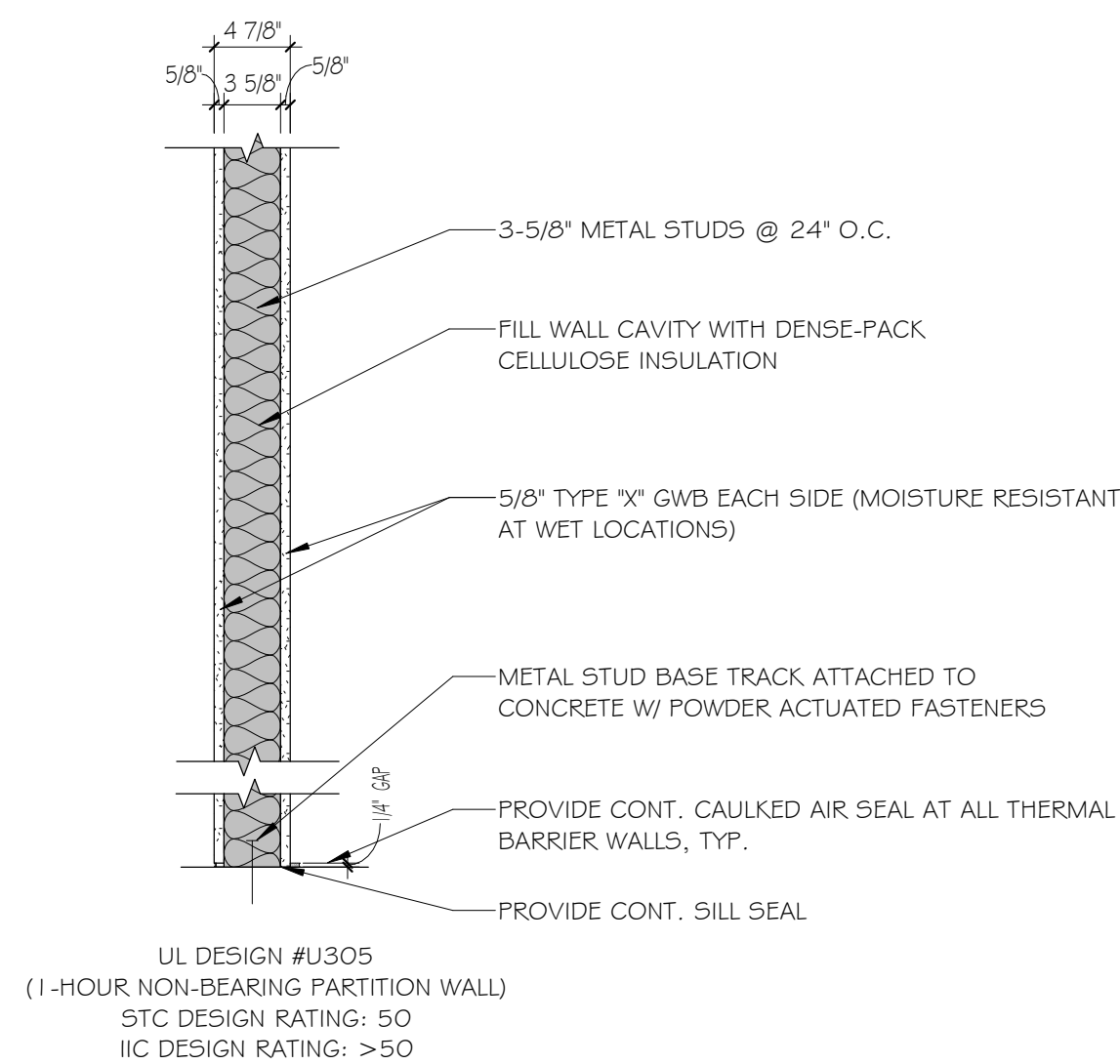


12	RESERVED	11	CEILING TYPE 2 - GYPSUM WALL BOARD	10	CEILING TYPE 1 - ACOUSTIC CEILING TILE	9	FLOOR TYPE 1 - TRENCHING PATCH @ EXISTING CONCRETE SLAB
~		A002	SCALE: 1" = 1'-0"	A002	SCALE: 1" = 1'-0"	A002	SCALE: 1" = 1'-0"



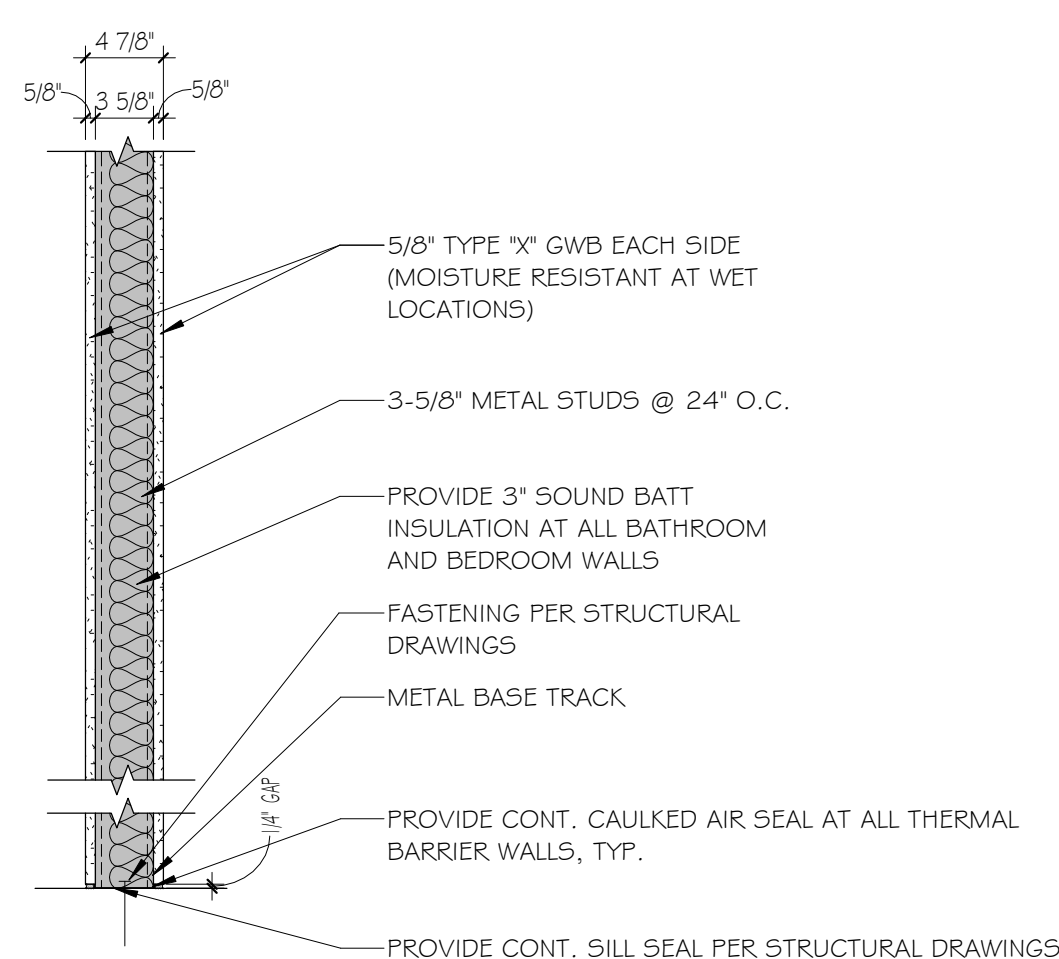
NOTES:
1. CONTINUOUS BEAD OF ACOUSTICAL SOUND CAULKING AT EDGE OF DRYWALL AND ALL PENETRATIONS.
2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL CONSTRUCTION DETAILS.

8	RESERVED	7	RESERVED	6	RESERVED	5	WALL TYPE 5 - EXISTING FRAMED WALL W/ RATING UPGRADES
~		~		~		A002	SCALE: 1" = 1'-0"



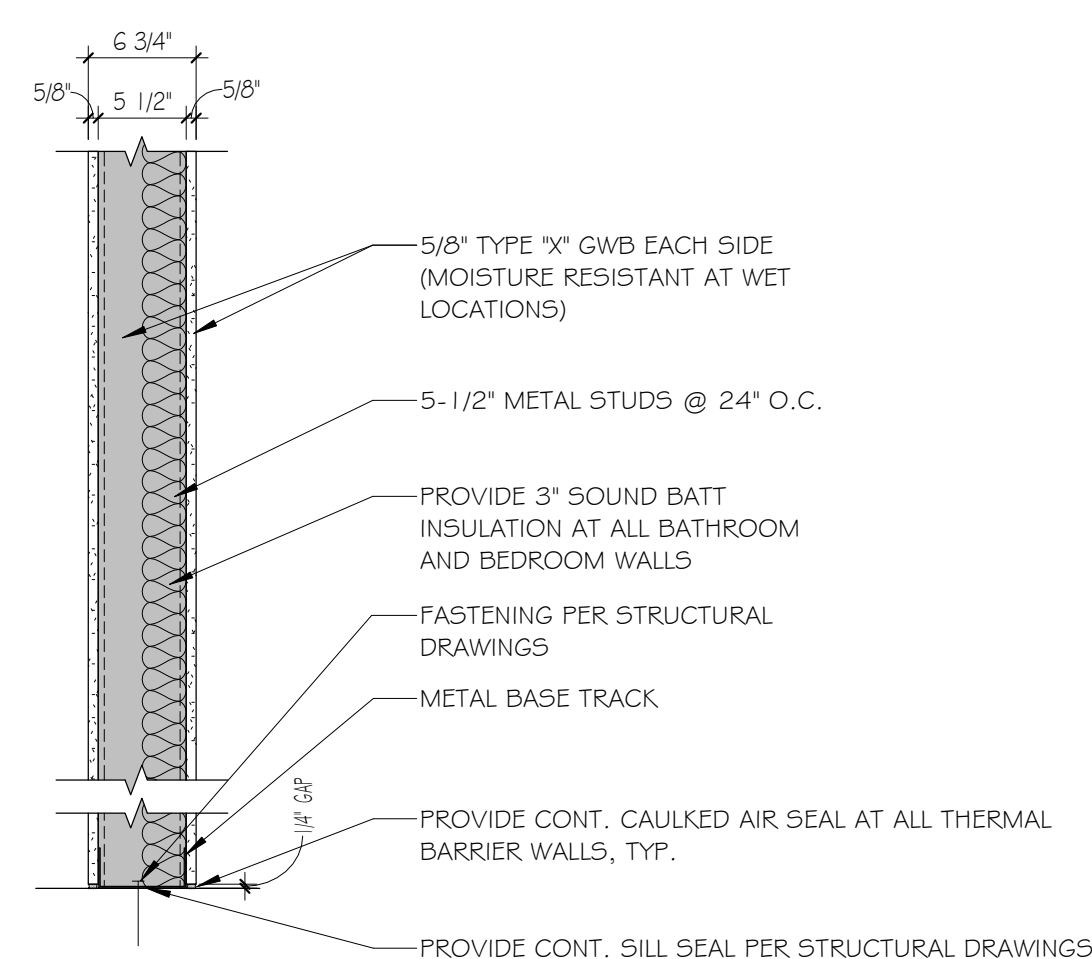
NOTES:

1. CONTINUOUS BEAD OF ACOUSTICAL SOUND CAULKING AT EDGE OF DRYWALL AND ALL PENETRATIONS.
2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL CONSTRUCTION DETAILS.

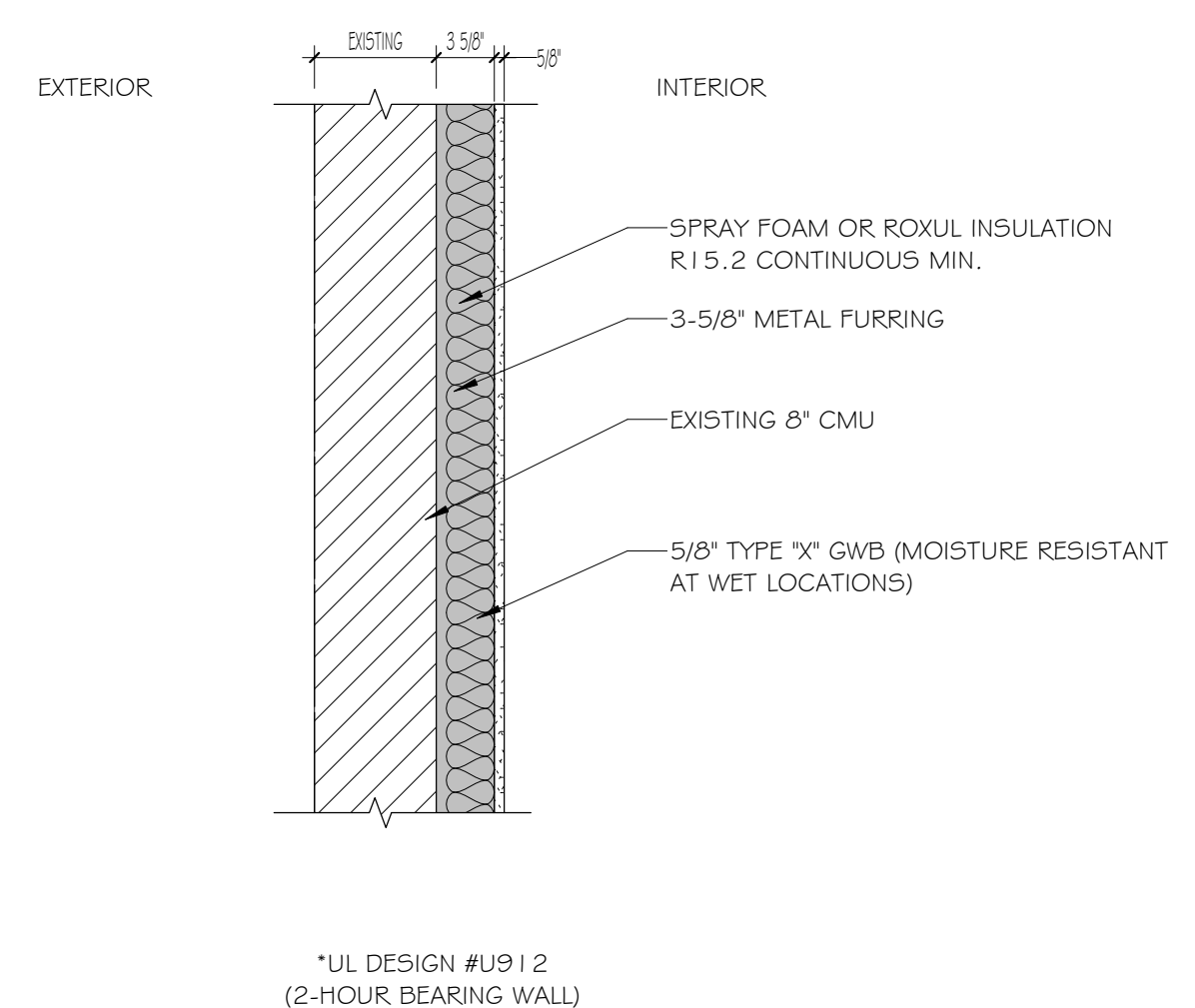


NOTES:

1. CONTINUOUS BEAD OF ACOUSTICAL SOUND CAULKING AT EDGE OF DRYWALL AND ALL PENETRATIONS.
2. INSTALL FRAMING PER MANUFACTURER DETAILS AND SPECIFICATIONS.



NOTES:
1. CONTINUOUS BEAD OF ACOUSTICAL SOUND CAULKING AT EDGE OF DRYWALL AND ALL PENETRATIONS.
2. INSTALL FRAMING PER MANUFACTURER DETAILS AND SPECIFICATIONS.



NOTES:

1. CONTINUOUS BEAD OF ACOUSTICAL SOUND CAULKING AT EDGE OF DRYWALL AND ALL PENETRATIONS.
2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL CONSTRUCTION DETAILS.

4	WALL TYPE 4 - NEW AREA SEPARATION WALL	3	WALL TYPE 3 - NEW METAL PARTITION WALL	2	WALL TYPE 2 - NEW METAL PARTITION / PLUMBING WALL	1	WALL TYPE 1 - EXTERIOR CMU - RESIDENTIAL
A002	SCALE: 1" = 1'-0"	A002	SCALE: 1" = 1'-0"	A002	SCALE: 1" = 1'-0"	A002	SCALE: 1" = 1'-0"

September 8, 2022

Eric Cousens
City of Auburn Director of Planning & Permitting
60 Court Street
Auburn, ME 04210
ecousens@auburnmaine.gov

Re: Minor Site Plan Review :Twin City Thunder Hockey Academy Dormitory, 1400 Hotel Road
(PID: 217-071)

Dear Eric,

The goal of this memorandum is to request a staff review through the Minor Project Site Plan review standards, and to support both Planning Board approval and a building permit for the proposed conversion of 11,085 sf of existing office space into dormitory-style housing (Use Group R-1) with 12 sleeping rooms and other common areas.

The Project is part of a mixed-use building and the redevelopment plans have been approved by the Maine State Fire Marshal, with a copy of the permit approval attached to this permit package.

The site has an existing parking area and the tenant will use the common dumpster and loading areas that exist on the site. No additional drives, curb cuts, parking spaces, or sidewalks are proposed as part of this interior fitup.

I hope this is helpful information and I am happy to answer questions about it. Please don't hesitate to call with any questions or comments.

Sincerely,



Travis Nadeau, LEED AP BD+C
Maine Licensed Architect

Enclosures:
Development Review Application
Maine FMO permit approval
C100- Site Plan